

NOTES GÉNÉRALES - General Notes

1. Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne pourront être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization.
2. Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
3. Veuillez aviser l'architecte de toute dimension erreur et/ou divergence entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

NOTES		
<ul style="list-style-type: none"> FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBECK LTD., SUBMITTED SEPERATELY. FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLANS BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPERATELY. FOR NEW LANDSCAPING DESIGN, SEE LANDSCAPING PLANS BY JAMES B. LENNOX & ASSOCIATES, SUBMITTED SEPERATELY. 		
OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Hotel	106 units / 2nd to 16th floors Minimum 10% (10 units) required to be Barrier-Free (BF) to be distributed throughout residential storeys.	2 nd = 307m ² floor 3 rd - 16 th = 258m ² / floor TOTAL = 3,919m ²
Assembly	Ground	Ground = 455m ²
	TOTAL	4,374m²

MIXED-USE WITH GROUND FLOOR COMMERCIAL - ZONING - MD2 (2031) S307 (COMBINED WITH 141 GEORGE STREET)

ZONING RULE	REQUIREMENT	PROVIDED
Minimum lot area	No minimum	Combined lot with 141 George Street, 3,103.10m ² (George) + 520.72m ² (York) = 3,623.82m ²
Minimum lot width	No minimum	20.19m on York Street
Minimum front yard	No minimum	0.03m aligned to adjacent hotel.
Minimum interior side yard	No minimum	West side connected to adjacent hotel, 0.48m on East side of building.
Minimum rear yard	No minimum	Combined lot with 141 George Street, Extends 14.54m beyond original lot line.
Maximum building height	11m within 6m setback from York Street. 21.5m from 6m setback sloping up to 33m along back property line. As per Schedule 74. No projections permitted beyond building height.	10m along York Street. 57m beyond 6m setback.
Maximum floor space index	Not applicable	Not applicable
Minimum width of landscape area	No minimum except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces, or outdoor commercial patio, the whole yard must be landscaped.	Yard not used for driveways, aisles, parking, loading spaces or outdoor commercial patio. Whole yard to be landscaped.
Provisions for buildings 10 storeys and higher (By-law 2019-353)	Minimum lot area for an interior lot: 1350m ² Minimum interior side and rear yard setback for a tower: 7.5m Minimum separation distance between towers on the same lot: 15m.	Minimum lot area met. Not applied. 15m separation maintained between towers from 2nd floors up.
Parking Garage permission	100% of ground floor fronting a street (excluding mechanical room, pedestrian and vehicular access) for a minimum depth of 3m, must be occupied by permitted use..	100% of ground fronting York Street (excluding building exit) for a minimum depth of 3m, is occupied by permitted Hotel use.
Ground floor use	100% of ground floor fronting a street (excluding lobby area, mechanical room and access to other floors) for a minimum depth of 3m, must be occupied by permitted use. Total gross area of lobbies, mechanical rooms and access to other floors must not exceed 50% of ground floor gross area. Min. 50% of ground floor to be occupied by permitted use subject to a separate and direct access to abutting street.	100% of ground fronting York Street (excluding exit from other floors) for a minimum depth of 3m, is occupied by permitted Hotel use. Total gross area of lobbies, mechanical rooms and access to other floors does not exceed 50% of ground floor gross area. Permitted Hotel use occupies more than 50% of ground floor and separate and direct access is provided to abutting York Street.

AMENITY AND PARKING REQUIREMENTS ZONING - MD2 (2031) S307 (COMBINED WITH 141 GEORGE STREET)

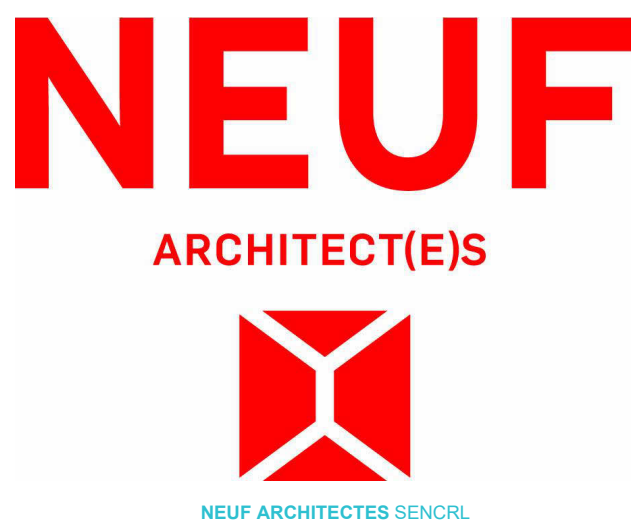
ZONING MECHANISM	REGULATION	PROPOSED
Hotel Parking	None Required	26 spaces reserved for York use on P1 level of 141 George Street
Barrier-Free Parking	Requires # barrier-free spaces (Traffic and Parking By-Law 2017-301)	access to 2 BF spaces per parking level of 141 George Street.
	Total	26 spaces (with BF space access)
Minimum bicycle parking	Hotel: 1 per 1,000m ² of GFA 4,374m ² GFA / 1,000m ² = 5 bicycle parking spaces	5 spaces (exterior)
Loading	2 spaces required.	2 spaces provided.

ARCHITECTURE DE PAYSAGE - Landscape Architect
Nom de la firme
Adresse de la firme
Téléphone et adresse courriel

CIVIL - Civil
Nom de la firme
Adresse de la firme
Téléphone et adresse courriel

ARCHITECTES - Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O., 3^{me} étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT - Client

OUVRAGE - Project
110 YORK STREET

EMPLACEMENT - Location NO. PROJET - No.
OTTAWA 13098.00

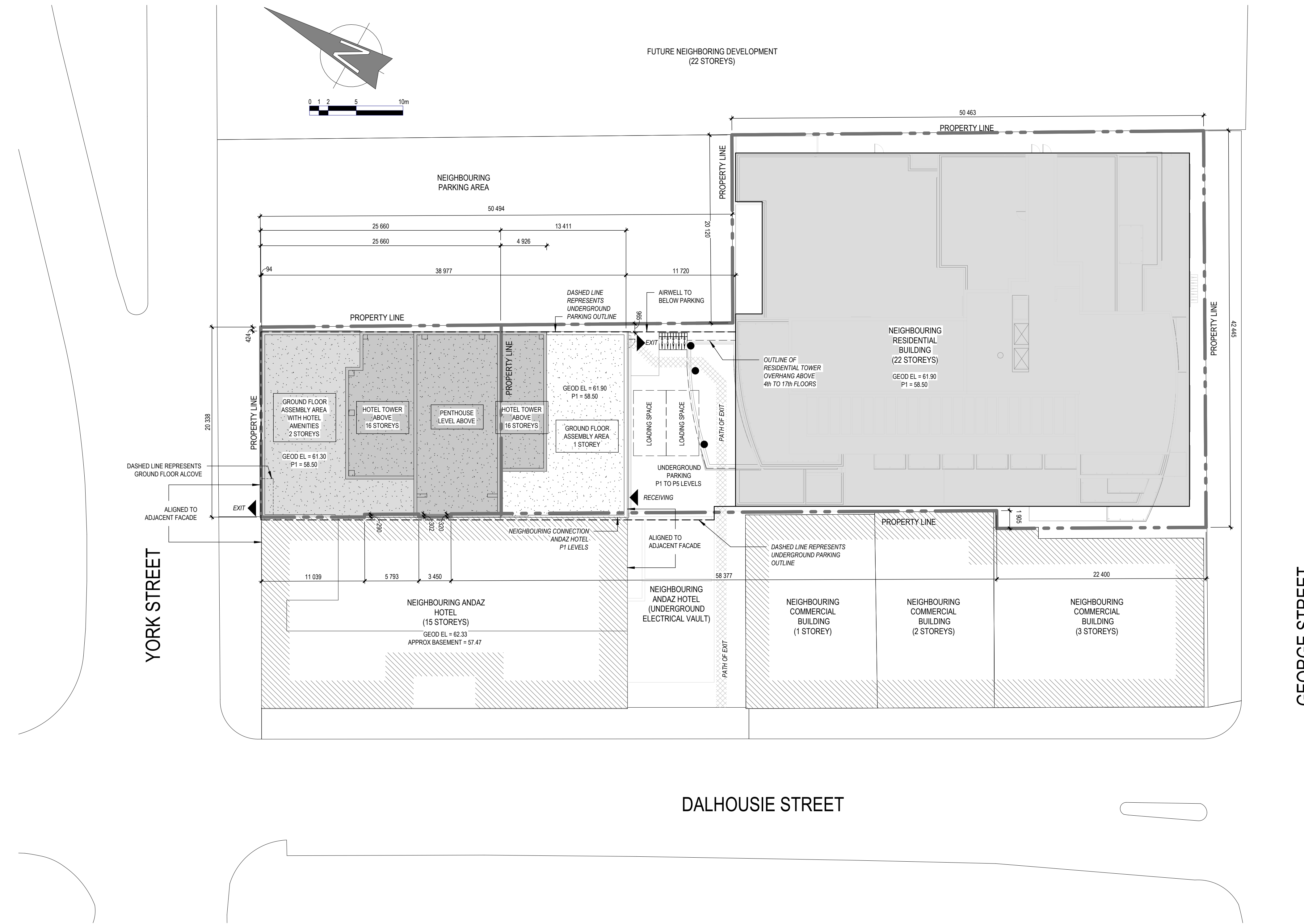
NO	RÉVISION	DATE (aa-mm-jj)
A	FOR CLIENT REVIEW	2023.05.16
B	FOR COORDINATION	2023.05.17
C	FOR CLIENT COMMENTS	2023.05.31
D	FOR COORDINATION	2023.06.12
E	FOR CLIENT REVIEW	2023.06.15
F	FOR CLIENT REVIEW	2023.07.07

DESSINE PAR - Drawn by
SJ
DATE (aa.mm.jj)
MAY 2023
TITRE DU DESSIN - Drawing Title

VÉRIFIÉ PAR - Checked by
LH
ÉCHELLE - Scale
As indicated

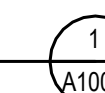
SITE PLAN (HOTEL)

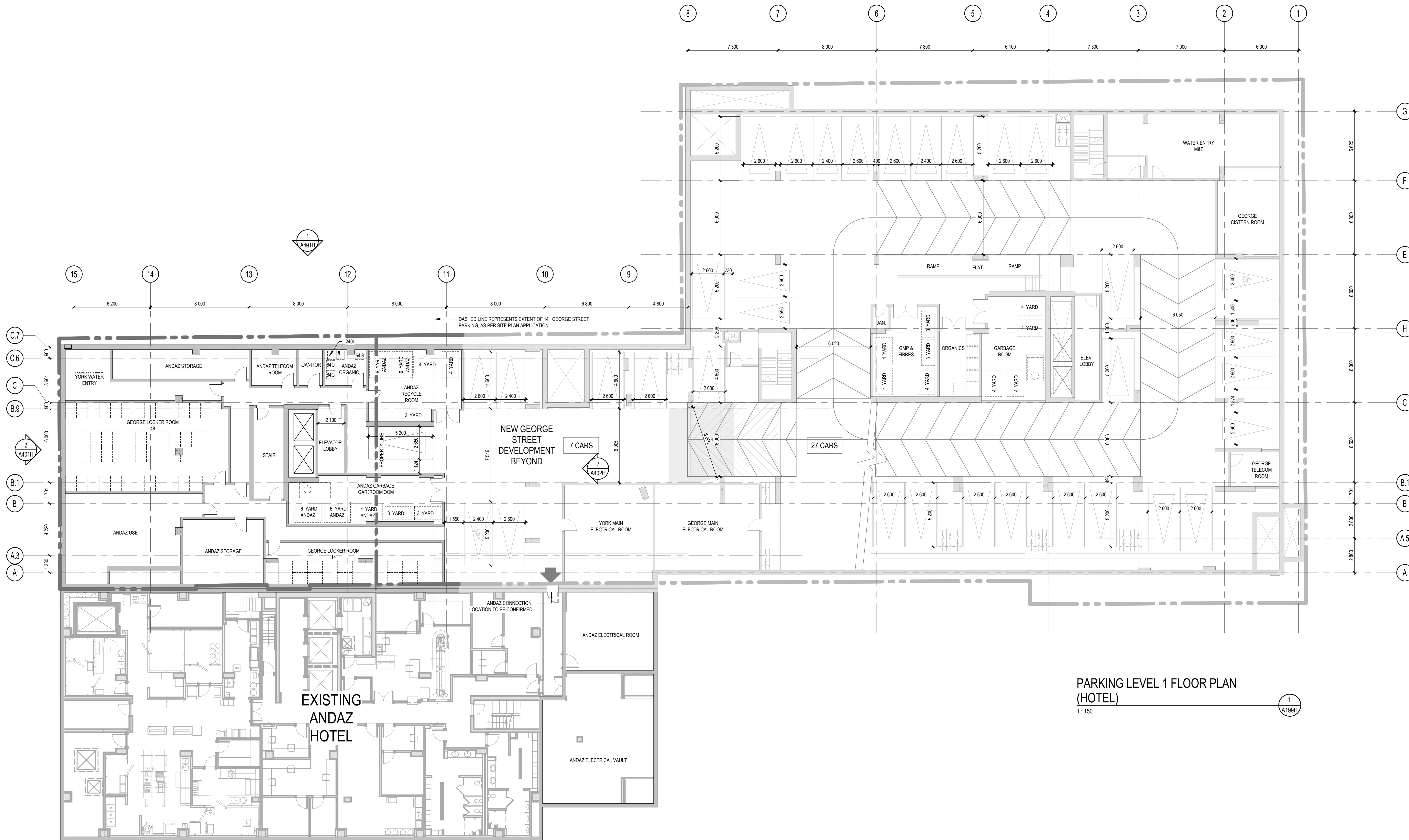
NO. DESSIN - Dwg Number
F A100H



SITE PLAN AT GROUND (HOTEL)

1:250





**PARKING LEVEL 1 FLOOR PLAN
(HOTEL)**
1:150

NOTES GÉNÉRALES / General Notes

1. Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne pourront être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization.
2. Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
3. Veuillez aviser l'architecte de toute dimension erreur et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTES Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 3^{ème} étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCÉAU / Seal



OUVRAGE Project
110 YORK STREET

EMPLACEMENT Location NO. PROJET No.
OTTAWA 13098.00

NO	RÉVISION	DATE (aa-mm-jj)
A	FOR COORDINATION	2023.06.12
B	FOR CLIENT REVIEW	2023.06.15
C	FOR CLIENT REVIEW	2023.07.07

*Preliminary
DO NOT USE FOR
CONSTRUCTION*

DESSINÉ PAR Drawn by: SJ
DATE (aa.mm.jj): JUN 2023
TITRE DU DESSIN Drawing Title: PARKING LEVEL 1 FLOOR PLAN

VÉRIFIÉ PAR Checked by: LM
ÉCHELLE Scale: 1:150

**PARKING LEVEL 1
FLOOR PLAN**

RÉVISION Revision NO. DESSIN Dwg Number
C A199H

C:\Fichiers Revit\Local\YORKST_13098_ARC_R22_sjoanisU643X.rvt

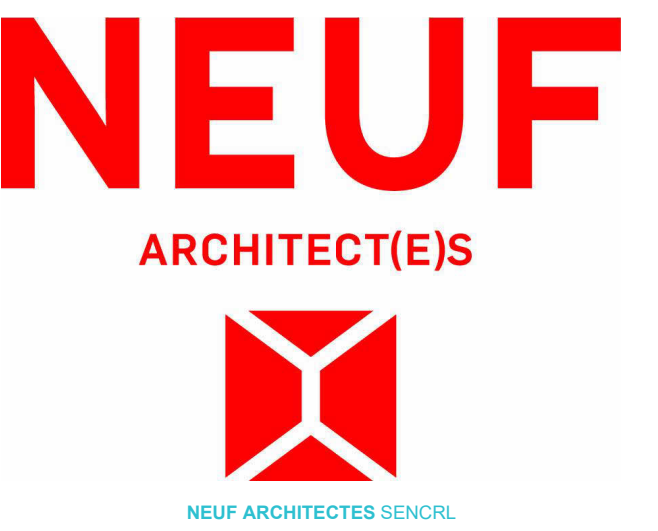
NOTES GÉNÉRALES / General Notes

1. Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne pourront être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization.
2. Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
3. Veuillez aviser l'architecte de toute dimension erronée et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ELEVATION KEYNOTE LEGEND	
NOTE	DESCRIPTION
1	MASONRY BLOCK, LIMESTONE UNITS, SIZE, COLOUR AND COURSING TO BE DETERMINED.
2	MASONRY BRICK VENEER, WHITE COLOUR, ALL GROUT AND SEALANTS TO MATCH BRICK COLOUR.
3	MASONRY BRICK VENEER, CHARCOAL GRAY COLOUR, ALL GROUT AND SEALANTS TO MATCH BRICK COLOUR.
4	MASONRY BRICK VENEER, RED COLOUR CLOSELY MATCHING ORIGINAL BUILDING FINISHES, ALL GROUT AND SEALANTS TO MATCH BRICK COLOUR.
5	CANDOPY OVERHANG, COLOUR AND FINISHES TO BE DETERMINED.
6	PREFINISHED ALUMINUM MODULAR PANELS, COLOUR TO MATCH CHARCOAL GRAY BRICK VENEER COLOUR (MATERIAL #3 ON THIS LEGEND).
9	WINDOW WALL, SEALED GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE WINDOW WALL ELEVATION PAGE.
10	CURTAIN WALL, SEALED GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE CURTAIN WALL ELEVATION PAGE.
11	OVERHEAD DOOR, COLOUR AS PER MANUFACTURER STANDARD BLACK OR DARK GRAY.
12	STEEL DOOR, COLOUR TO MATCH ADJACENT FINISH.
14	GLAZED ENTRY DOOR, SEALED CLEAR GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE DOOR SCHEDULE PAGE.

ARCHITECTES Architect
NEUF architect(e)s SENCR
 830, boul. René-Lévesque O. 3^{ème} étage, Montréal QC H3B 1S6
 T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



OUVRAGE / Project
110 YORK STREET

EMPLACEMENT / Location
OTTAWA

NO	RÉVISION	DATE (aa-mm-jj)
A	FOR COORDINATION	2023.06.12
B	FOR CLIENT REVIEW	2023.07.07

Preliminary
 Do NOT USE FOR
 CONSTRUCTION

DESSINÉ PAR / Drawn by
 SJ

VERIFIÉ PAR / Checked
 LH

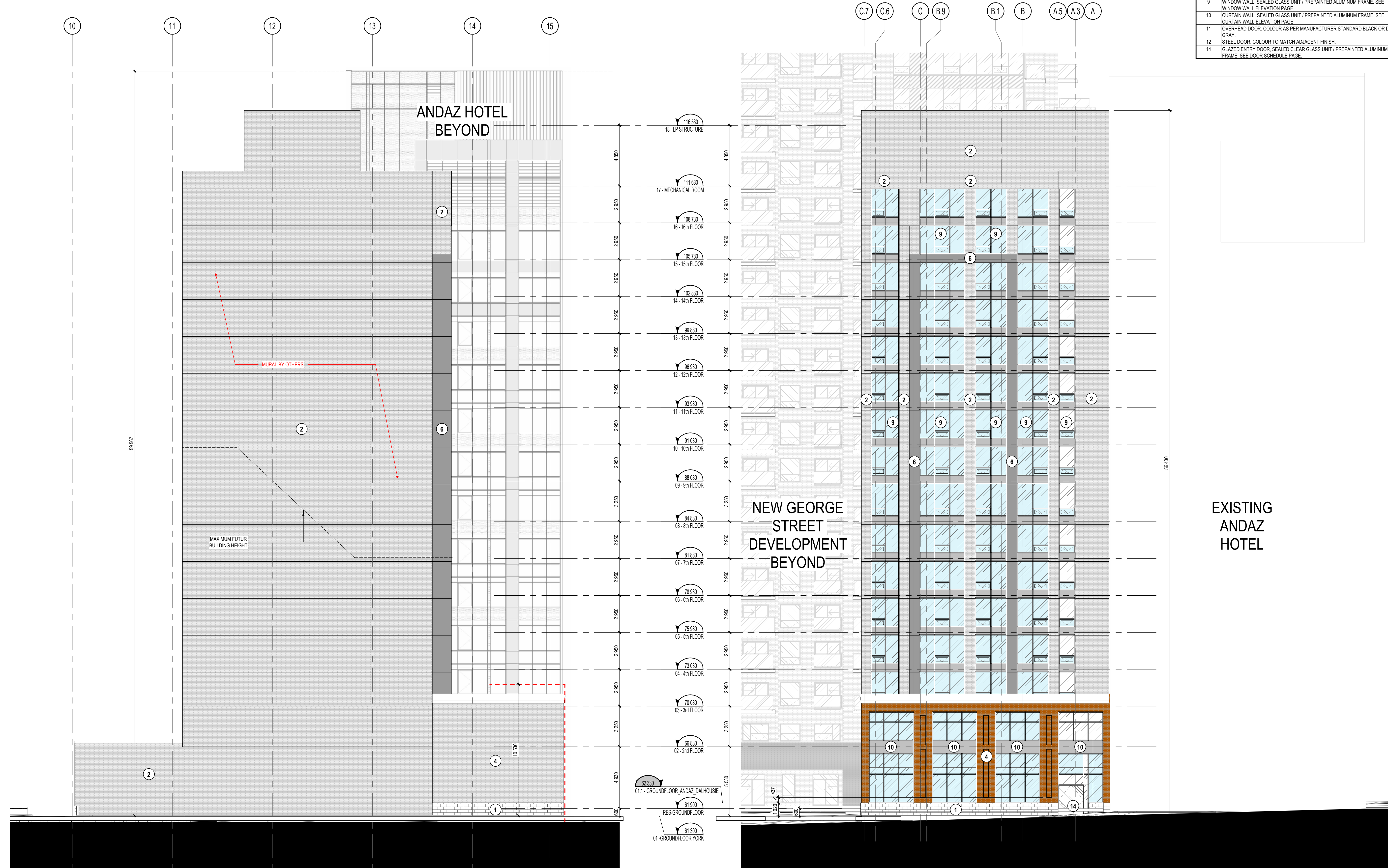
DATE (aa.mm.jj)
 JUN 2023

ÉCHELLE / Scale
 1 : 150

TITRE DU DESSIN / Drawing Title
ELEVATIONS (NORTH & EAST) HOTEL

RÉVISION / Revision
B

NO. DESSIN / Dwg Number
A401H

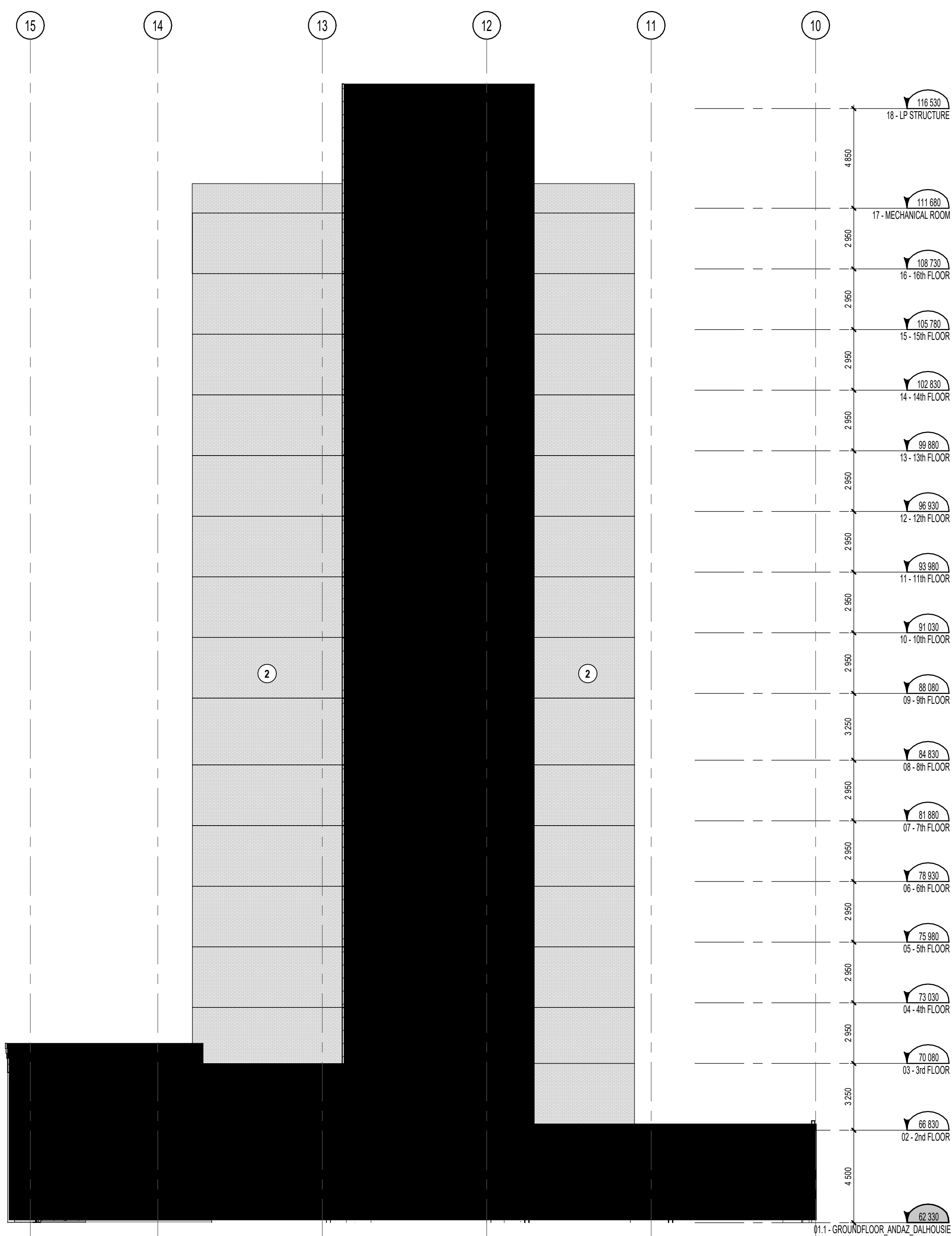


EAST ELEVATION (HOTEL)
 1 : 150

NORTH ELEVATION (YORK) HOTEL
 1 : 150

C:\Fichiers Revit Local\YORKST_13098_ARC_R22_spoanisU643X.rvt

C:\Fichiers Revit Local\YORKST_13098_ARC_R22_sjoanisU643X.rvt



WEST ELEVATION (HOTEL)

1:150

1
A402H



SOUTH ELEVATION (HOTEL)

1:150

2
A402H

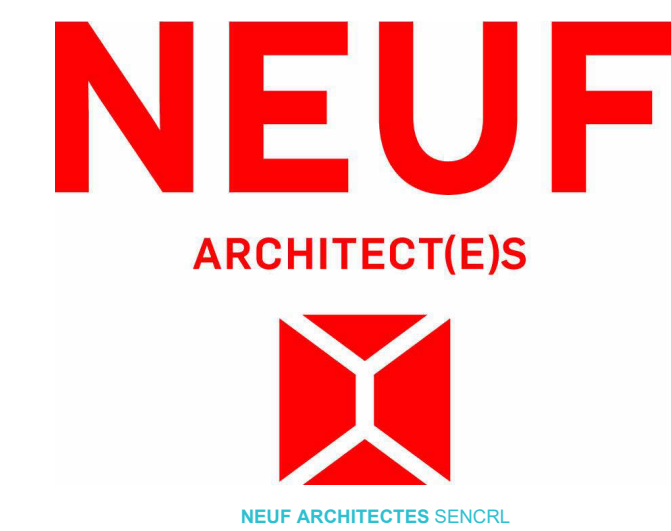
ELEVATION KEYNOTE LEGEND	
NOTE	DESCRIPTION
1	MASONRY BLOCK, LIMESTONE UNITS, SIZE, COLOUR AND COURSING TO BE DETERMINED.
2	MASONRY BRICK VENEER, WHITE COLOUR, ALL GROUT AND SEALANTS TO MATCH BRICK COLOUR.
3	MASONRY BRICK VENEER, CHARCOAL GRAY COLOUR, ALL GROUT AND SEALANTS TO MATCH BRICK COLOUR.
4	MASONRY BRICK VENEER, RED COLOUR CLOSELY MATCHING ORIGINAL BUILDING FINISHES, ALL GROUT AND SEALANTS TO MATCH BRICK COLOUR.
5	CANOPY OVERHANG, COLOUR AND FINISHES TO BE DETERMINED.
6	PREFINISHED ALUMINUM MODULAR PANELS, COLOUR TO MATCH CHARCOAL GRAY BRICK VENEER COLOUR (MATERIAL #3 ON THIS LEGEND).
9	WINDOW WALL, SEALED GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE WINDOW WALL ELEVATION PAGE.
10	CURTAIN WALL, SEALED GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE CURTAIN WALL ELEVATION PAGE.
11	OVERHEAD DOOR, COLOUR AS PER MANUFACTURER STANDARD BLACK OR DARK GRAY.
12	STEEL DOOR, COLOUR TO MATCH ADJACENT FINISH.
14	GLAZED ENTRY DOOR, SEALED CLEAR GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE DOOR SCHEDULE PAGE.

NOTES GÉNÉRALES / General Notes

1. Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne pourront être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization.
2. Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
3. Veuillez aviser l'architecte de toute dimension erronée et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
4. Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTES Architect
NEUF architect(e)s SENCRL
 630, boul. René-Lévesque O. 3^e étage, Montréal QC H3B 1S6
 T 514 847 1117 NEUFarchitectes.com

SCÉAU / Seal



CLIENT Client



OUVRAGE Project

110 YORK STREET

EMPLACEMENT Location NO. PROJET No.
OTTAWA 13098.00

NO	RÉVISION	DATE (aa-mm-jj)
A	FOR COORDINATION	2023.05.31
B	FOR COORDINATION	2023.06.12
C	FOR CLIENT REVIEW	2023.07.07

Preliminary
 Do NOT USE For
 CONSTRUCTION

DESSINÉ PAR Drawn by
 SJ
 DATE (aa.mm.jj)
 JUN 2023

VÉRIFIÉ PAR Checked
 LH
 ÉCHELLE Scale
 1 : 150

TITRE DU DESSIN Drawing Title
ELEVATIONS (SOUTH & WEST) HOTEL

RÉVISION Revision NO. DESSIN Dwg Number

C A402H