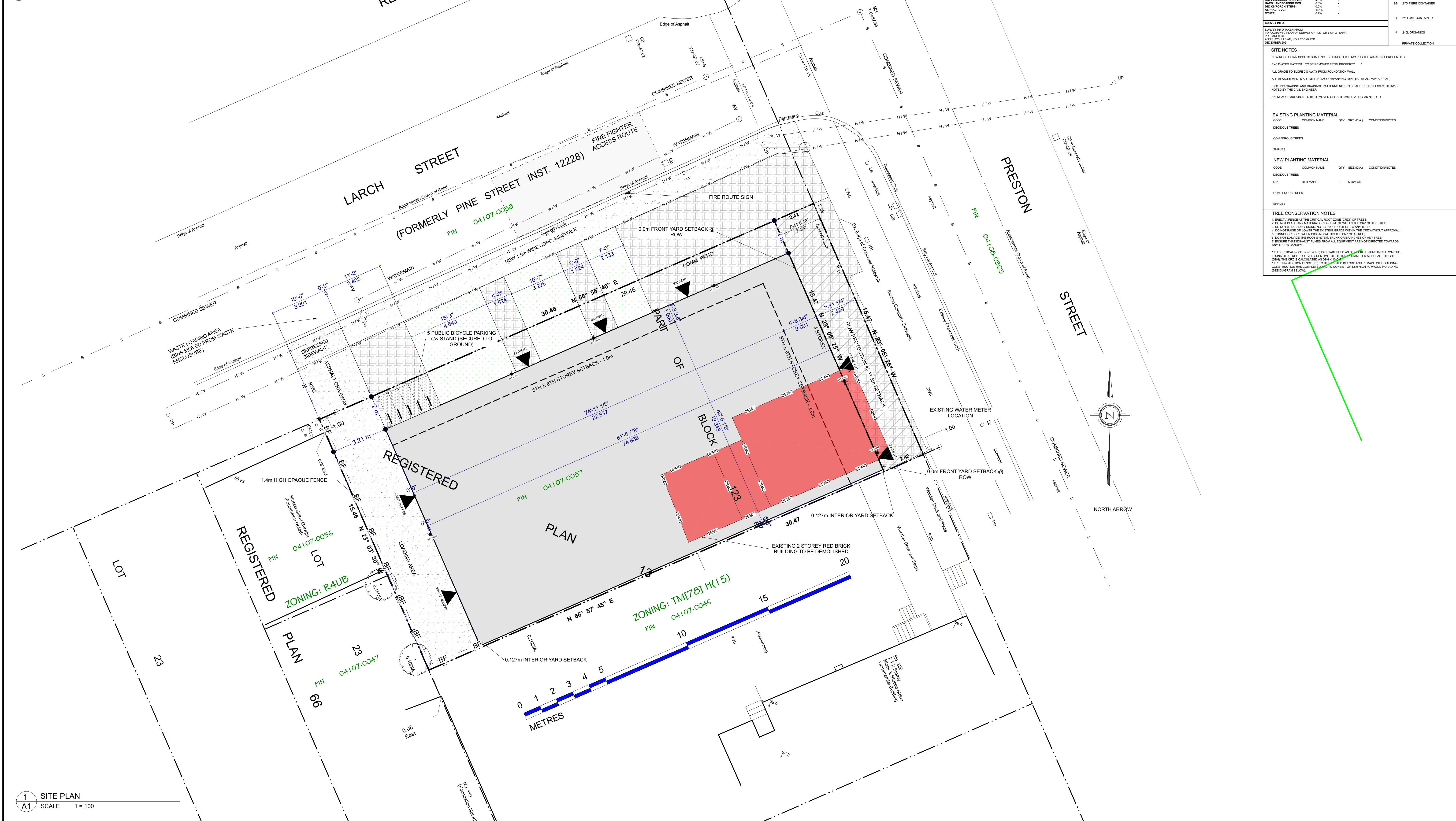


2 KEY PLAN & CONTEXT
A1 SCALE N.T.S.



SITE PLAN OF SURVEY PART OF BLOCK 123 REGISTERED PLAN 13, CITY OF OTTAWA																																																																												
ZONING: TM(78)H(15)	EX. TREE TO BE REMOVED NEW CONIFEROUS TREE DENOTES SOFT LANDSCAPING DENOTES HARD LANDSCAPING EXISTING BUILDING FOOTPRINT PROPOSED RAVINESTONE PROPOSED ASPHALT DRIVEWAY PROPOSED WOOD DECKS/BALCONIES CAR PARKING SPACE (ASPHALT) BICYCLE PARKING (ASPHALT) WASTE COLLECTION AREA SNOW STORAGE AREA PROPOSED EXISTING ENTRY POINT TEMPORARY PROTECTION FENCE EX. UTILITY POLE EX. CHANGED UNBARRICADE FENCE PROPERTY LINE																																																																											
PROPOSED BUILDING TYPE: 4 STOREY MIXED USE RESIDENTIAL BUILDING WITH 2 COMMERCIAL UNITS LOT DEPTH: 31.00M (81'8") LOT WIDTH: 11.11M (36'5") NORTH: TM(78)H(15) SOUTH: TM(78)H(15) EAST SIDE: TM(78)H(15) WEST SIDE: 14.00M (45'11") SCHEDULE: 14.00M (45'11")	PROPOSED WOOD DECKS/BALCONIES CAR PARKING SPACE (ASPHALT) BICYCLE PARKING (ASPHALT) WASTE COLLECTION AREA SNOW STORAGE AREA PROPOSED EXISTING ENTRY POINT TEMPORARY PROTECTION FENCE EX. UTILITY POLE EX. CHANGED UNBARRICADE FENCE PROPERTY LINE																																																																											
LOT INFO - AFTER ZONING AMENDMENT - ALL MEASUREMENTS MADE TO ROW <table border="1"> <tr> <th>PL. STANDARD</th> <th>2018 PRE-EXISTING</th> <th>2018 PROPOSED</th> <th>2018 ZONING</th> <th>NOTES</th> </tr> <tr> <td>LOT AREA</td> <td>422.00</td> <td>422.00</td> <td>422.00</td> <td></td> </tr> <tr> <td>FRONT YARD SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>REAR YARD SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>INTERIOR YARD SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>ADJACENT YARD SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>MINIMUM FRONT SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>MINIMUM REAR SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>MINIMUM SIDE SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>MINIMUM CORNER SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>MINIMUM FRONT YARD SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>MINIMUM REAR YARD SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>MINIMUM SIDE YARD SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>MINIMUM CORNER YARD SETBACK</td> <td>1.00</td> <td>1.00</td> <td>1.00</td> <td></td> </tr> <tr> <td>TOTAL ALL AREAS</td> <td>422.00</td> <td>422.00</td> <td>422.00</td> <td></td> </tr> </table>	PL. STANDARD	2018 PRE-EXISTING	2018 PROPOSED	2018 ZONING	NOTES	LOT AREA	422.00	422.00	422.00		FRONT YARD SETBACK	1.00	1.00	1.00		REAR YARD SETBACK	1.00	1.00	1.00		INTERIOR YARD SETBACK	1.00	1.00	1.00		ADJACENT YARD SETBACK	1.00	1.00	1.00		MINIMUM FRONT SETBACK	1.00	1.00	1.00		MINIMUM REAR SETBACK	1.00	1.00	1.00		MINIMUM SIDE SETBACK	1.00	1.00	1.00		MINIMUM CORNER SETBACK	1.00	1.00	1.00		MINIMUM FRONT YARD SETBACK	1.00	1.00	1.00		MINIMUM REAR YARD SETBACK	1.00	1.00	1.00		MINIMUM SIDE YARD SETBACK	1.00	1.00	1.00		MINIMUM CORNER YARD SETBACK	1.00	1.00	1.00		TOTAL ALL AREAS	422.00	422.00	422.00		PROPOSED SITE DEVELOPMENT INFO. NEW GROSS FLOOR AREA: 1200.00 EX. GROSS FLOOR AREA: 1200.00 PROPOSED STORIES: 4 BUILDING COVERAGE: 70.00% SOFT LANDSCAPING COV.: 4.00% DECKS/PORCHES: 0.00% ASPHALT COV.: 14.00% OTHER: 0.00%
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SURVEY INFO. SURVEY AND DATED FROM PROPOSED PLAN OF SURVEY OF 123, CITY OF OTTAWA PROJECTED BY: ANNE O'SULLIVAN, COLLEBK LTD. (REGISTERED)	WASTE COLLECTION LEGEND GB 810 GARAGE CONTAINER B 210 FIBRE CONTAINER B 210 SHK CONTAINER G 240 ORGANICS PRIVATE COLLECTION																																																																											
SITE NOTES NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL ALL MEASUREMENTS ARE METRIC ACCORDING TO SURVEYING PRACTICE AND APPROVAL EXISTING DRAINAGE AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED	RESPONSIBILITIES: DO NOT SCALE DRAWINGS ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER COPYRIGHT RESERVED GENERAL NOTES: ONTARIO ASSOCIATION OF ARCHITECTS LEVENT TATAR LICENCE 8662																																																																											
EXISTING PLANTING MATERIAL <table border="1"> <tr> <th>CODE</th> <th>COMMON NAME</th> <th>QTY</th> <th>SIZE (DIA.)</th> <th>CONDITION/NOTES</th> </tr> <tr> <td colspan="5">DECIDUOUS TREES</td> </tr> <tr> <td colspan="5">CONIFEROUS TREES</td> </tr> <tr> <td colspan="5">SHRUBS</td> </tr> </table>	CODE	COMMON NAME	QTY	SIZE (DIA.)	CONDITION/NOTES	DECIDUOUS TREES					CONIFEROUS TREES					SHRUBS					NEW PLANTING MATERIAL <table border="1"> <tr> <th>CODE</th> <th>COMMON NAME</th> <th>QTY</th> <th>SIZE (DIA.)</th> <th>CONDITION/NOTES</th> </tr> <tr> <td>D11</td> <td>RED MAPLE</td> <td>2</td> <td>50mm Cal.</td> <td></td> </tr> <tr> <td colspan="5">CONIFEROUS TREES</td> </tr> <tr> <td colspan="5">SHRUBS</td> </tr> </table>	CODE	COMMON NAME	QTY	SIZE (DIA.)	CONDITION/NOTES	D11	RED MAPLE	2	50mm Cal.		CONIFEROUS TREES					SHRUBS																																							
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TREE CONSERVATION NOTES 1. DIRECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES. 2. DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE. 3. DO NOT ATTEMPT TO REMOVE OR CUT DOWN TREES WITHOUT APPROVAL. 4. ALL MEASUREMENTS ARE METRIC ACCORDING TO SURVEYING PRACTICE AND APPROVAL. 5. TUNNEL OR BORING WHEN DRILLED WITHIN THE CRZ OF A TREE. 6. DO NOT CHANGE THE ROOT SYSTEM FROM OR BRANCHES OF ANY TREE. 7. ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE CANOPY. 8. THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS 1.5 TIMES THE SPREAD OF THE TREE FROM THE TRUNK OF THE TREE FOR EVERY CENTIMETER OR 0.5 METRES AT BREAST HEIGHT. 9. THE CRZ IS CALCULATED AS 0.75 X SPREAD. 10. TREE PROTECTION FENCE IS TO BE INSTALLED BEFORE AND REMAINS UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.8M HIGH PLWOOD HOARDING USE DIAGRAM BELOW.																																																																												

224 PRESTON STREET
 SCOPE OF WORK: NEW 6 STOREY - MIXED USE

OWNER/DEVELOPER:
 224 ON PRESTON INC.

ARCHITECT:
 REDLINE ARCHITECTURE INC.

APPLICANT:
 CIVIL ENGINEER:
 1051 BAXTER ROAD
 OTTAWA, ON
 K2C 3P1

LANDSCAPING:
 DENDROPHIL FORESTRY SERVICES
 OTTAWA, ON
 K1S 5E2

SURVEYOR:
 ADI LTD
 14 CONDOURSE GATE, SUITE 500
 OTTAWA, ON
 K2E 7S8

CONSULTANTS:
 STRUCTURAL - TBD
 MECHANICAL - TBD
 ELECTRICAL - TBD

NO.	REVISION/ISSUE	DATE
4	REVISIONS	00/00/00
3	SITE PLAN REVISIONS	11/09/23
2	SITE PLAN SUBMISSION	06/02/22
1	PRELIMINARY	07/02/22

PROJECT: 224 PRESTON ST.
 MIXED USE BUILDING
 224 PRESTON ST.
 OTTAWA, ON K1S 7R1
 613-000-0000

DRAWING NAME: SITE PLAN
 DRAWN BY: [Signature]
 SHEET: SPD1
 DATE: MAR. 21, 2022
 SCALE: AS NOTED
 #18968

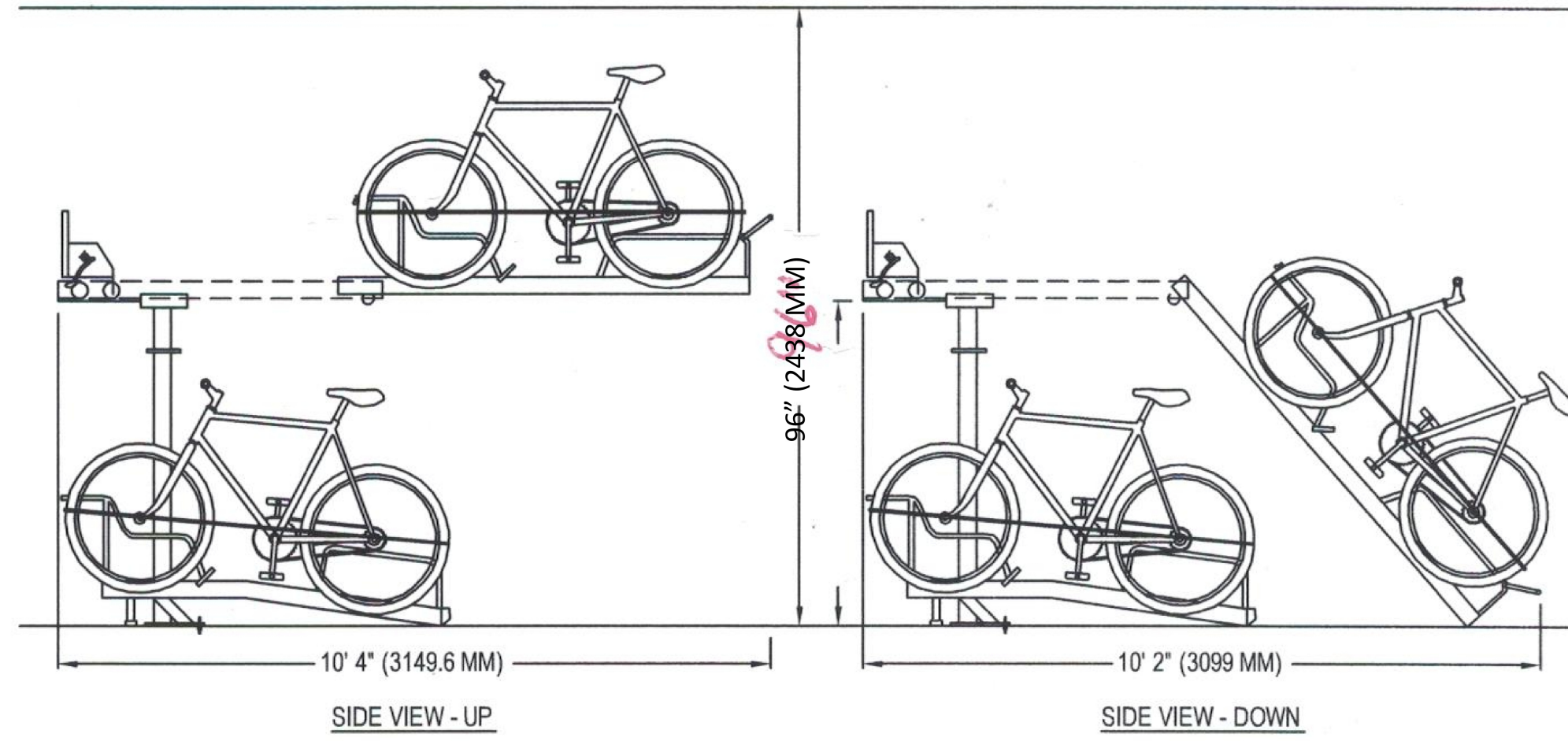
FILE NUMBER: D07-12-23-0060

BikeRack.ca
park your bike

BIKE RACK MFG. & DIST. CO.
80 BASS PRO MILLS DR., UNIT 24
VAUGHAN, ON L4K 5W9
PHONE: (416) 927-7499
MOBILE: (416) 809-1934
WWW.BIKERACK.CA

- SELECT DESIRED SIZE: SELECT DESIRED SPACE USE/SETBACKS:
- 8 BIKES, 8' (2438 MM) SECTIONS (SHOWN) 2 BIKES, 6' (1829 MM) SECTIONS (SHOWN)
- 8 BIKES, 6' (1829 MM) SECTIONS 18" (457 MM) CENTER TO CENTER
- 2 BIKES, SINGLE SECTIONS (SHOWN)

NEW CUSTOM SIZE



FEATURES:
-MATERIAL: HSS STEEL
-FINISH: HOT DIPPED GALVANIZED

- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4238-009.

STACKABLE BIKE RACKS
EXTENDED STACKABLE BIKE RACK, 18" CENTER TO CENTER - DRAWING 2

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STACKABLE BICYCLE PARKING @ BASEMENT LEVEL



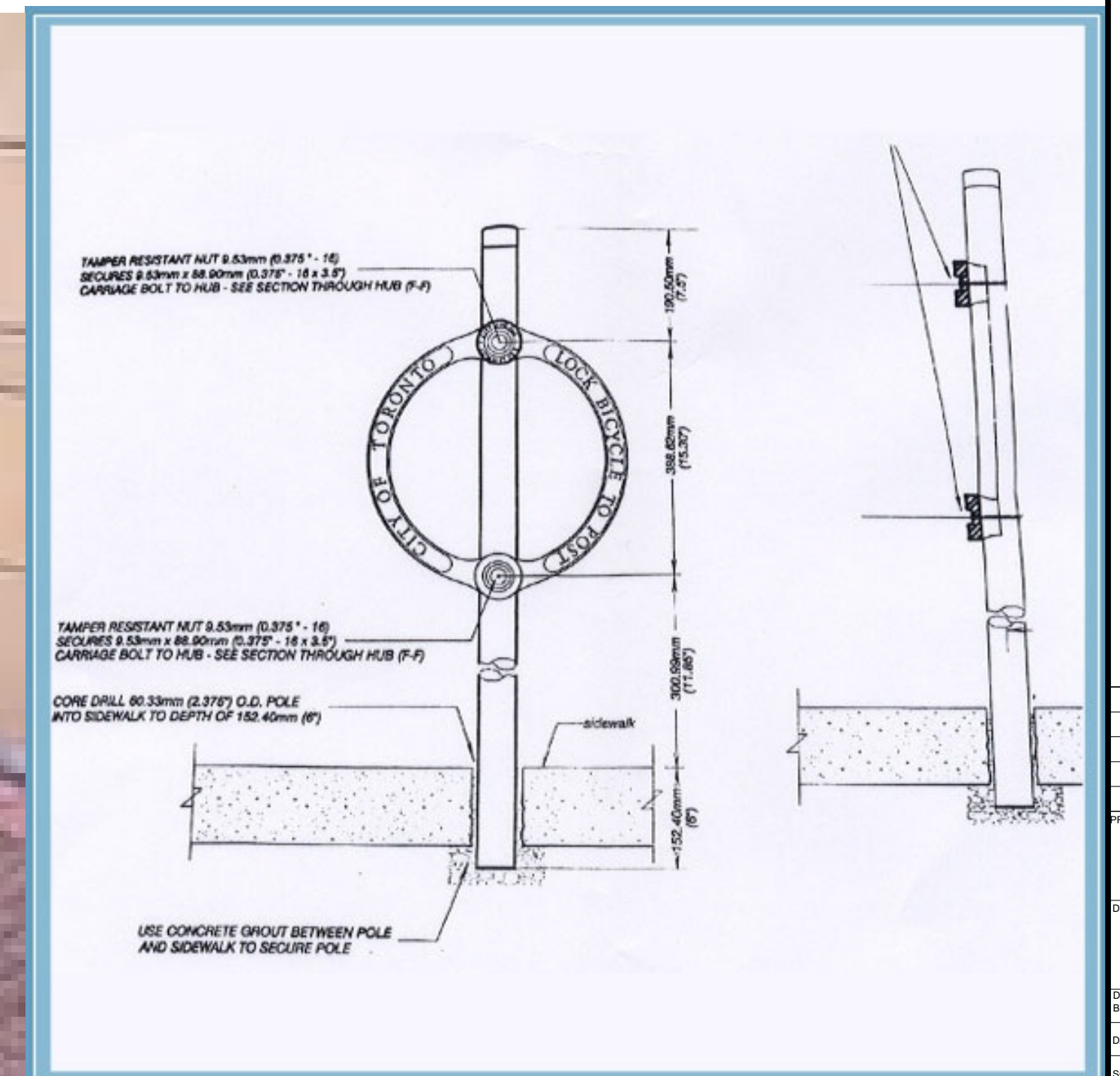
STACKABLE BICYCLE PARKING @ BASEMENT LEVEL



SAMPLE PRESSURE TREATED FENCE



EXTERIOR BICYCLE PARKING @ GRADE



RA REDLINE ARCHITECTURE
INC.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER
COPYRIGHT RESERVED
GENERAL NOTES:



224 PRESTON STREET
SCOPE OF WORK: NEW 6 STOREY - MIXED USE

OWNER/DEVELOPER:
224 ON PRESTON INC.

ARCHITECT:
REDLINE ARCHITECTURE INC.

APPLICANT:

CIVIL ENGINEER:
E20
1051 BAXTER ROAD
OTTAWA, ON
K2C 3P1

LANDSCAPING:
DENDROFORESTRY SERVICES
OTTAWA, ON
K1S 5E2

SURVEYOR:
ADJ LTD
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON
K2E 7S8

CONSULTANTS:
STRUCTURAL - TBD
MECHANICAL - TBD
ELECTRICAL - TBD

NO.	REVISION/ISSUE	DATE
4	REVISIONS	06/09/09
3	SITE PLAN REVISIONS	11/09/09
2	SITE PLAN SUBMISSION	06/09/09
1	PRELIMINARY	07/09/09

PROJECT: **224 PRESTON ST. MIXED USE BUILDING**
224 PRESTON ST.
OTTAWA, ON K1S 7R1 613-000-0000

DRAWING NAME: **EX. FLOOR PLANS**

DRAWN BY: _____ SHEET: **SPD2**

DATE: **MAR. 21, 2022** SCALE: AS NOTED #18968