



# 1299 Richmond Road, Ottawa

Design Brief

For Brigil

Issued for Site Plan Approval Resubmission  
17 September 2024

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Toronto, ON M5V 0S8

# Design Brief

## 1.0 Project Summary |

This submission for Site Plan Approval facilitates the redevelopment of an existing two-storey retail building and parking lot. The development proposal consists of two towers of 28 and 30-storeys on a 5-storey podium, with feature amenity on the 6th Floor between the towers. Commercial uses are located at grade.

The proposed development will include, three levels of underground parking and retail at the ground floor along Richmond Road. Bicycle storage rooms for residents are located on the ground floor in an enclosed storage rooms accessed off Starflower Lane and in the below grade parking garage. Retail bicycle parking spaces will be provided on bicycle racks within the exterior open space at grade. The building is proposed to contain indoor and outdoor amenity spaces located on the Ground Floor, 6th Floor and its adjacent podium roof. In addition, a sky lounge is located at the upper rooftop of the western tower (Tower 1) with views out to the Ottawa River.

## 2.0 Subject Property |

The subject site is located at 1299 Richmond Road in Ottawa, Ontario, located within the Inner Urban Transect. The lot is approximately 4,142 square metres with a frontage of 96.5 m along Richmond Road and 36.8 m along Assaly Road. The site is bordered on three sides by two streets and a lane: Richmond Road to the south, Assaly Road to the west, and Starflower Lane to the north. The property is currently occupied by an existing two-storey retail building and parking lot.

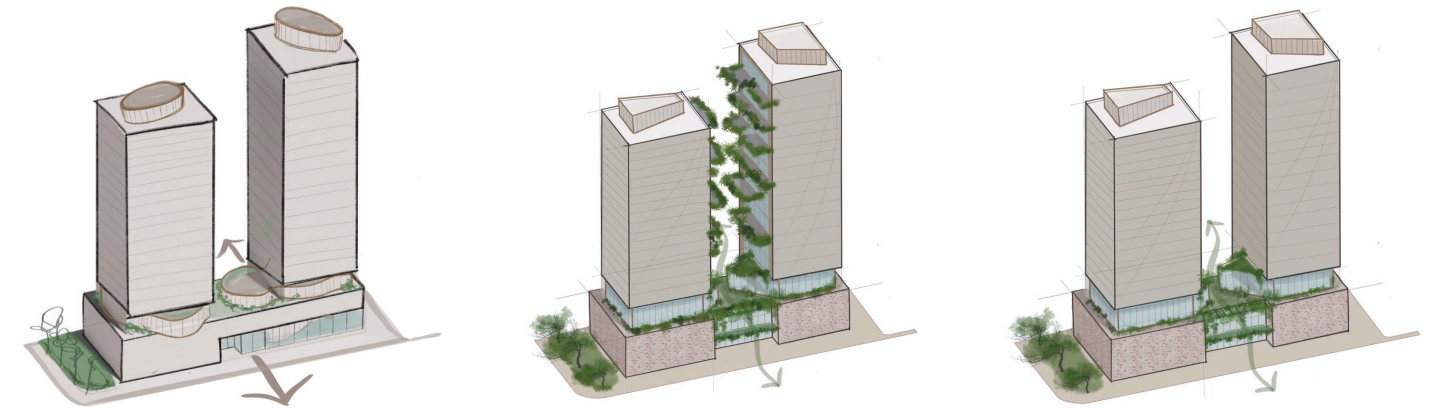
## 3.0 Surrounding Area |

To the south and west of the site are residential and commercial land uses along Richmond Road including the Lincoln Heights Shopping mall. The Sir John A. Macdonald Parkway is located to the east, while low rise residential dwellings, including the Britannia Water Purification Plant and the Ottawa River are located to the north.

Key destinations around the site include the Lincoln Heights Shopping Mall to the southwest, Britannia Conservation Area including connections to the Ottawa River Pathway and Trans-Canada Trail to the north, Britannia Park and Beach, and Britannia Yacht Club to the northwest and Connaught Park to the south.

## 4.0 Early Massing and Design Ideas |

The initial design concepts emphasized the integration of natural elements with architectural form. The initial massing ideas shown below included a landscaped podium amenity floor with elegantly curved edges with landscaped balconies contributing to a vertical garden effect. This design feature aimed to establish a “landscape slice” at the podium amenity level, which would be prominently visible from the public realm through the north-south façade.



## 4.1 Exterior Façade Concepts

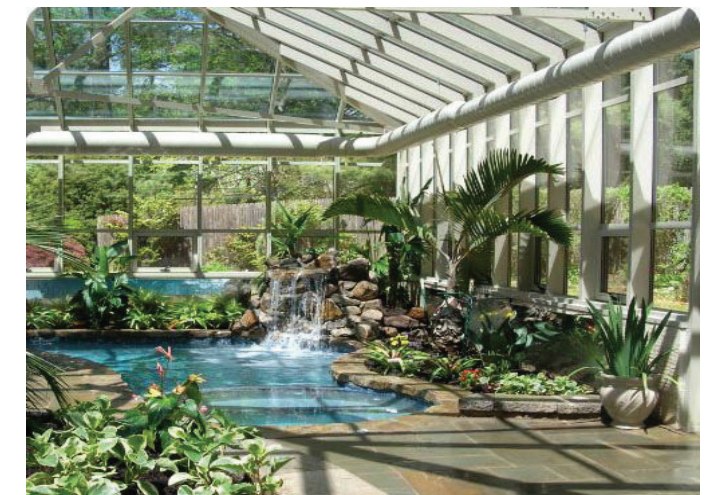
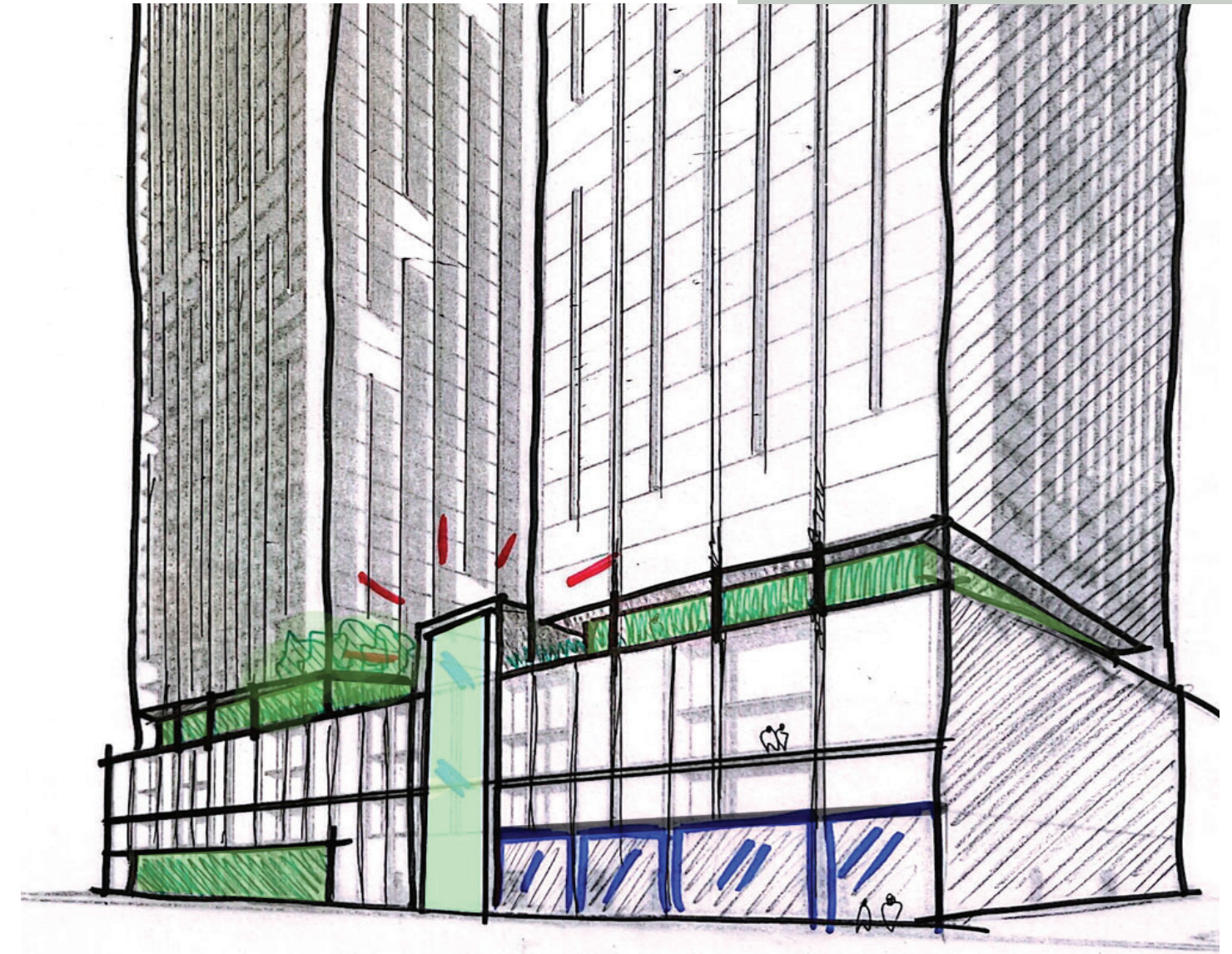
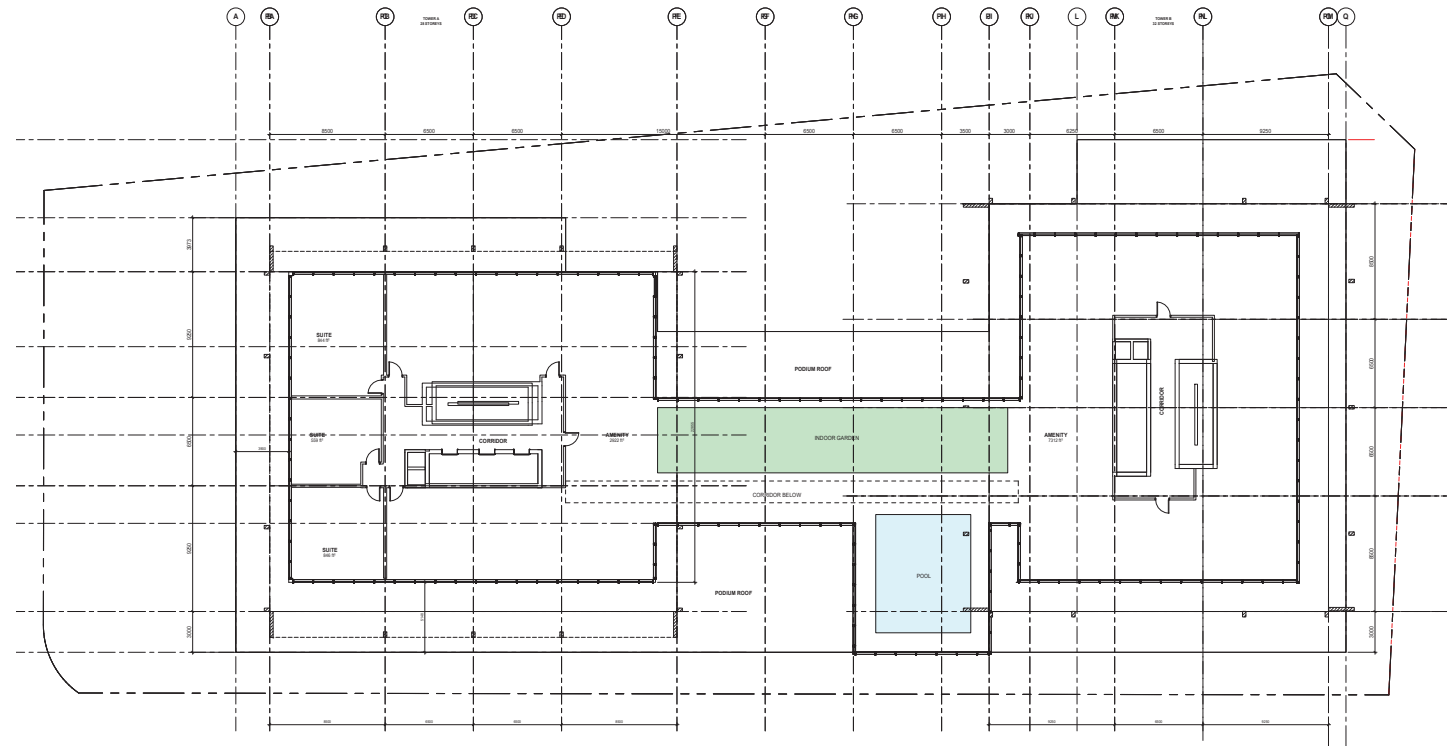
Early exterior façade design concepts were explored which lead to distinctive features such as wrap-around balconies, a landscape slice within the tower, a Mondrian-style pattern, and a vertical lattice screen.



### 4.2 Podium Amenity Concept

The building is proposed to contain amenity spaces located at 5th Floor and its adjacent podium roof. The design emphasized the integration of amenities, including both indoor and outdoor green spaces, as key focal points. The amenity spaces encompass facilities such as a swimming pool, gymnasium, lounge area and yoga room, complemented by greenhouse-inspired environments akin to those depicted in the precedents below.

This approach enhances visual interest and enriches the pedestrian experience within the built environment.



4.3 Public Realm & Site Landscape Opportunities

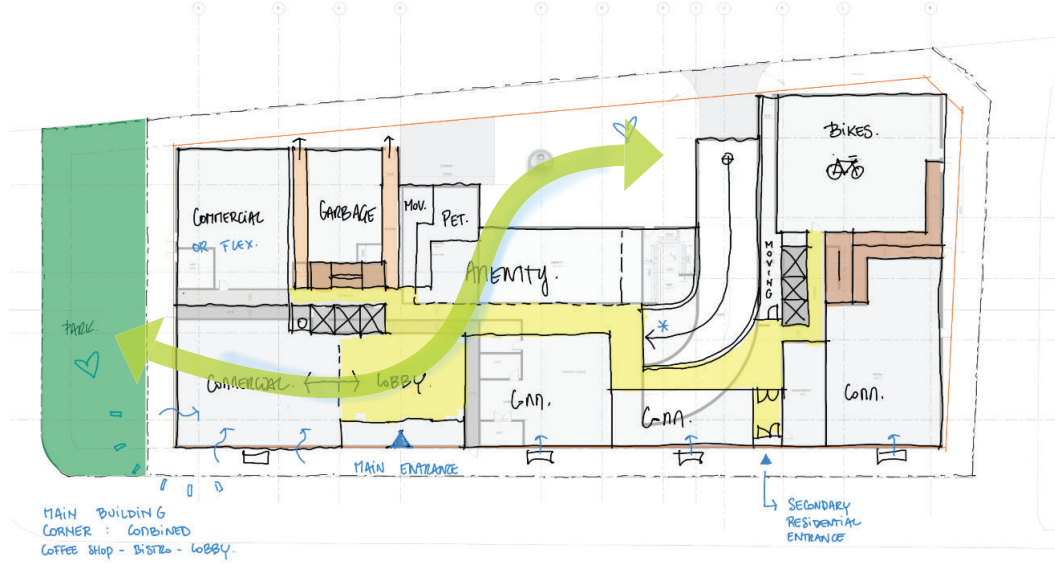


Site context showing links to local conservation areas and trail systems.

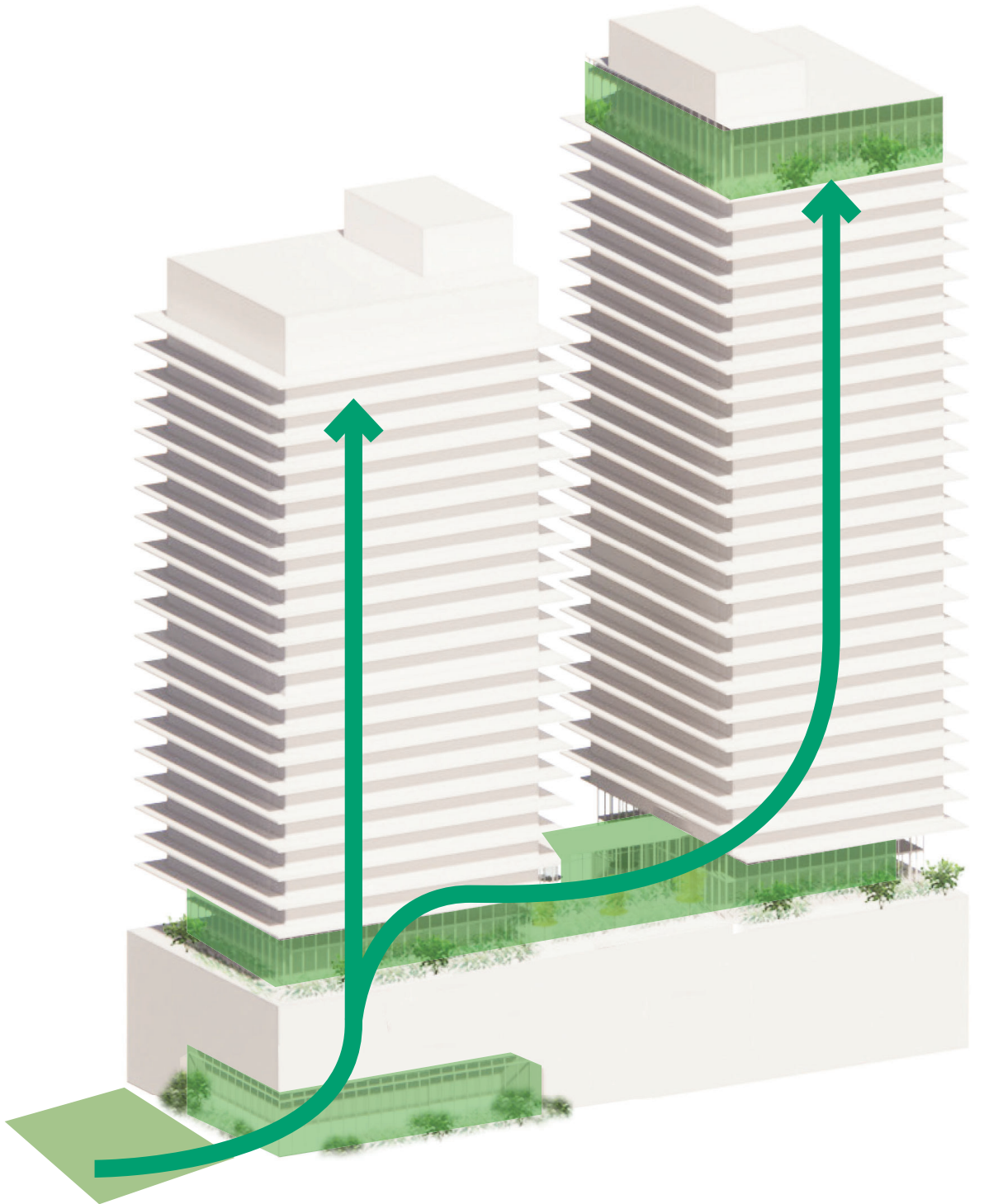
Landscape opportunities occur at different levels of the project:

- Parkland
- Ground Floor Amenity/Residential Entrance
- Podium Roof Level and Amenity Floor
- Sky Lounge Amenity

Site



Early-stage Ground Floor Plan



Early-stage Green Connections

5.0 Pre - SPA Design Strategies |

5.1 Podium Façade and Materiality

The design of the podium draws inspiration from Nordic architectural style, characterized by a minimalist approach and a subdued color palette (precedents below).

To create visual interest and highlight different functional areas such as amenity spaces and retail zones, accents of green cladding are strategically incorporated into the façade.



Green as a feature cladding element evolved from the early design concepts that included lots of vegetation.

The sides of the inset balconies are clad with the same feature green to bring colour to the podium and tie the elements together.

Twin towers are rotated 90 degrees.

The swimming pool is accentuated with a projecting window out from the face of the podium.



Solid walls along the ground floor utilize the green element to allow the podium mass to float above.

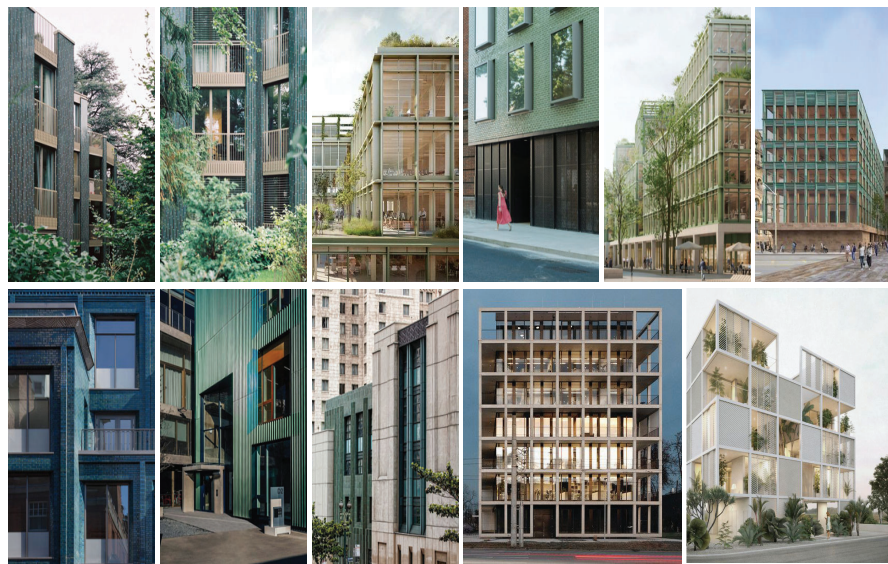
Canopies are proposed at entrances to emphasize the entrances and provide weather protection.

### 5.2 Tower Façade and Materiality

The proposed development includes two, high-rise towers (referred to as Towers 1 and 2), over a single 4-storey podium. An additional storey of amenity use, setback on the 5th Floor, is located between and connecting the two towers. Tower 1 is a 32-storey tower and Tower 2 is a 28-storey tower. The 5th Floor features a swimming pool and amenity space that are expressed as a simple and legible “glass box” that projects over the podium and setback line by approximately 1 m to visually engage with the public realm from the ground level.

The expression of the buildings is characterized by two towers of similar design - with one tower turned 90 degrees from the other to provide both visual interest and to mitigate and improve potential privacy and overlook issues to and from individual residential balconies. The tower balconies are defined by a grid of frames with the balconies on Tower 1 located on the north and south façades while the balconies on Tower 2 are rotated, facing east and west. Inset balconies are provided throughout the podium.

The architectural expression at grade enhances the public realm by highlighting the special moments within the building. Materials planned include a variety of masonry textures and colours, along with a lattice-style tower balcony treatment.



Green element introduced at skylounge amenity.

Feature green cladding introduced at tower façade. Cladding elements considered include a glazed porcelain tile system or tile/brick-embedded precast.

Four-storey intervals are added to articulate a slender tower.

The podium mass is segmented into two forms at the ends with a lighter floating bar fronting Richmond Road and grounded base along Starflower Lane.



### 5.3 Streetscape and Public Realm

Public realm improvements include the addition of the dedicated parkland to the west - activating the public realm with vegetation, hard landscaping and seating to provide spill-out space for the adjacent retail and amenity space. Other improvements include new street trees along the boulevard to enhance the long and most public frontage of the site. The new park will anchor the site within the community. Pedestrian access across the south along Starflower Lane is encouraged. Ground floor suites are located at the northeast corner and include private patios. The site is designed with pedestrian accessibility and privacy for residents in mind. Contiguous interior and exterior amenity space is provided on the ground floor and at grade to the north. Views through the lobby from south to north blur the lines between inside and outside and will have the effect of inviting exterior vegetation "greenness" into the lobby and interior amenity areas. The project is shallow in its north-south dimension and the ground floor will therefore feel quite porous and open.

### 5.4. Shadow Impacts

The towers are positioned to be along the South of the site to minimize the shadow impact to the properties to the north and to allow for increased access to light. The proposed slender tower floor plate of 750 sm generates shadows that are fast-moving throughout the day. In June, the shadows no longer impact the subdivision to the north after 11:00 am, and by 1:00 pm the houses along Starflower Lane are also no longer impacted. In September the shadows no longer impact the subdivision to the north after 1:00 pm.



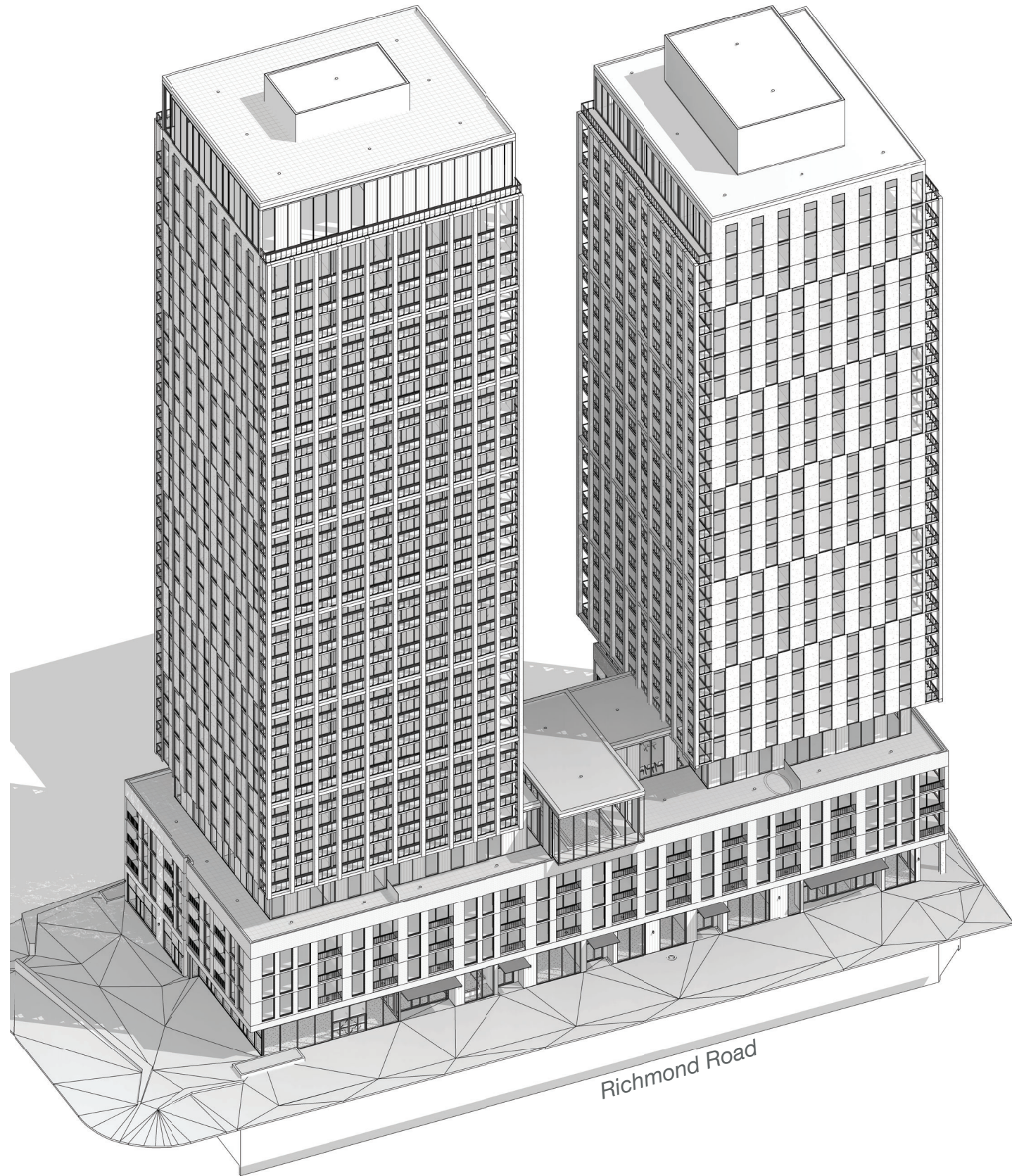
*View looking west along Richmond Road*

# ZBA/SPA Submission

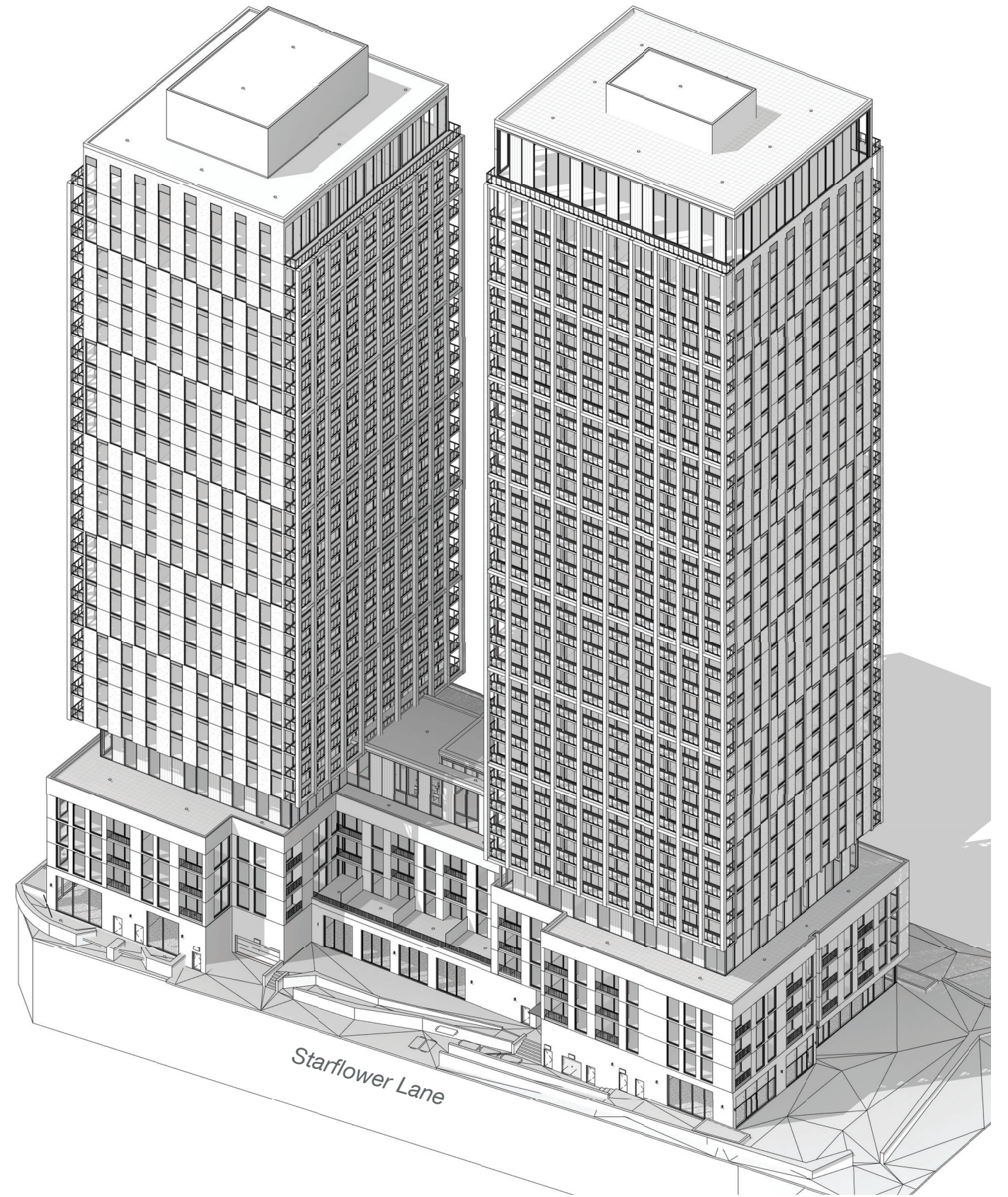
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June 2023





*Axonometric view looking North*



*Axonometric view looking South*



View of the Site Looking North

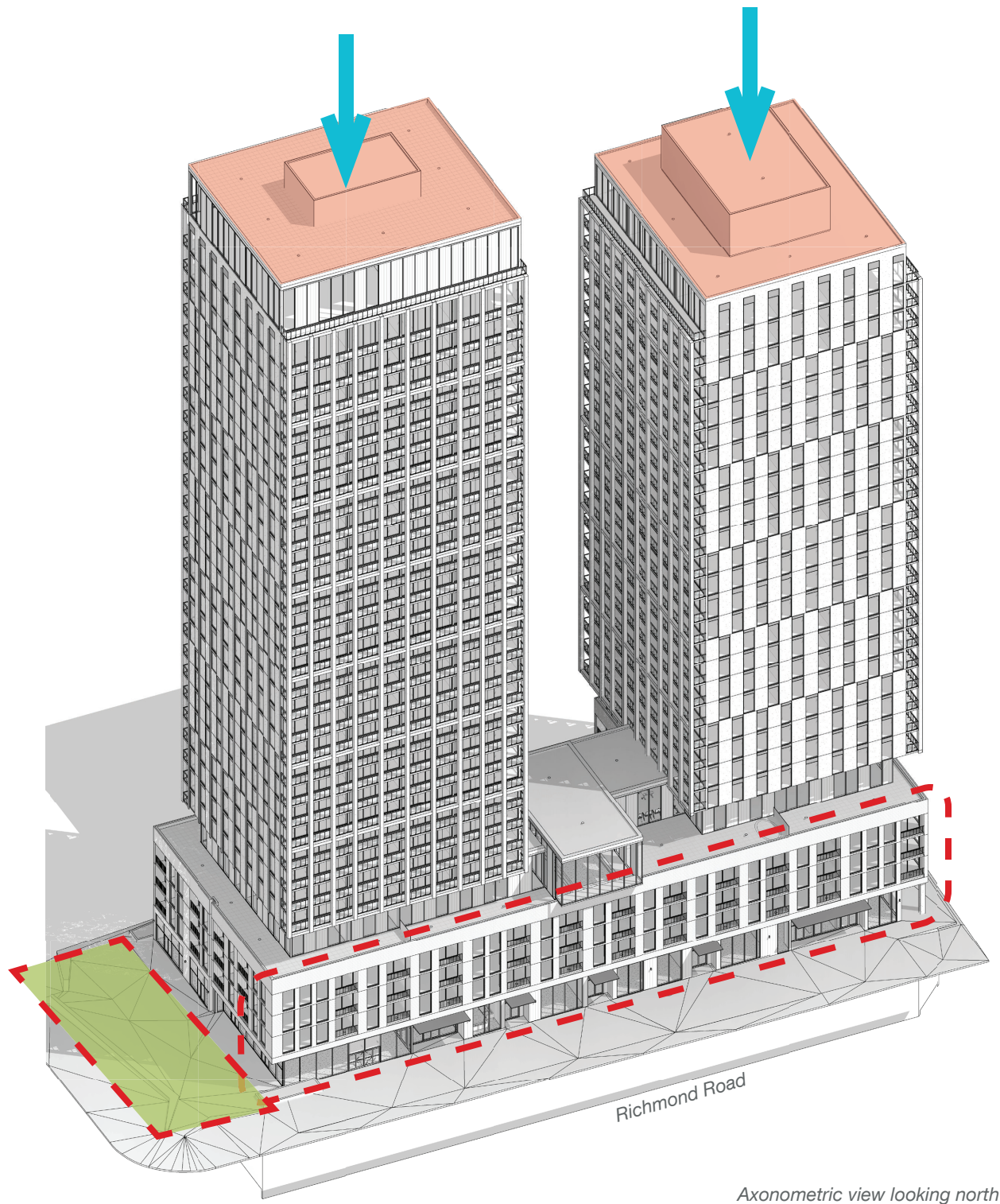
# ZBA/SPA Comments

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## Summary of Urban Design, Parkland and Architectural Related Comments

7.0 ZBA / SPA City comments|

7.1 City Comments Graphical Representation



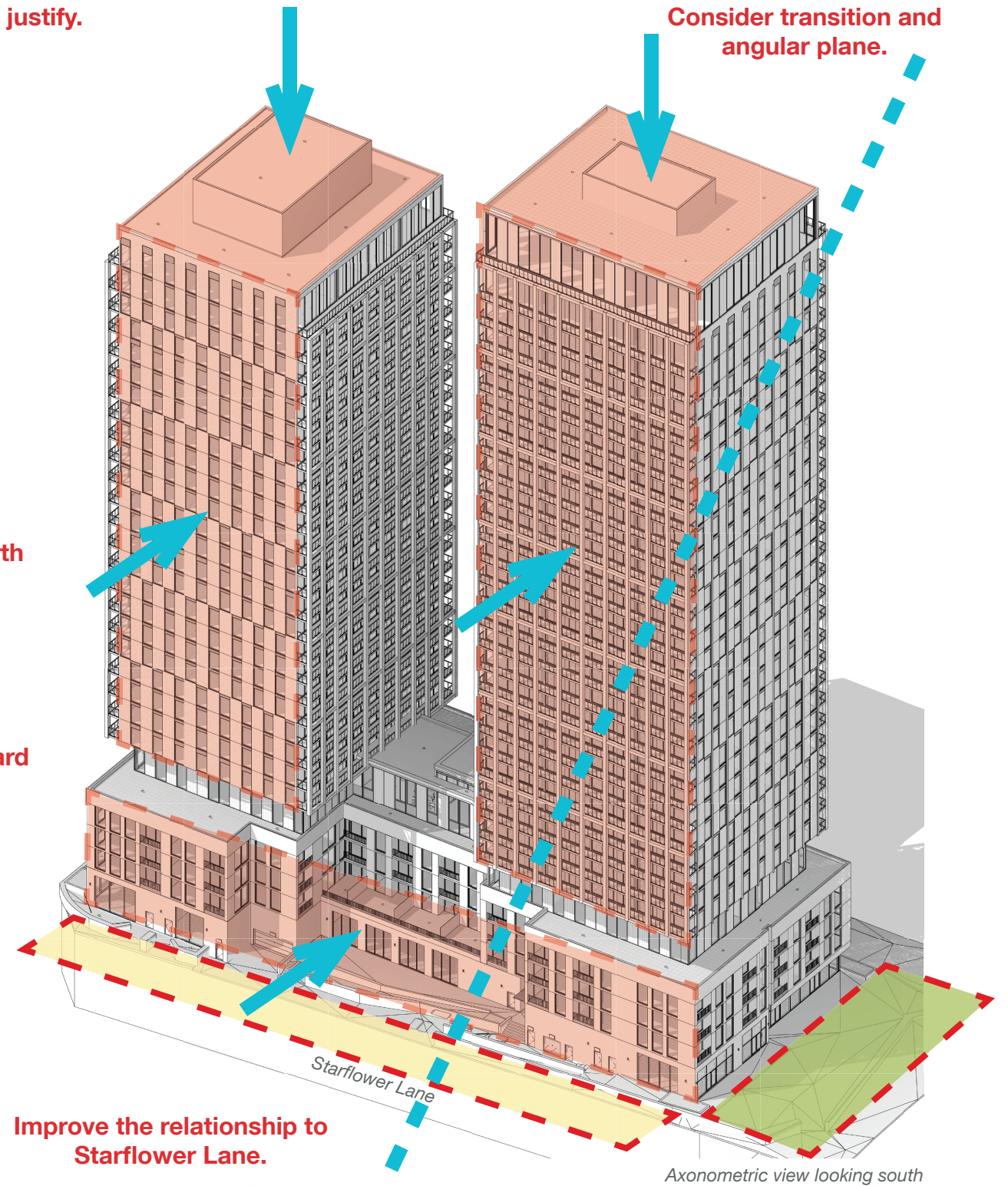
Parkland dedication is too small and difficult to program with public amenities. Cash-in-lieu is acceptable.

Tower heights are difficult to justify.

Towers are too close to the north property line.

Maintain minimum 7.5 m rear yard setback at podium.

Podium is too monolithic.

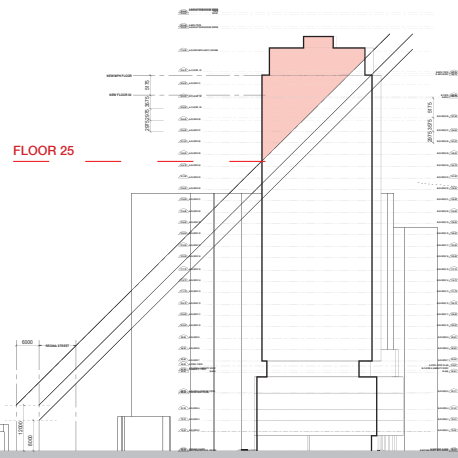
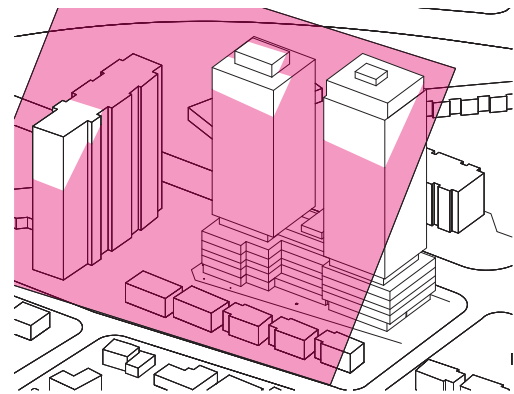
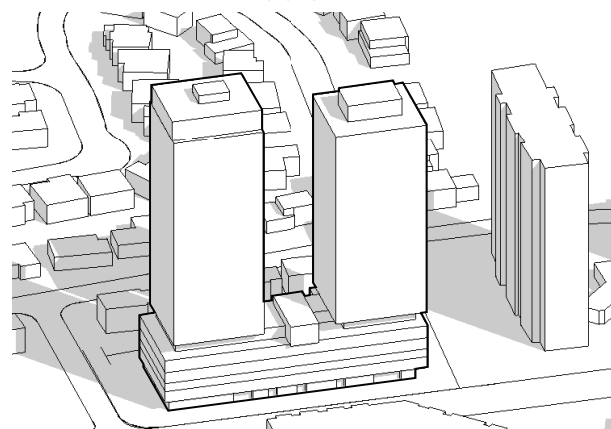
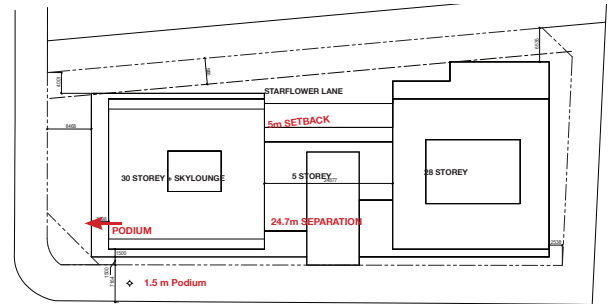


Consider transition and angular plane.

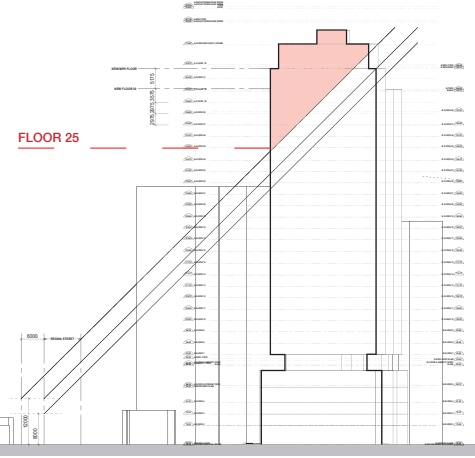
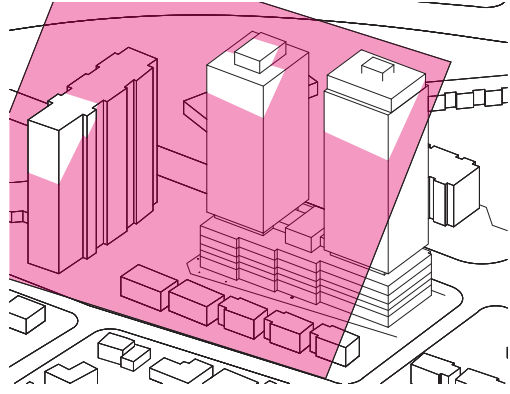
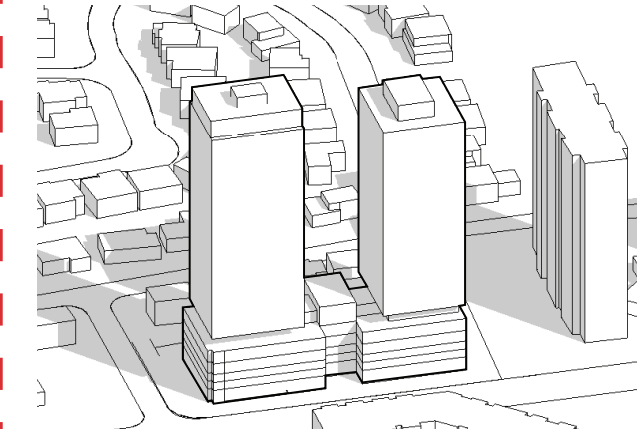
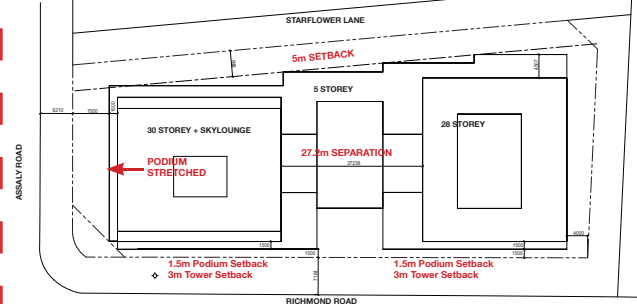
Improve the relationship to Starflower Lane.

7.2 Response to City Comments - Massing Reconfiguration

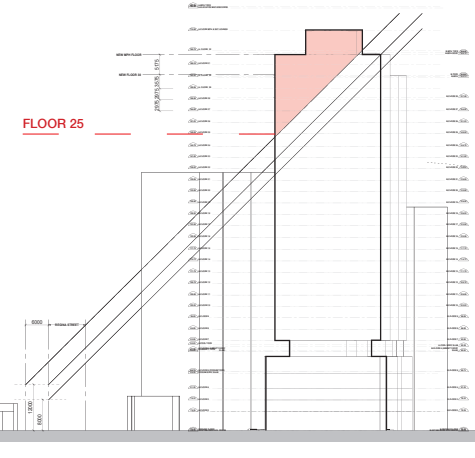
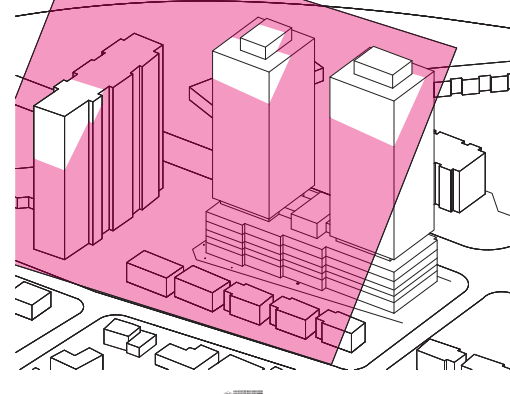
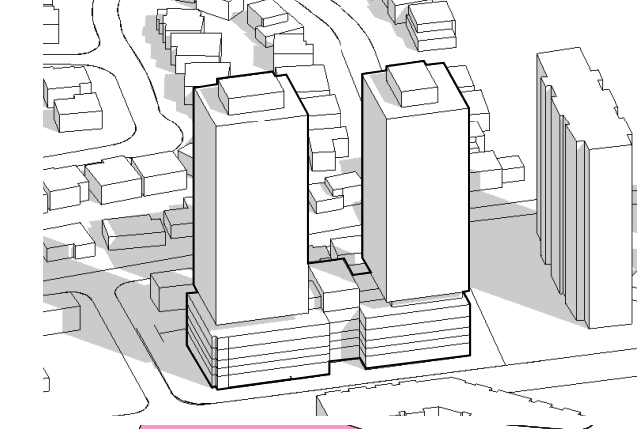
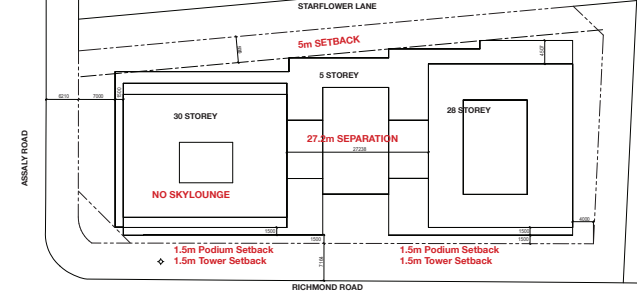
Option 1



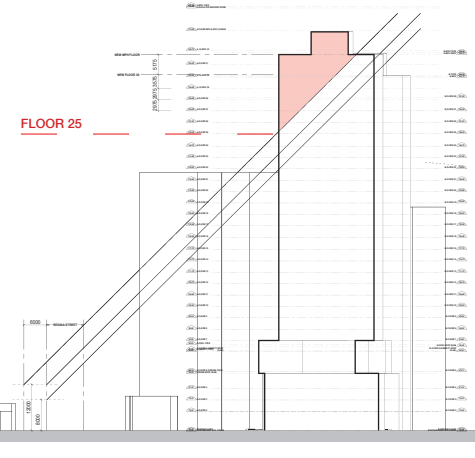
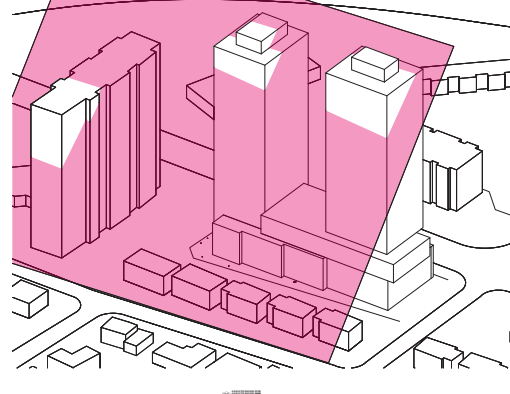
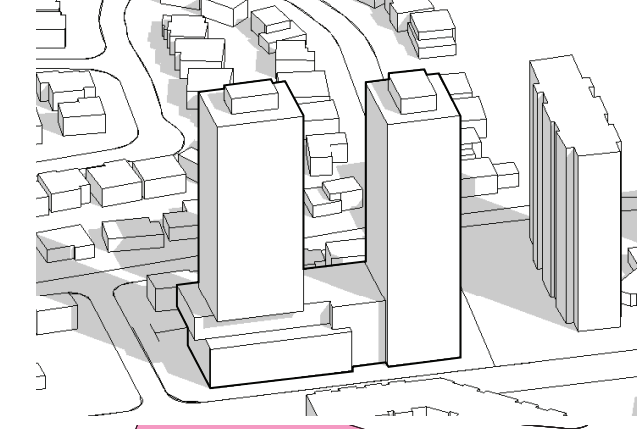
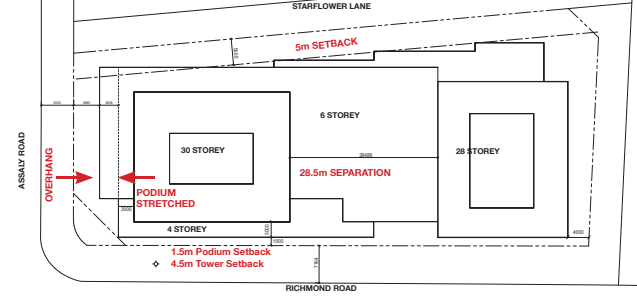
Option 2



Option 3



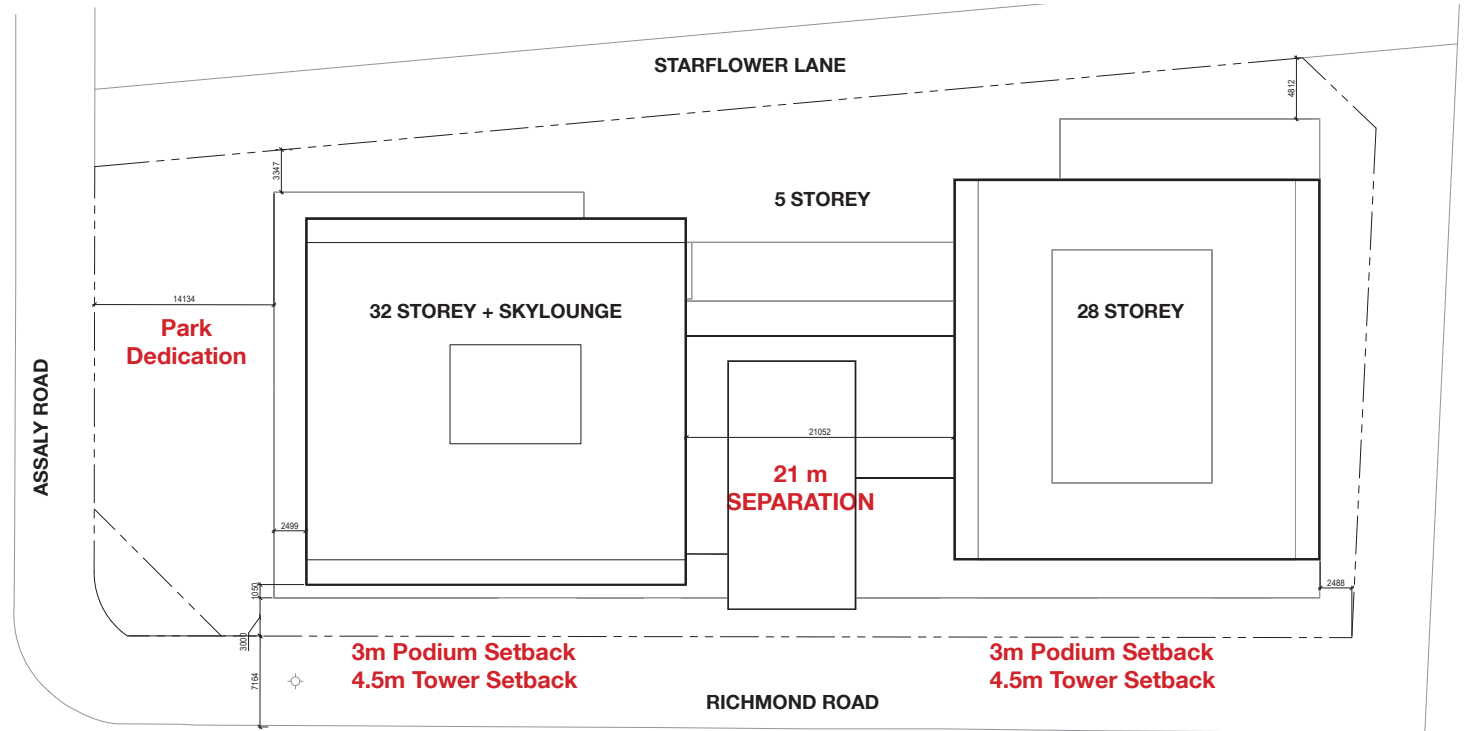
Option 4



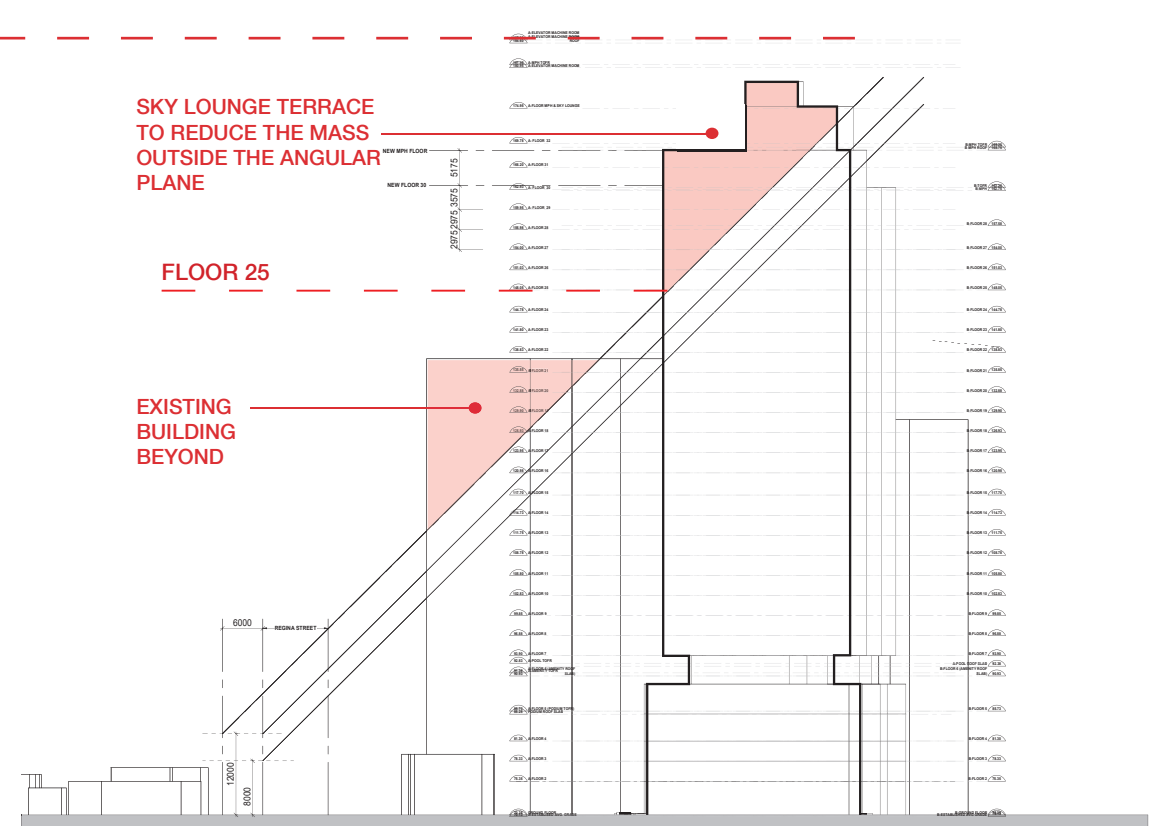
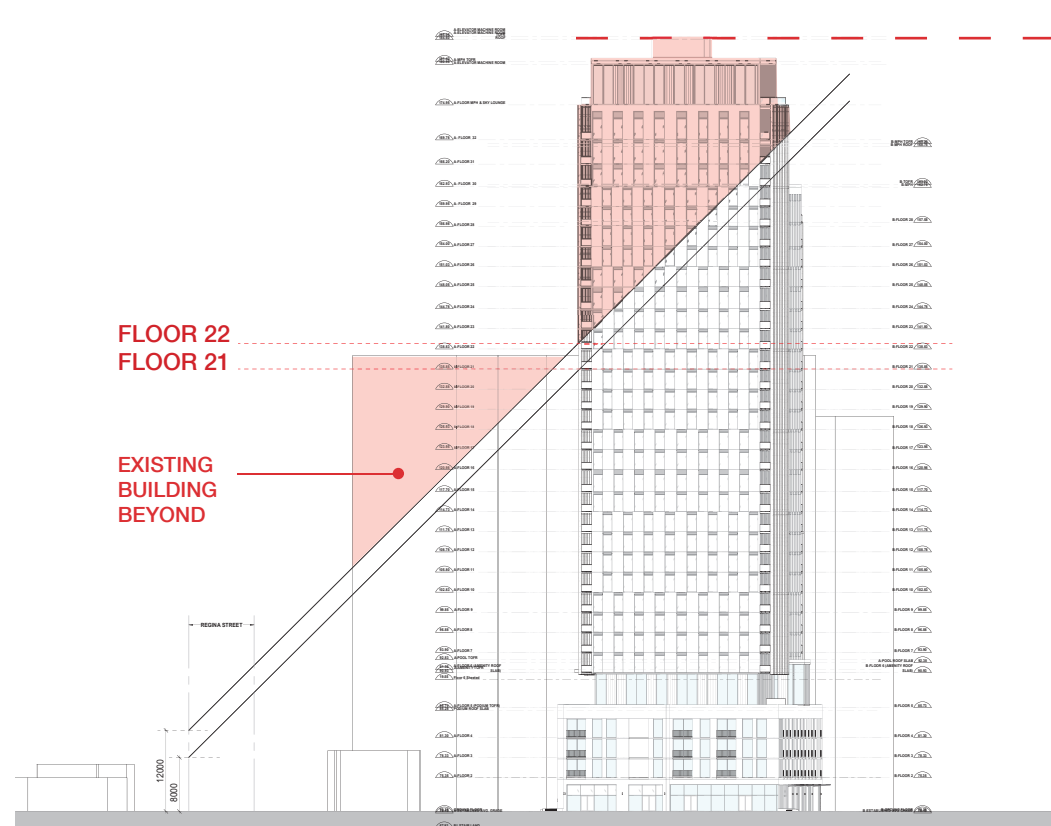
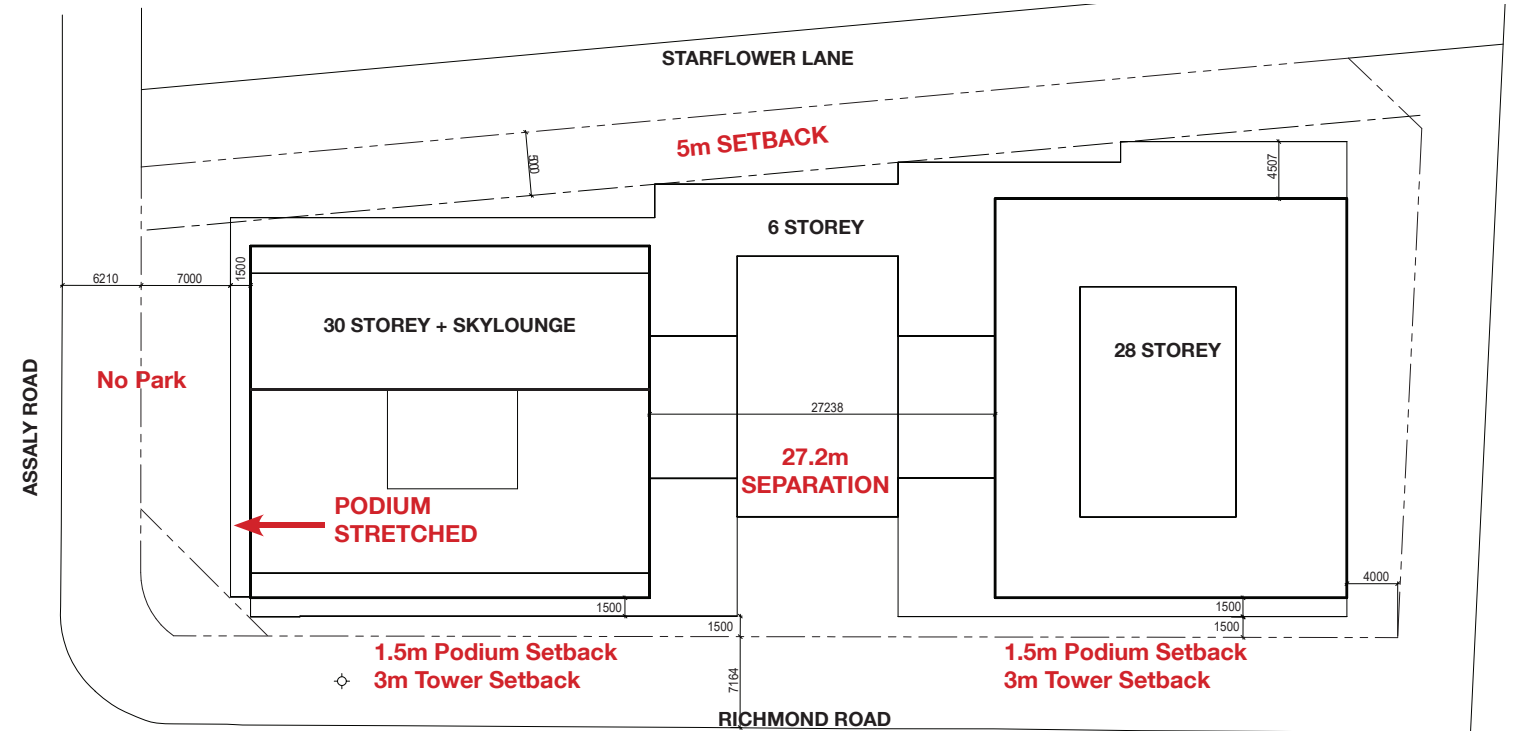
Preferred Option

7.3 Old Vs New Massing Comparison with Angular Plane

SPA Submission Massing



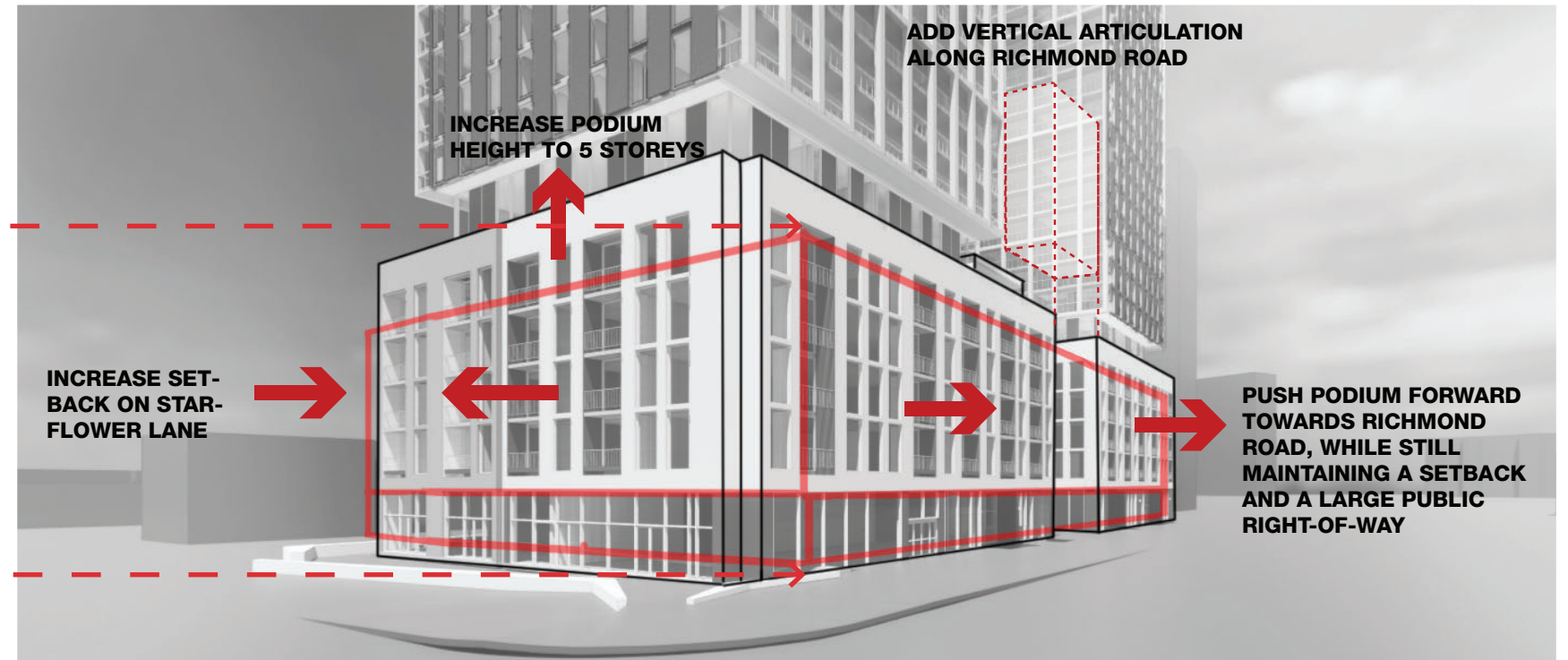
Post SPA Massing



7.4 Pre-SPA Vs Post-SPA Massing Comparison - Podium Design



ZBA / SPA SUBMISSION



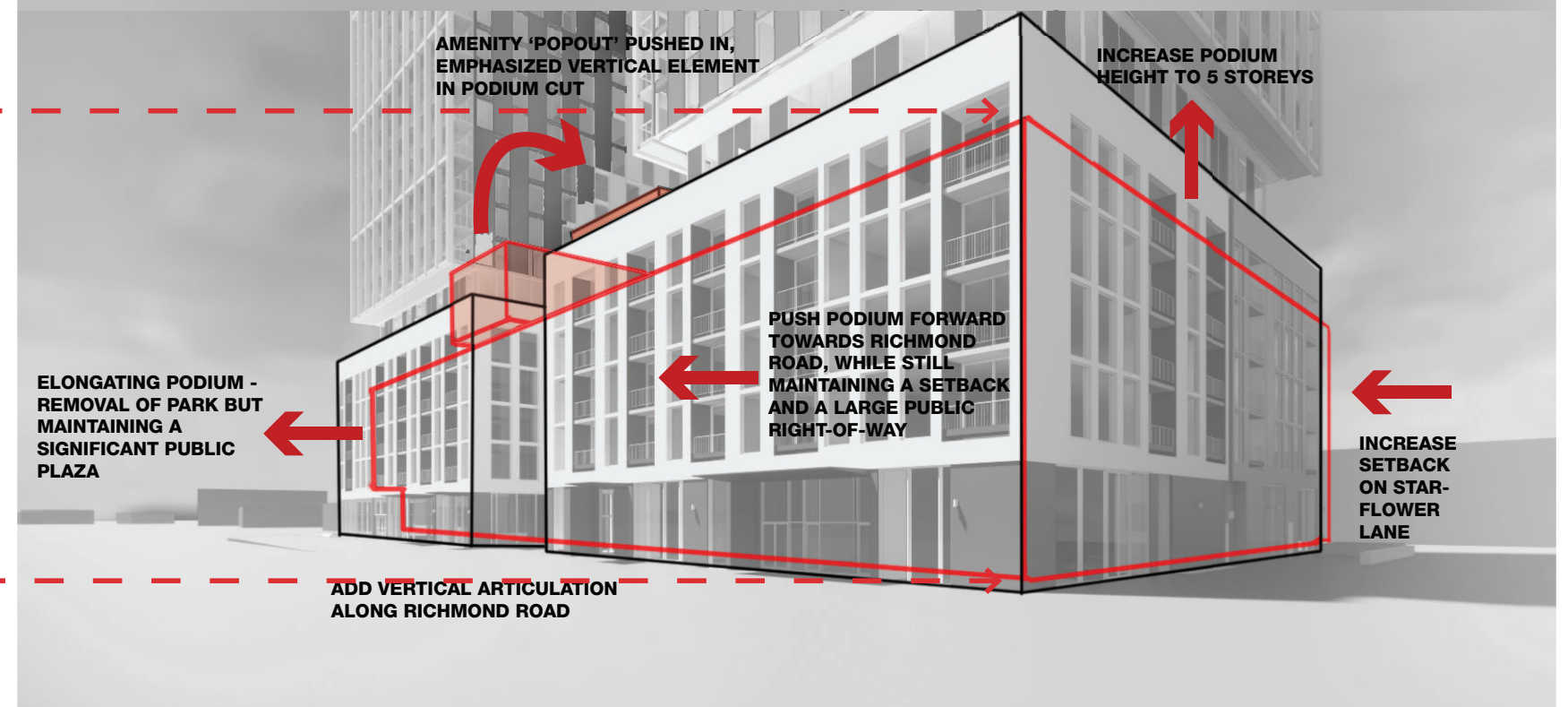
INCREASE SET-BACK ON STAR-FLOWER LANE

INCREASE PODIUM HEIGHT TO 5 STOREYS

ADD VERTICAL ARTICULATION ALONG RICHMOND ROAD

PUSH PODIUM FORWARD TOWARDS RICHMOND ROAD, WHILE STILL MAINTAINING A SETBACK AND A LARGE PUBLIC RIGHT-OF-WAY

ELONGATING PODIUM - REMOVAL OF PARK BUT MAINTAINING A SIGNIFICANT PUBLIC PLAZA



AMENITY 'POPOUT' PUSHED IN, EMPHASIZED VERTICAL ELEMENT IN PODIUM CUT

INCREASE PODIUM HEIGHT TO 5 STOREYS

ELONGATING PODIUM - REMOVAL OF PARK BUT MAINTAINING A SIGNIFICANT PUBLIC PLAZA

PUSH PODIUM FORWARD TOWARDS RICHMOND ROAD, WHILE STILL MAINTAINING A SETBACK AND A LARGE PUBLIC RIGHT-OF-WAY

INCREASE SETBACK ON STAR-FLOWER LANE

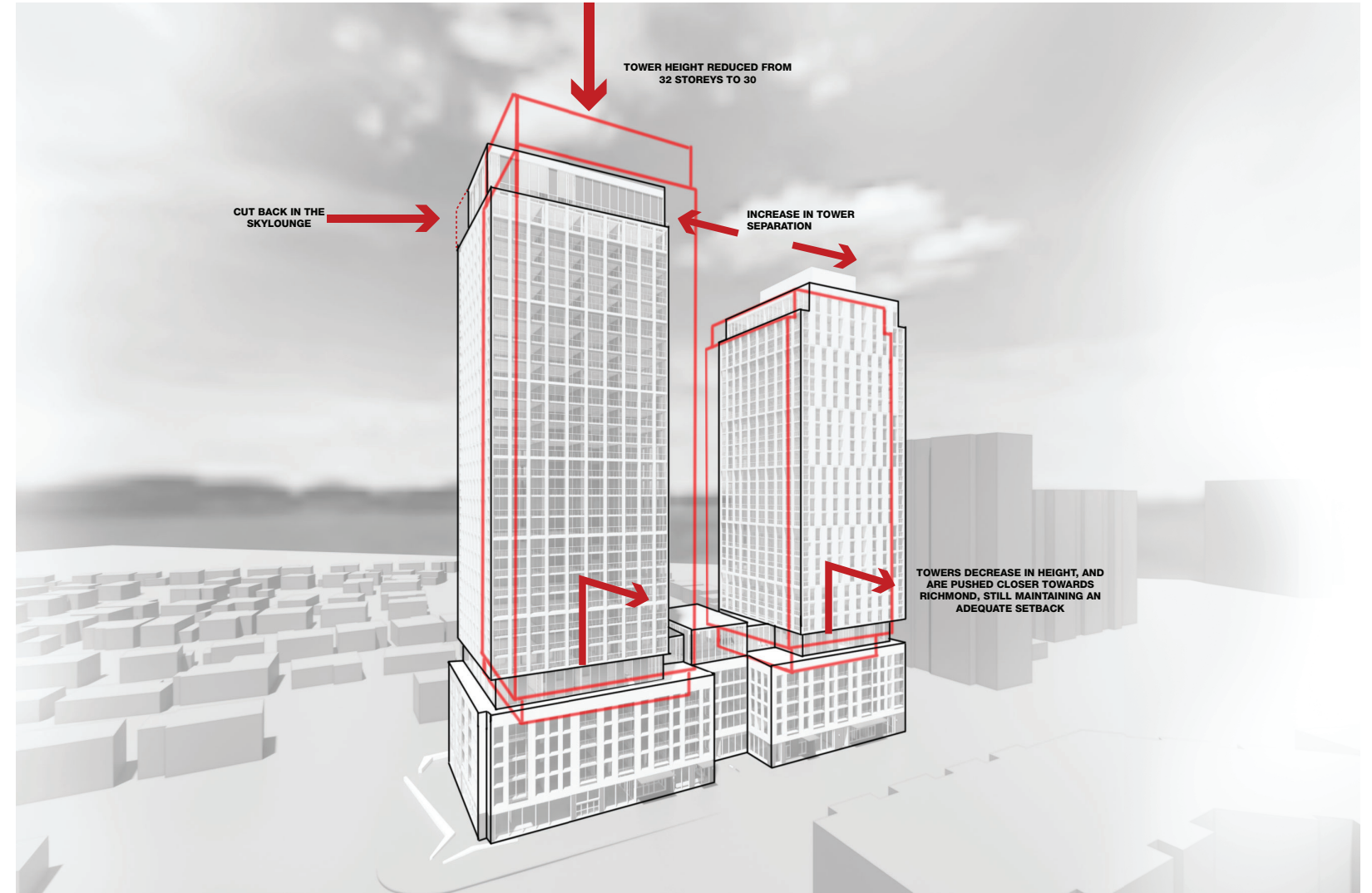
ADD VERTICAL ARTICULATION ALONG RICHMOND ROAD

POST SPA MASSING (BASED ON OPTION 2)

7.5 Pre- SPA Vs Post- SPA Massing Comparison - Tower Design



ZBA / SPA SUBMISSION

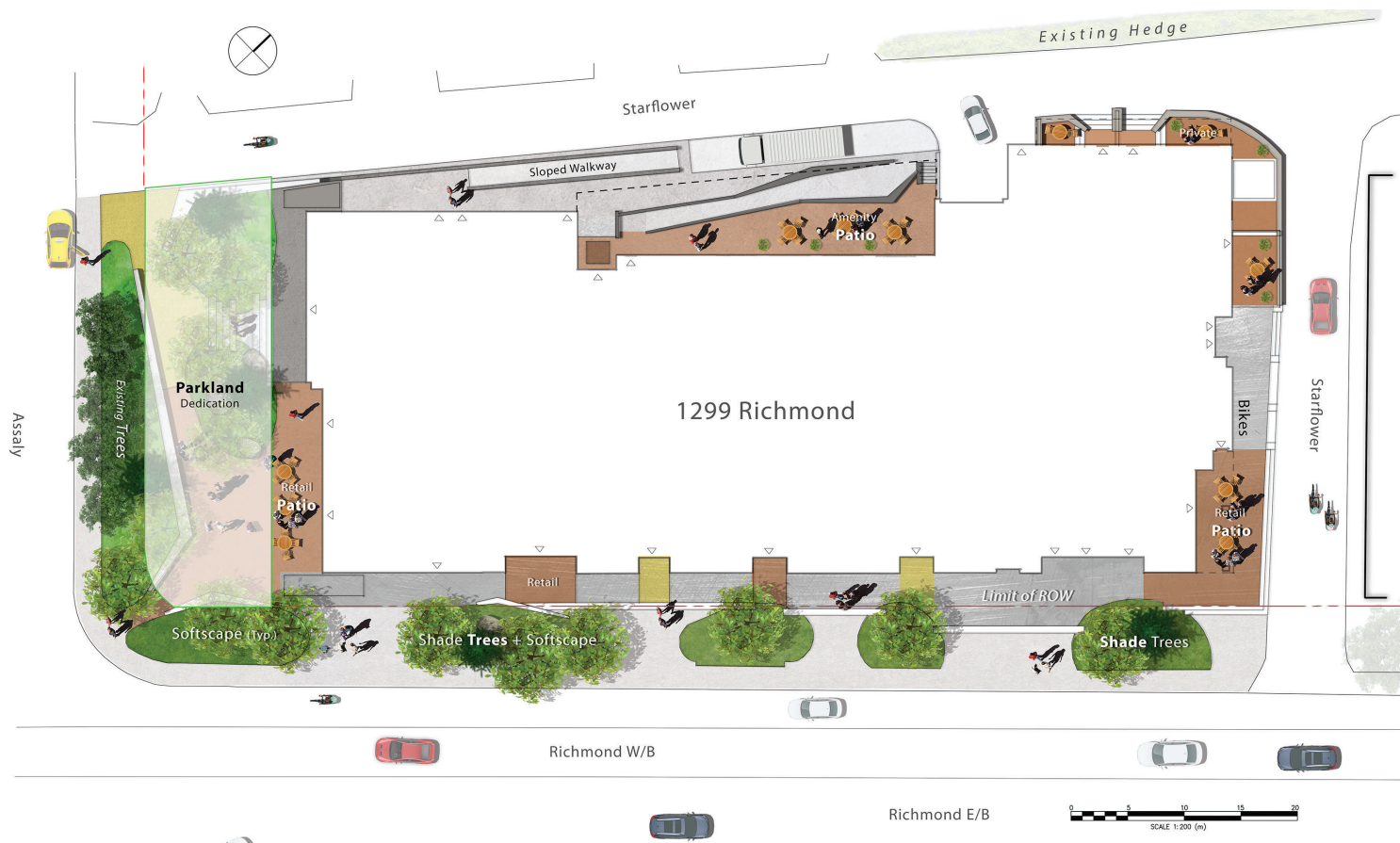


POST SPA MASSING (BASED ON OPTION 2)



7.6 Pre - SPA Vs Post- SPA Massing Comparison - Public Realm & Landscape

ZBA / SPA SUBMISSION



POST SPA MASSING (BASED ON OPTION 2)



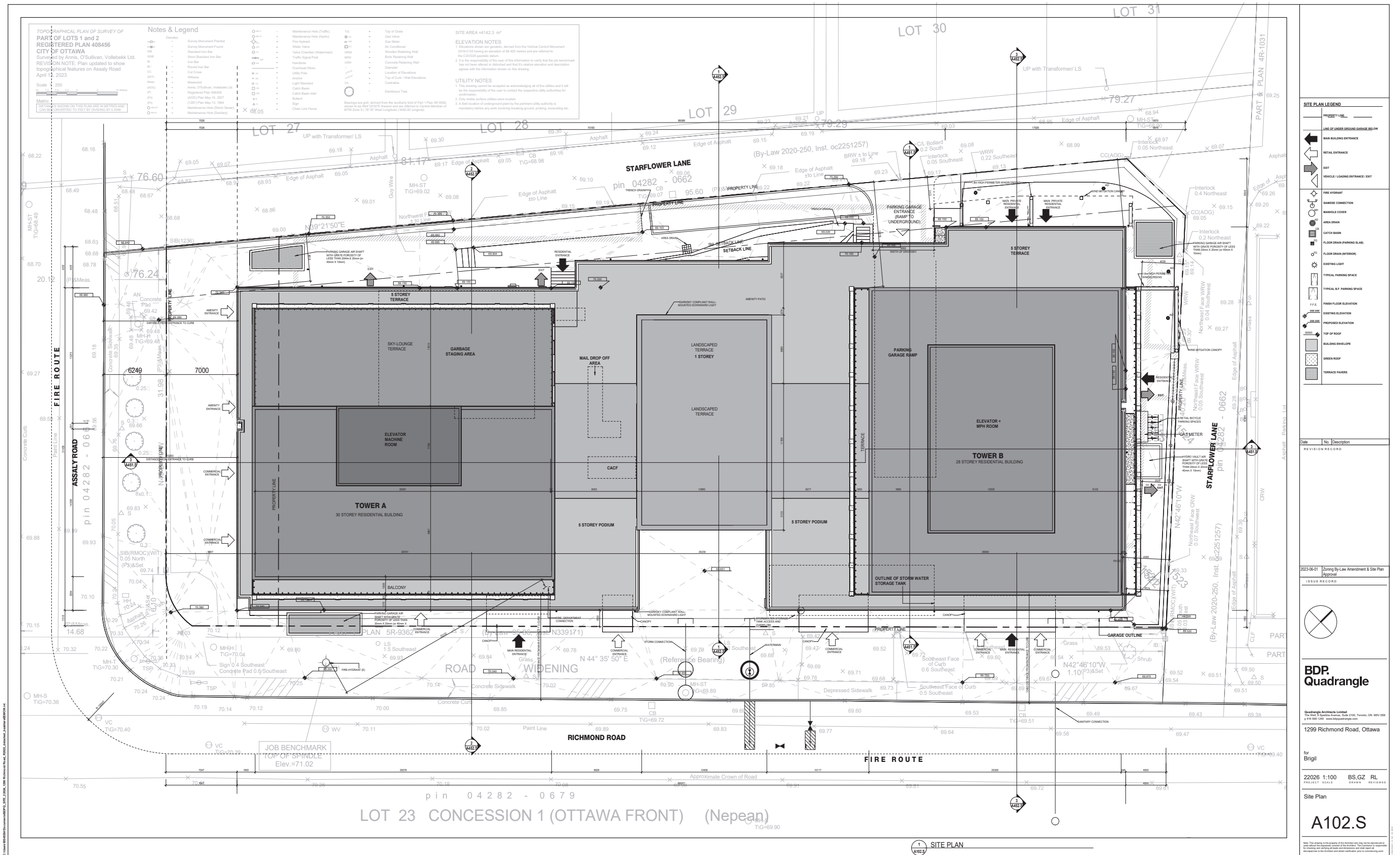
# UDRP#1 Submission and Comments

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February 2024

8.0 UDRP Submission & Comments |

8.1 UDRP Submission -Site Plan





Aerial View of the Site Looking North

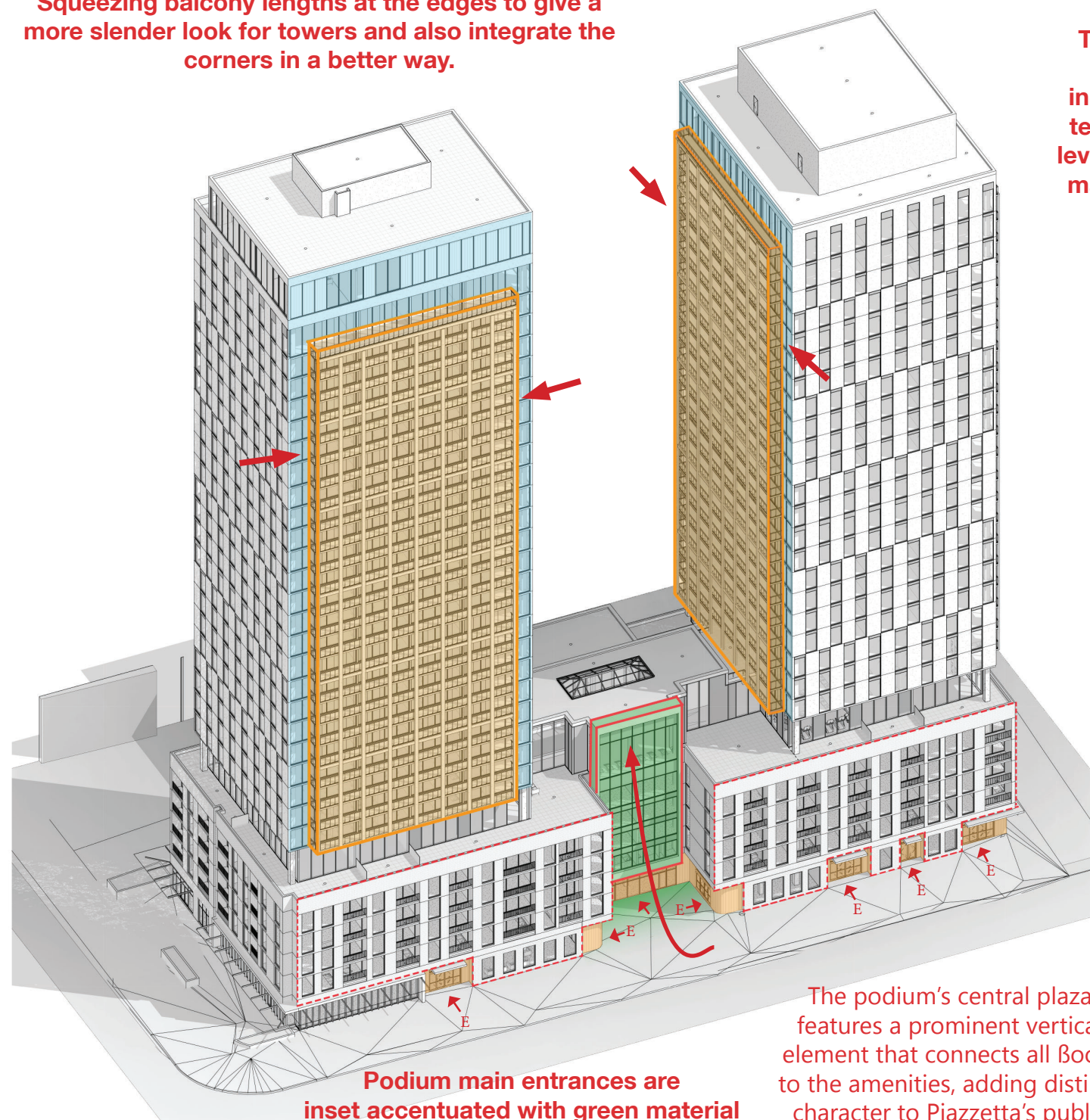


Aerial View of the Site Looking South

8.3 UDRP Design Comments - Graphical Representation

- **Podium Revisions:** Appreciate revisions to the podium along Richmond Road. Explore a high central lobby with a tall atrium connected to the amenity and green spaces.
- **Podium Material:** Address concerns about the flat white podium base by considering neutral masonry materials, preferably beige.
- **Stepped Podium:** Explore a stepped podium on the north side with residential units at grade, creating a residential feel along Starflower Lane.
- **Plaza Access:** Further develop access from the plaza to the podium's central amenity feature.
- **Podium and Public Realm:** Further consider how the podium corners interact with the public realm, especially along Richmond Road

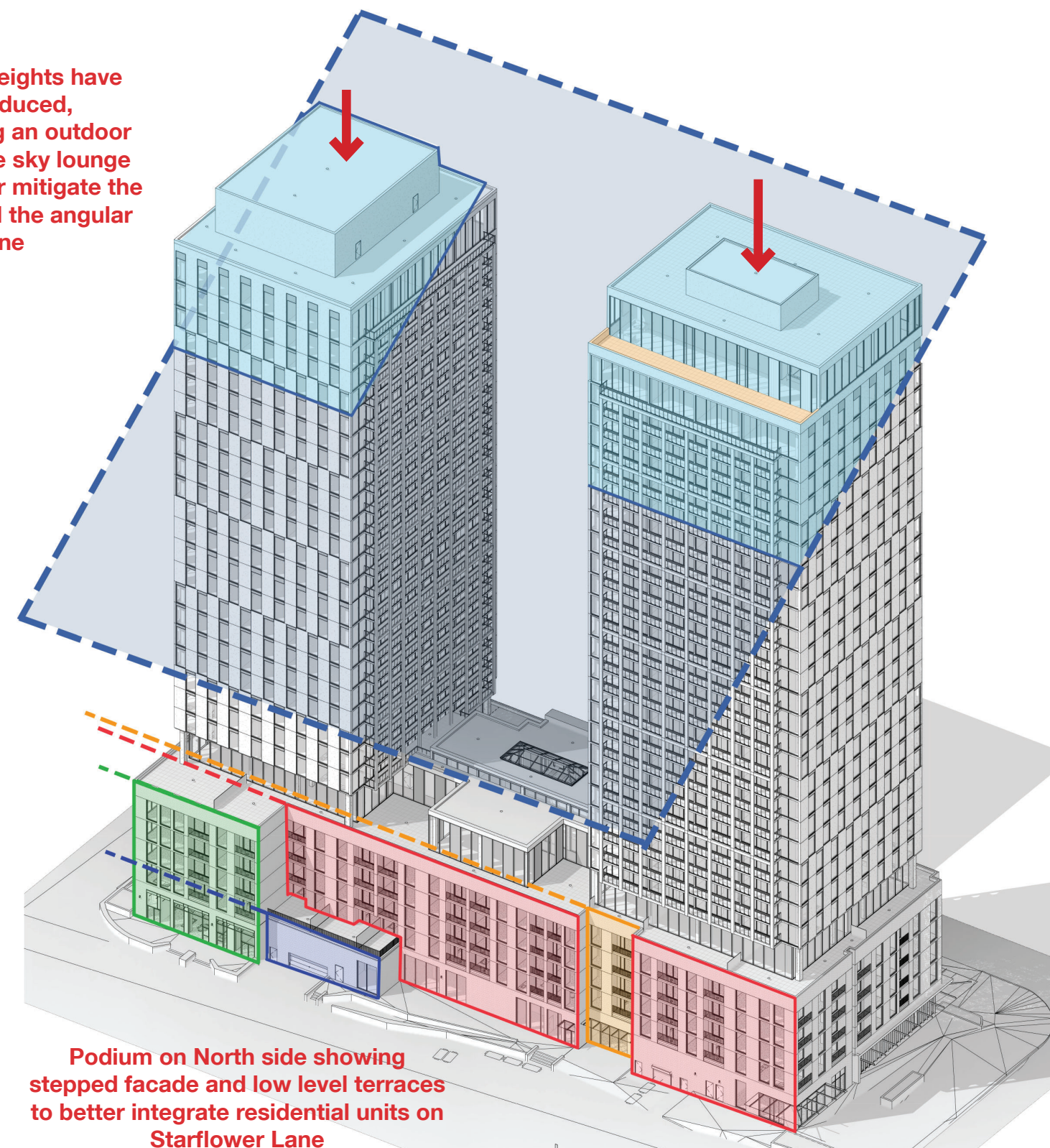
Squeezing balcony lengths at the edges to give a more slender look for towers and also integrate the corners in a better way.



Podium main entrances are inset accentuated with green material within an overall beige brick podium.

The podium's central plaza features a prominent vertical element that connects all floors to the amenities, adding distinct character to Piazzetta's public realm

The tower heights have been reduced, incorporating an outdoor terrace at the sky lounge level to further mitigate the mass beyond the angular plane



Podium on North side showing stepped facade and low level terraces to better integrate residential units on Starflower Lane

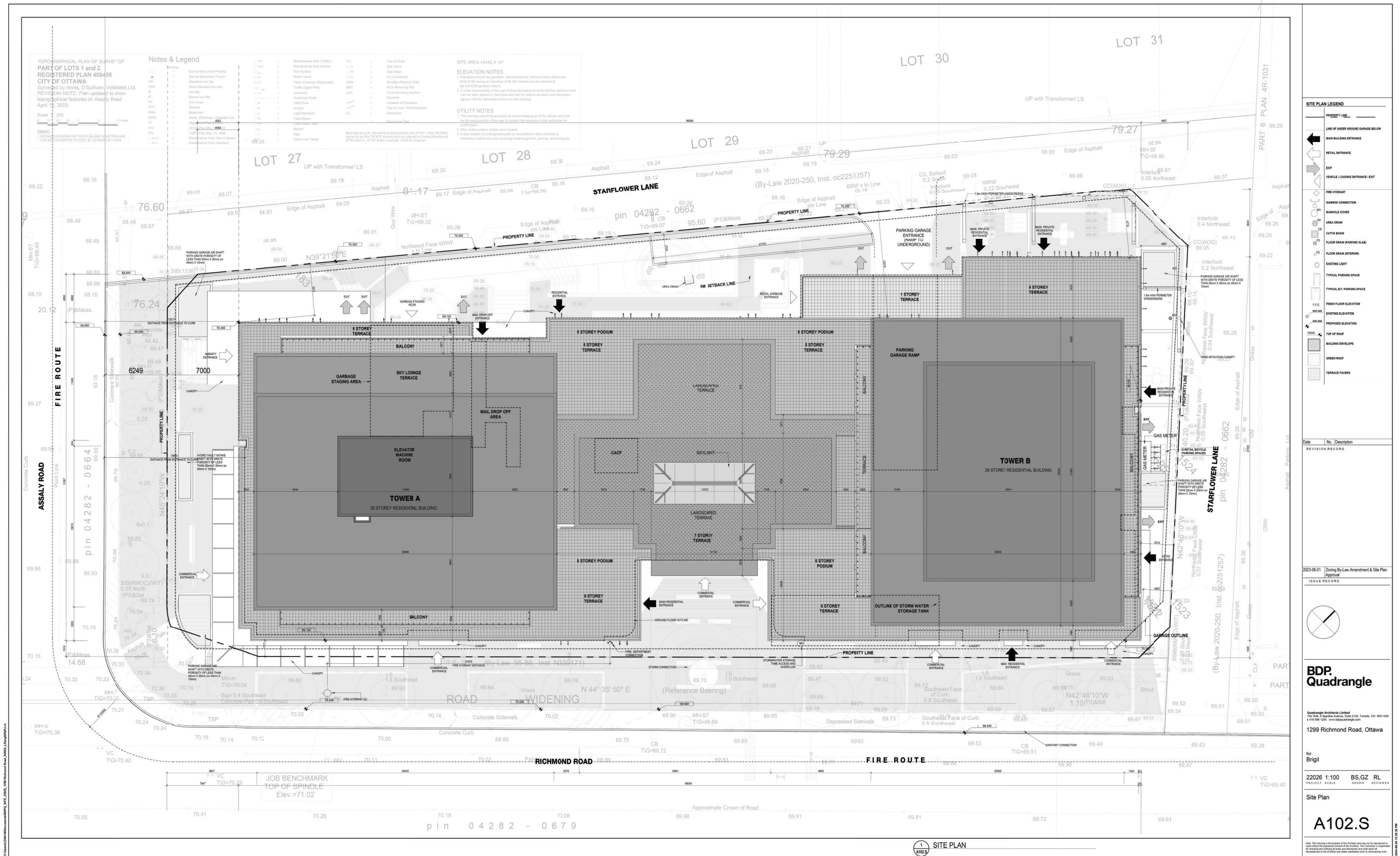
# ZBA/SPA Resubmission

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June 2024

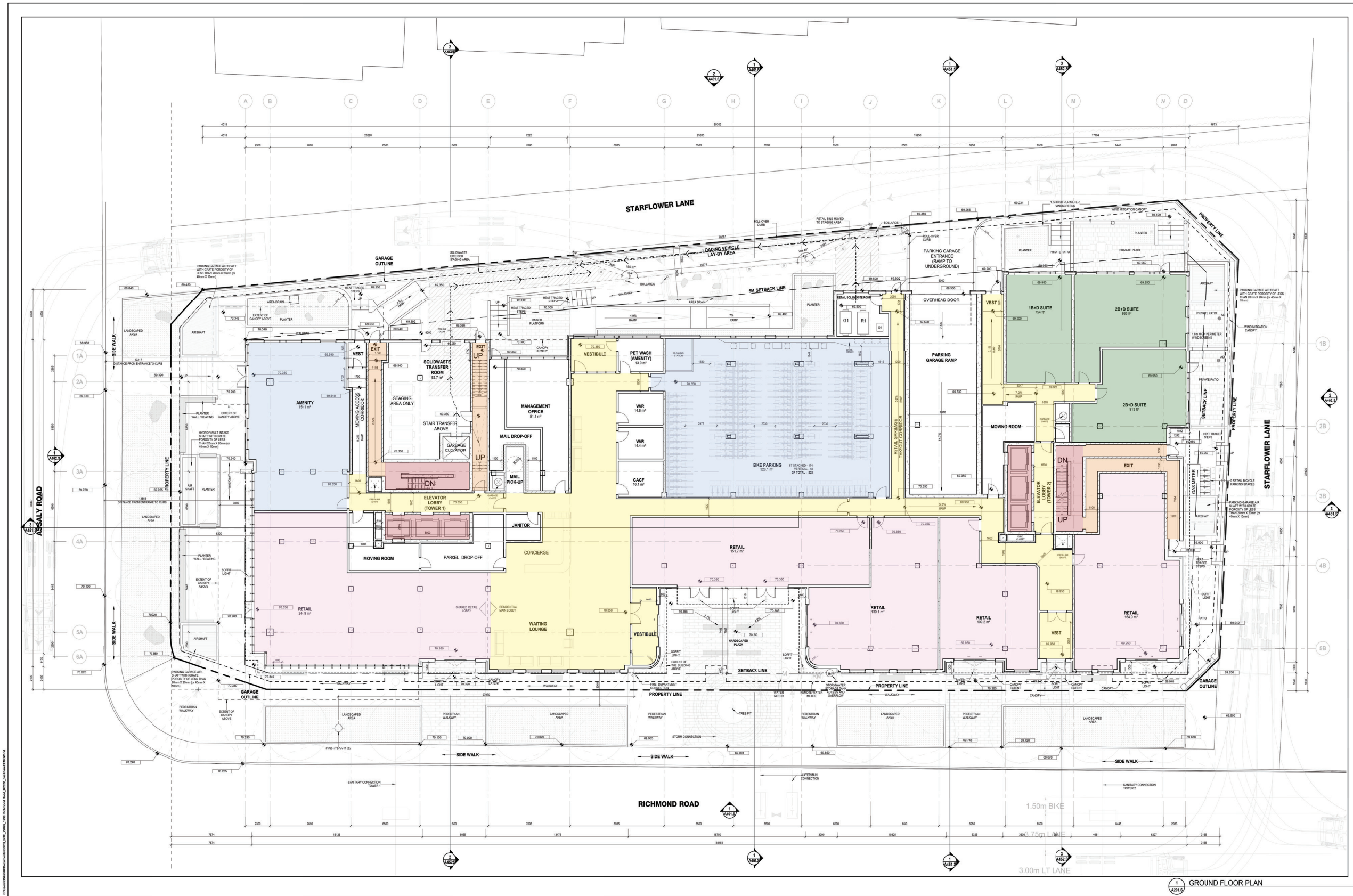
9.0 ZBA/SPA Resubmission |

9.1 Current Site Plan





9.2 Current Ground floor - Usage Plan



Legend

- Amenity
- Cores
- Circulation
- Exits
- Residential
- Retail

Date	No.	Description
		REVISION RECORD

2023-06-01 Zoning By-Law Amendment & Site Plan Approval  
ISSUE RECORD



**BDP.  
Quadrangle**

Quadrangle Architecture Limited  
1299 Richmond Road, Ottawa  
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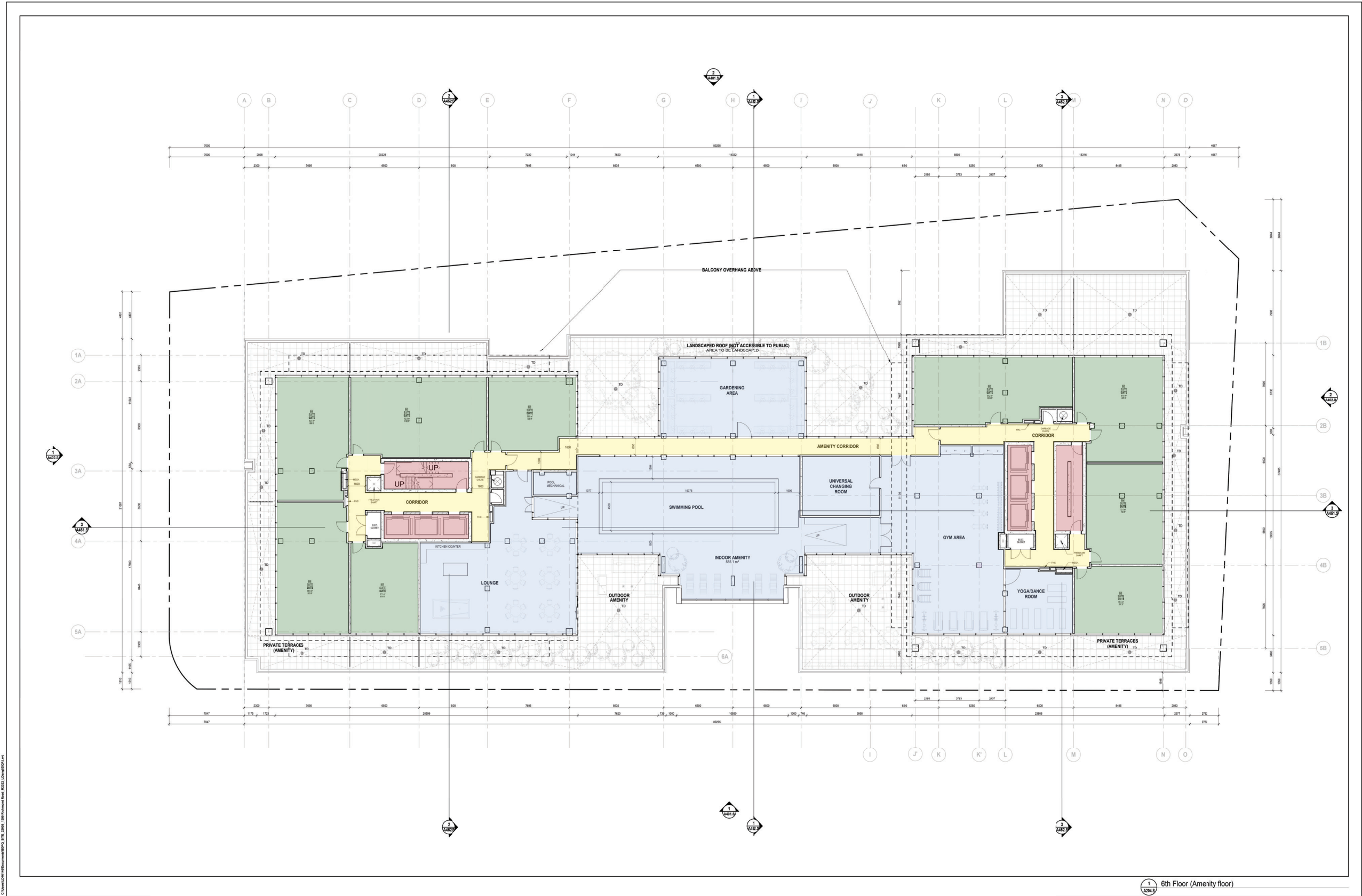
for  
Brigil

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PROJECT SCALE DRAWN REVIEWED

Ground Floor Plan

**A201.S**

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- Legend**
- Amenity
  - Cores
  - Circulation
  - Exits
  - Residential
  - Retail

Date	No.	Description
2023-06-01	Zoning By-Law Amendment & Site Plan Approval	ISSUE RECORD



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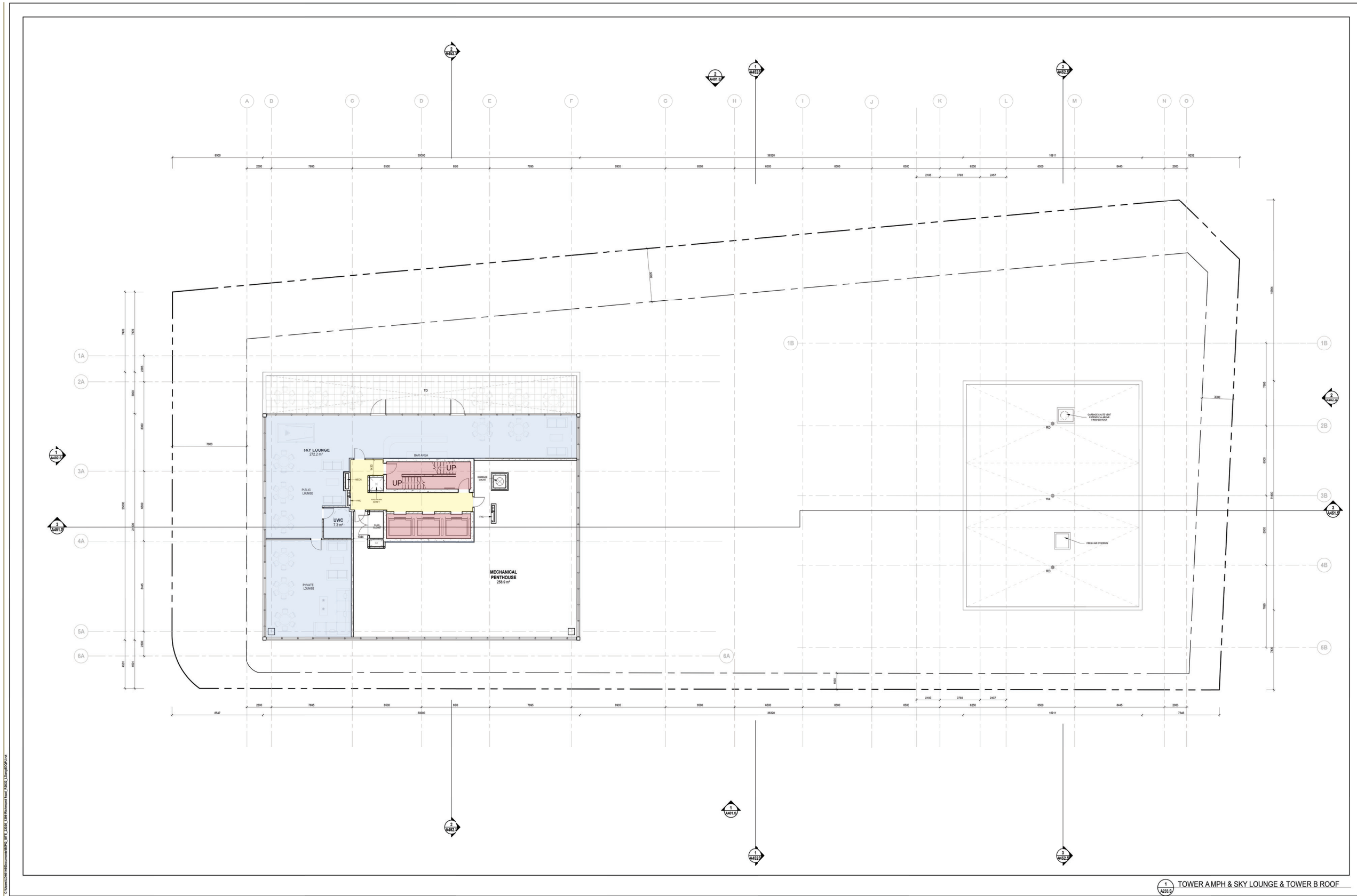
for  
 Brigil

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 PROJECT SCALE DRAWN REVIEWED

6th Floor Plan (Amenity floor)

**A204.S**

1/2024 6th Floor (Amenity floor)



- Legend**
- Amenity
  - Cores
  - Circulation
  - Exits
  - Residential
  - Retail

Date	No.	Description
2023-08-01	Zoning By-Law Amendment & Site Plan Approval	REVISION RECORD
2023-08-01	Zoning By-Law Amendment & Site Plan Approval	ISSUE RECORD

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1299 Richmond Road, Ottawa

for  
Brigil

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PROJECT SCALE DRAWN REVIEWED

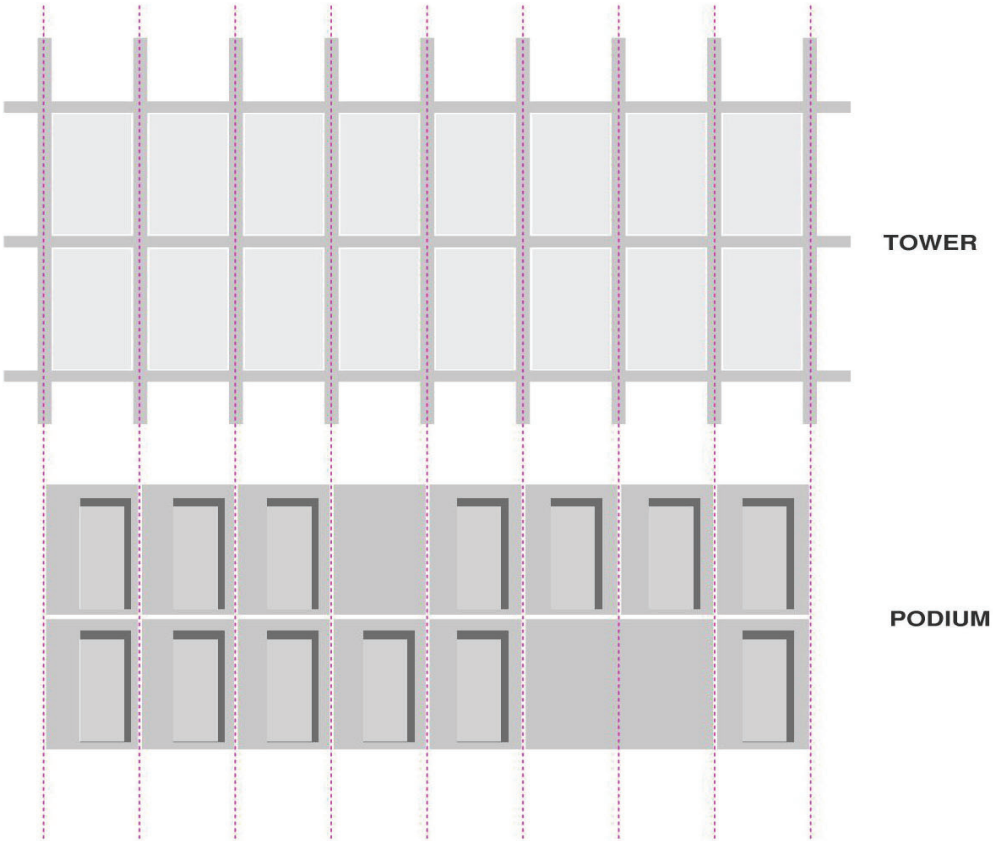
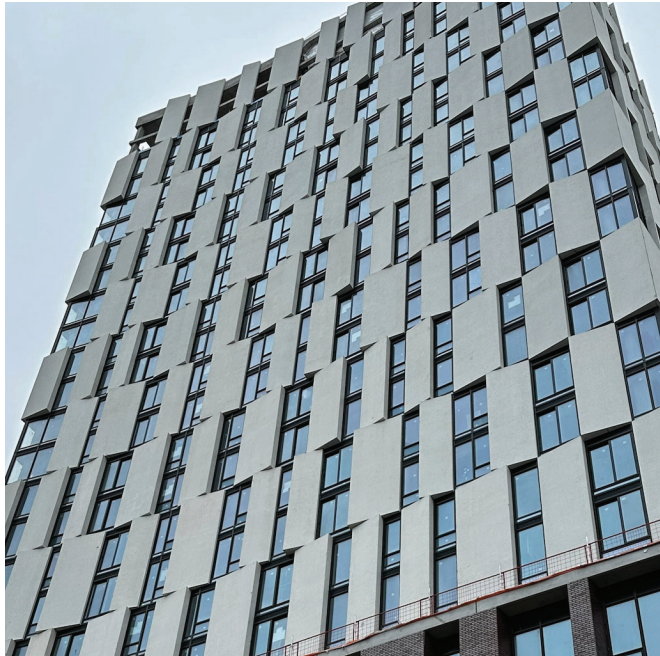
Tower A Mechanical Penthouse & Sky Lounge & Tower B Roof Plan

**A233.S**

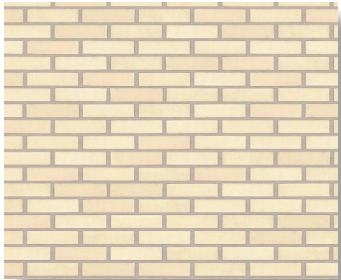
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9.4 Materiality - Tower and Podium

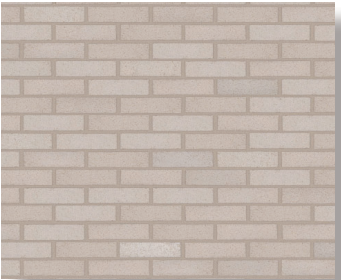
Tower Side 1



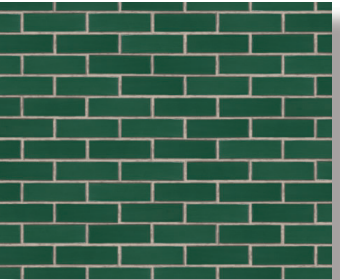
Tower Side 2



PODIUM CREAM BRICK



PODIUM DARK BRICK



PODIUM GREEN MATERIAL



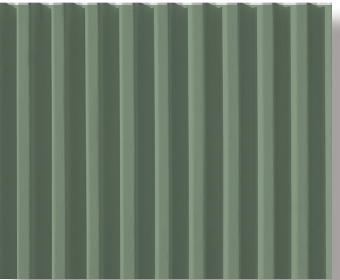
TOWER LATTICE PRE - CAST



MULLION OP 1



MULLION OP 2



TOWER GREEN MATERIAL



#### 9.4 Streetscape and Public Realm

Public realm improvements include the addition of the dedicated parkland to the west, activating the public realm with vegetation, hard landscaping and seating to provide spill-out space to the adjacent retail and amenity space. Other improvements include new street trees along the boulevard to enhance the long and most public frontage of the site. The new park will anchor the site within the community. Pedestrian access across the south along Starflower Lane is encouraged. Ground floor suites are located at the northeast corner and include private patios. The site is designed with pedestrian accessibility and privacy for residents in mind. Contiguous interior and exterior amenity space is provided on the ground floor and at ground level to the north. Views through the lobby from south to north blur the lines between inside and outside and will have the effect of inviting exterior vegetation “greenness” into the lobby and interior amenity areas. The project is shallow in its north-south dimension and the ground floor will therefore feel quite porous and open.

#### 9.5. Shadow Impacts

The towers are positioned to be along the South of the site to minimize the shadow impact to the properties to the north and to allow for increased access to light. The proposed slender tower floor plate of 750 sm generates shadows that are fast-moving throughout the day. Tower separation have been increased allowing a slit of light penetrating between the towers in North. In June, the shadows no longer impact the subdivision to the north after 11:00 am, and by 1:00 pm the houses along Starflower Lane are also no longer impacted. In September the shadows no longer impact the subdivision to the north after 1:00 pm.



View looking west along Richmond Road



View looking East along Richmond Road



*Arial View looking North along Richmond Road*





*Arial View looking South along Richmond Road*

9.6 Landscape Design Principles

The following principles guide site design, construction, and operational considerations.

9.6.1 Contribution to the City's Urban Forest Canopy

The new Official Plan promotes the urban forest and its ecosystem services. Tree plantings are proposed in all practical areas of the site. Curb-style planters with a minimum of 30 (thirty) cubic metres of soil volume per tree is proposed. Trees along the west property edge at Assaly Road are proposed for retention. Overtime, it is envisioned that the net canopy of tree cover for this site will be more than pre-development of the project.

9.6.2 Setback City Tree Planting

Minimum planting setback requirements from hard surfacing and service laterals will be adhered to including 1.5m offset from typical back-of-curb for deciduous trees. A minimum distance of 7.5m between larger species trees is proposed. Tree grates are not proposed.

9.6.3 Native Species Selection

With the aim of 100% native plantings, upwards of 50% of proposed plantings (trees, shrubs, grasses, and perennials) will be of native species. Plantings that are durable within urban conditions as well as species that attract pollinators will be emphasized.

9.6.4 Sustainable Materials Selection

The appropriate selection and procurement of materials will decrease material directed to landfill, preserve natural resources, and reduce greenhouse gas emissions. Sustainable building products will be prioritized. Permeable pavements will be used where appropriate to promote on-site and localized stormwater infiltration.

9.6.5 Human Health and Well-Being

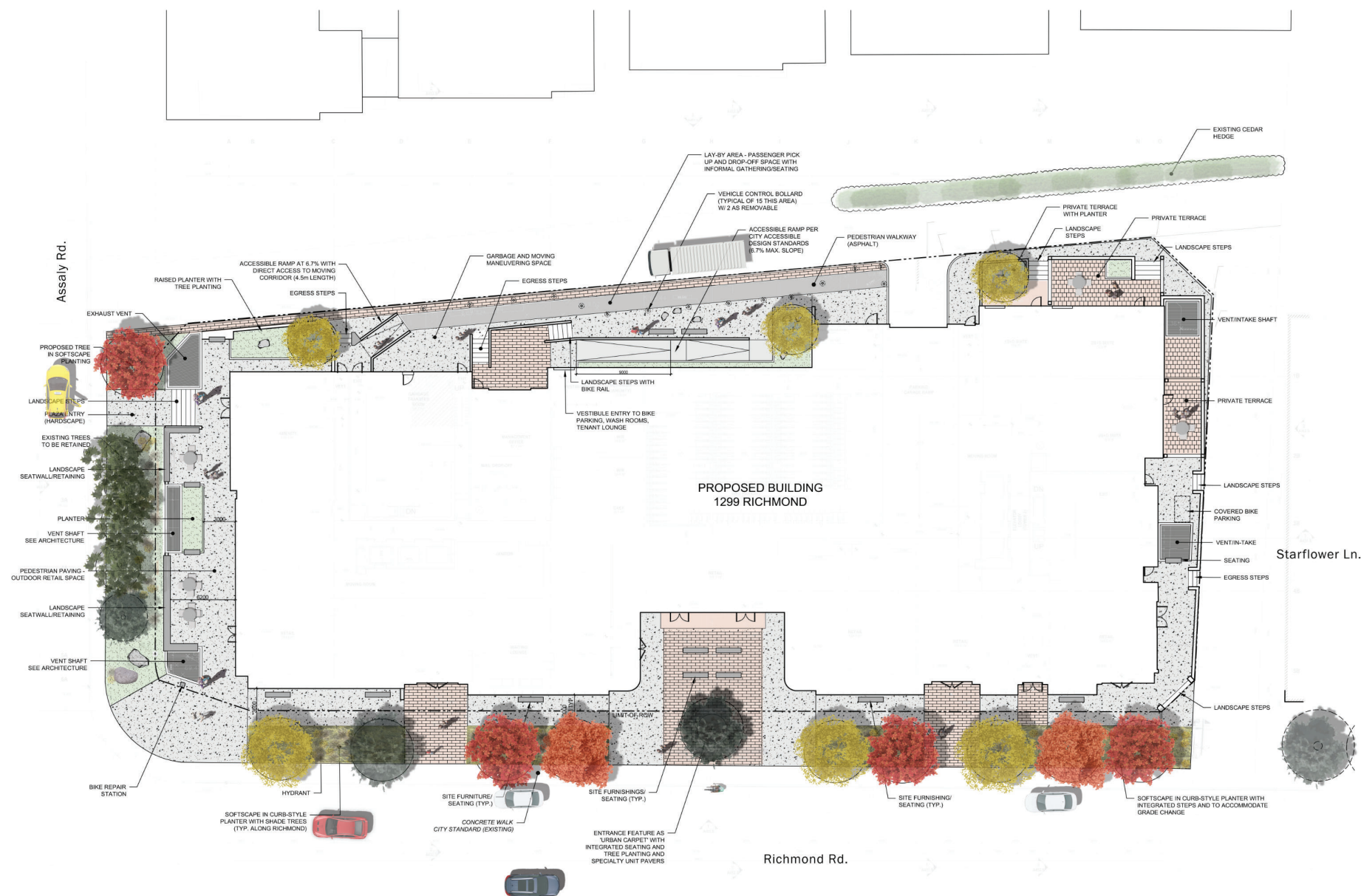
Outdoor nodes across the site will encourage outdoor activity and provide a regular cadence of seating and rest areas. Bike racks and a bike repair station are proposed on site in areas of high pedestrian-activity. Areas for social interaction are provided in areas of microclimatic protection offered by canopies of the building's architecture at-grade.

9.6.6 Landscape Construction

Sustainability goals are embedded into the selection of all landscape materials and approaches with a focus on net-zero waste, use of locally sourced materials.

9.6.7 Operations and Maintenance

Strategies to reduce material disposal, reduce pollution, conserve energy, and to encourage the use of renewable energy are considered in the site/landscape design.



Landscape plan

**CMHC**

Brigil intends to achieve CMHC standards, which involves aiming for an overall energy performance of 25% better than compliance with the 2017 National Energy Code, 10% affordable units, and 15% of accessible (or future-proofed) units.



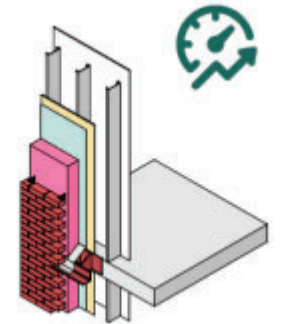
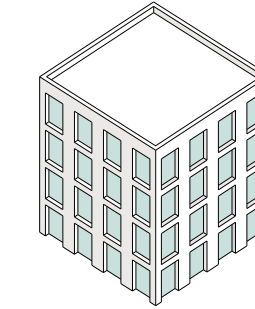
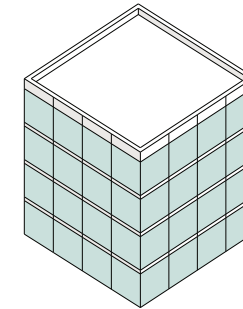
**Bicycle Culture**

Bicycle parking for residents will be provided in secured weather-protected areas at the Ground Floor and within the parking garage. The below-grade bicycle storage rooms will be accessed from the parking garage ramp off of Starflower Lane. A work bench will be provided in one of the bicycle storage rooms to provide space for bicycle tune-ups.



**Passive Sustainability**

As part of passive sustainability measures, the proposed buildings and towers have been designed to include a reduced window-to-wall ratio to provide more fully insulated walls.



Keep the window to wall ratio to 40-50% to increase thermal performance

Improve effective R-value of envelope

**Car Share**

Car share vehicles will be provided.

A ratio of 0.5 parking spaces per dwelling unit is provided for resident and visitor parking, reducing the overall amount of cars within the development. Efficient use of land through intensification on an underutilized site within a Protected Major Transit Station Area in a walkable 15-minute neighbourhood, taking advantage of existing infrastructure.



**Bird Friendly**

Bird-friendly treated glass will be applied to windows over a minimum of 90% for the first 16 m of glass located above grade in accordance with the Bird-Safe Guidelines for Ottawa. The glazing transparency and reflectivity will be minimized. Along rooftop terraces a 4 m glazing treatment will be included from the surface of the roof or the height of adjacent mature vegetation.

9.8 Wind Mitigation

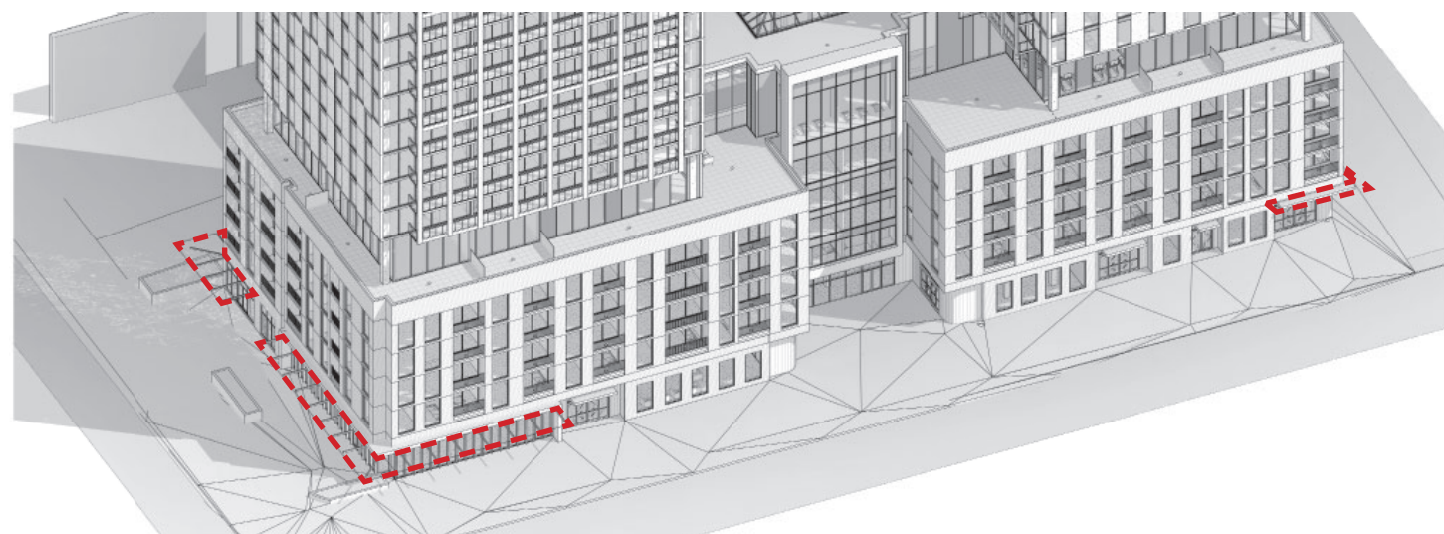
To deal with prevailing winds from multiple directions, canopies were implemented along the Northwest, Southwest and Southcorners of Tower A. Specifically, the current design includes a wraparound canopy at the northwest corner of Tower A, which extends 3 m from the building façade, with a length of 16 m and 9 m along the north and west elevations of the tower, respectively. Furthermore, a wraparound canopy was included at the southwest corner of Tower A, which extends 3 m from the building façade, and with a length of 19 m and 21 m along the south and west elevations of the tower, respectively.



View of the Southwest Corner



Northwest 3D View

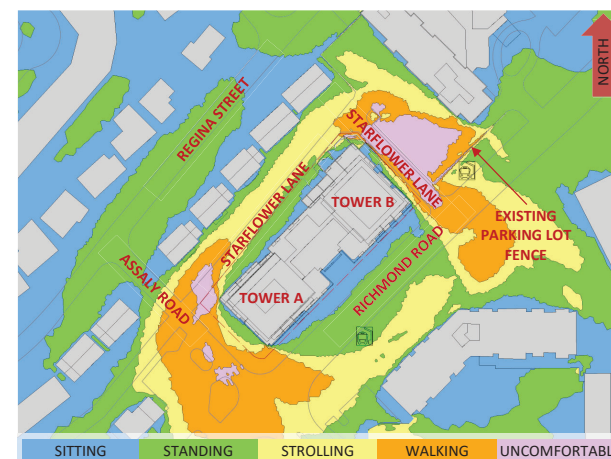


Southwest 3D View

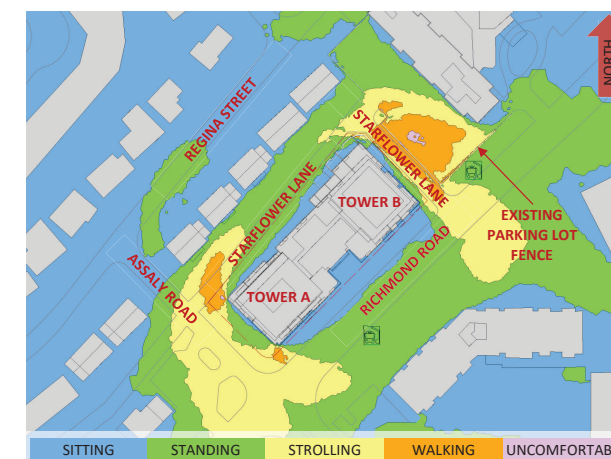
9.8.1 Wind report summary :

The proposed development is expected to create windy conditions at grade, but most areas at and around the site will have acceptable conditions for pedestrian use year-round. The development is exposed to prevailing winds from multiple directions due to its suburban setting and open areas like the Britannia Conservation Area and Ottawa River.

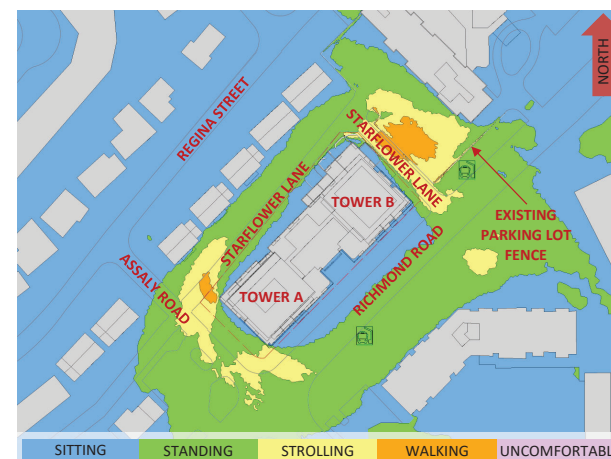
1. Winds will downwash over the western and northern façades, accelerating around the southwest, northwest, and northeast podium corners. Impacted areas include 1285 Richmond Road and its surroundings.
2. Winds will downwash over western and northern façades, affecting corners and areas around 1285 Richmond Road.
3. Canopies that extend from the podium façade at the southwest and northwest corners of the proposed development are recommended to help deflect downwash winds at these areas.
4. The common amenity terrace for Tower A at the MPH Level, with 1.8-meter wind screens, will be suitable for standing during the typical use period.
5. Additional mitigation, such as taller wind screens, inboard screens, or canopies, is recommended for enhanced comfort and will be tailored to the terrace's use as the design evolves.



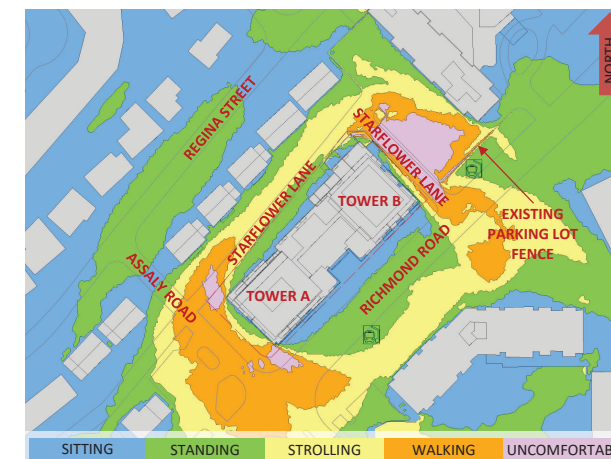
Wind comfort - Spring



Wind comfort - Autumn



Wind comfort - Summer



Wind comfort - Winter

As-of-right Zoning Envelope



1299 Richmond Road - - -

Proposed Development by Others - - -



Proposed Development by Others



As-of-right Zoning

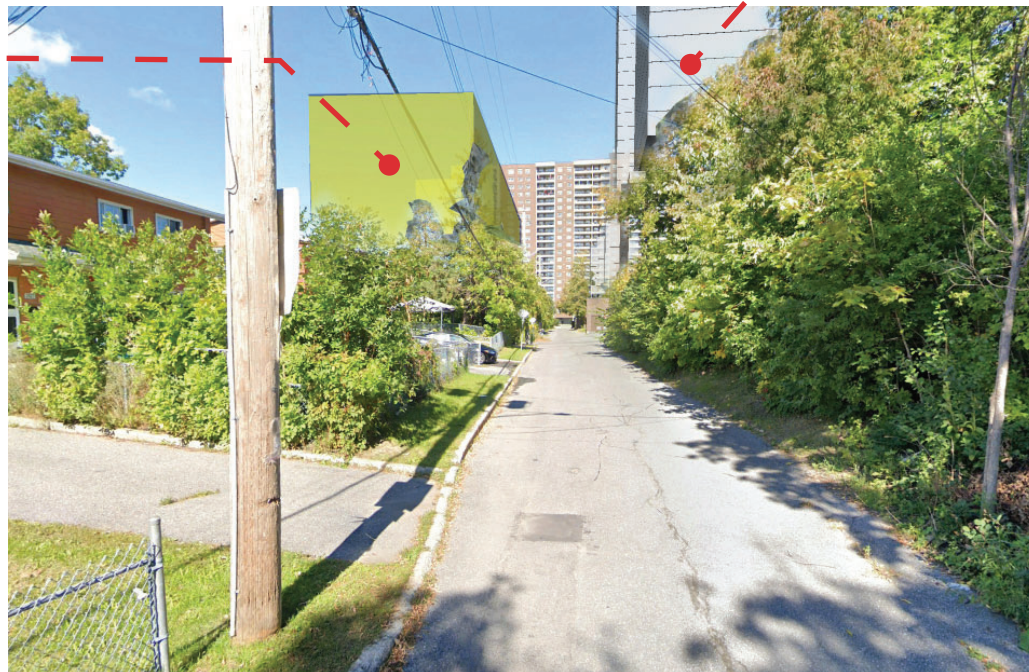
1299 Richmond Road



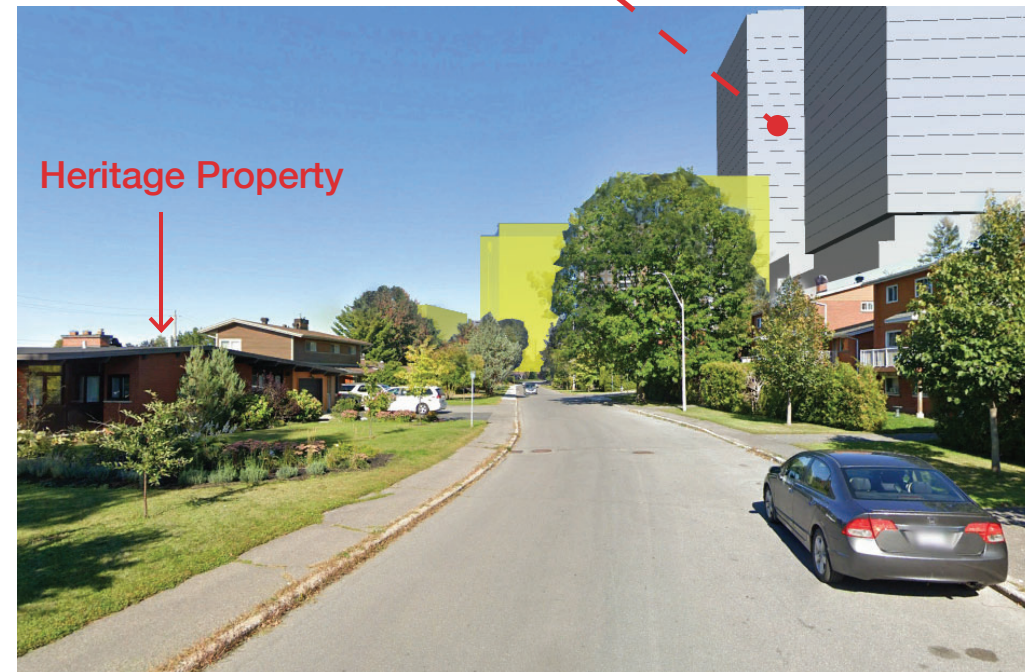
1299 Richmond Road

9.9 Google Earth Street Views with Updated Massing

As-of-right Zoning Envelope



-1299 Richmond Rd-

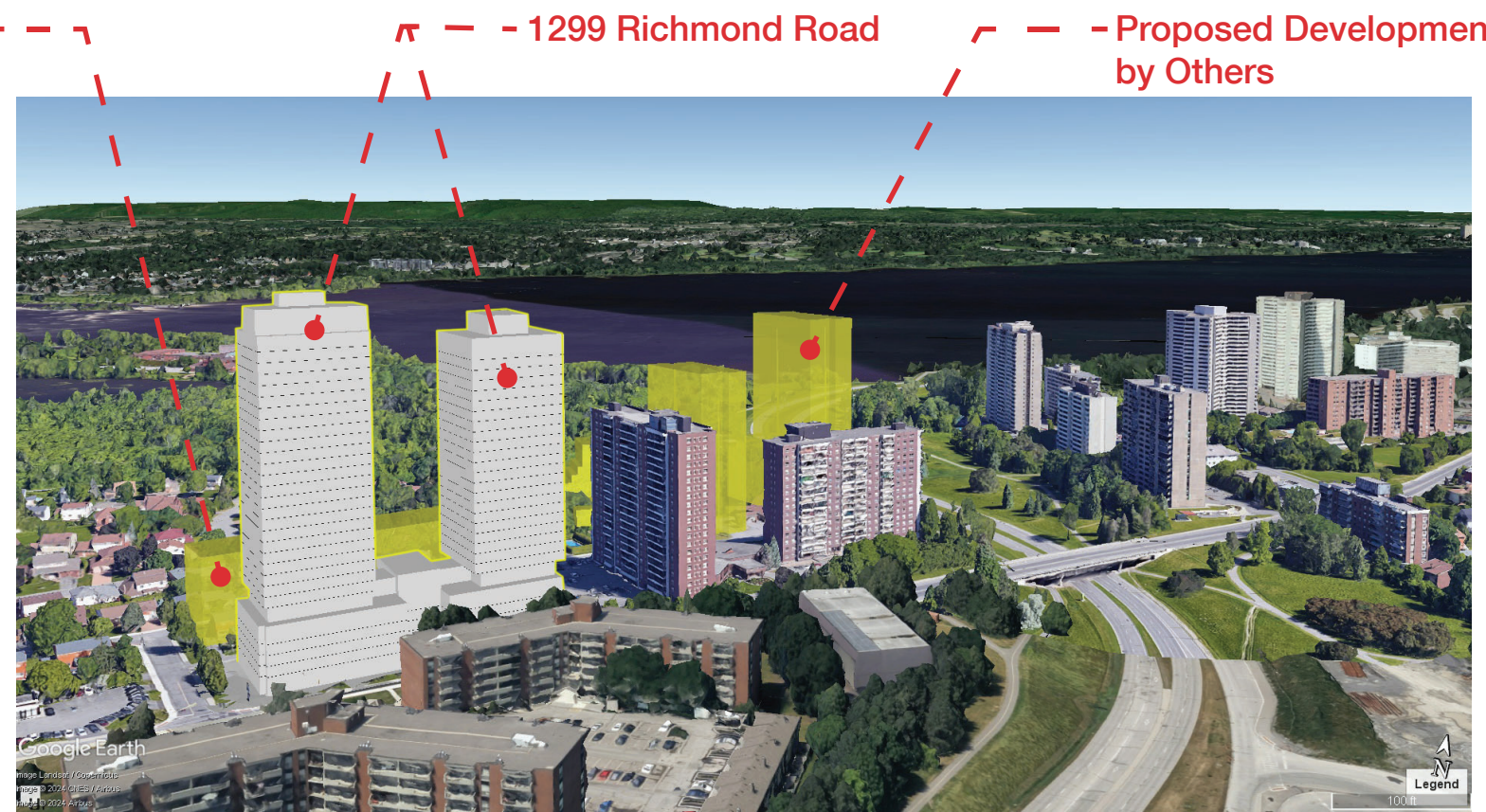
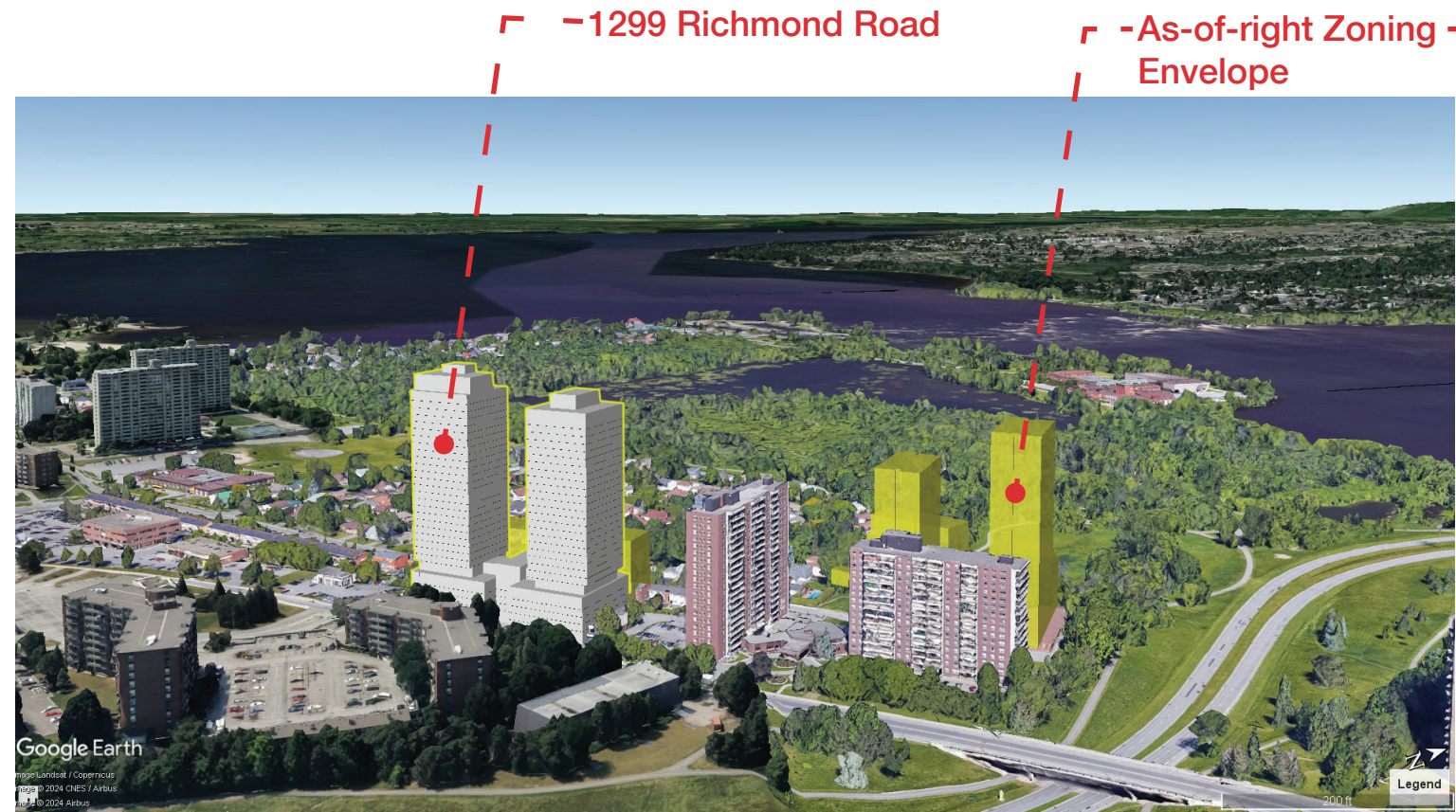


Heritage Property

Proposed Development by Others



- 1299 Richmond Road



# ZBA/SPA Resubmission

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## Shadow Studies