

CITY OF OTTAWA ZONING BY-LAW

ZONING MECHANISM (R32 - PUD)	PROVISION	PROVIDED
MINIMUM LOT WIDTH	18.0m	96.0m
MINIMUM LOT AREA	1,400m ²	12,294.4m ²
MAXIMUM BUILDING HEIGHT	AS PER DWELLING TYPE, DWELLING TYPE NOT PERMITTED	11.31m
MINIMUM FRONT YARD SETBACK	3.0m	3.5m
MINIMUM REAR YARD SETBACK	6.0m	3.5m
MINIMUM INTERIOR YARD SETBACK	6.0m	2.6m
MINIMUM REQUIRED VEHICLE PARKING SPACES (AREA C OF SCHEDULE 1A)	RESIDENTIAL: 1.2 PER DWELLING UNIT VISITOR: 0.2 PER DWELLING UNIT	120 20
PROVIDED PARKING	REGULAR SPACES	80 (20 VISITORS)
	ACCESSIBLE SPACE (TYPE A)	2
	ACCESSIBLE SPACE (TYPE B)	2
	TOTAL	140
BICYCLE PARKING REQUIRED	REGULAR SPACES	80 (20 VISITORS)
	ACCESSIBLE SPACE (TYPE A)	2
	ACCESSIBLE SPACE (TYPE B)	2
	TOTAL	140
BICYCLE PARKING REQUIRED	5% OF 140 SPACES = 7 SPACES	9 BICYCLE PARKING SPACES
MINIMUM DRIVEWAY WIDTH	PARKING LOT: 6.0m	6.0m
MINIMUM AISLE WIDTH	PARKING LOT: 6.0m	6.0m
MINIMUM PARKING SPACE DIMENSIONS	LENGTH: 5.2m WIDTH: 2.6m	LENGTH: 5.2m WIDTH: 2.6m
	UP TO 40% OF REQUIRED PARKING SPACES MAY BE 4.6m x 2.4m	40% = 56 SPACES
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT	ABUTTING A STREET: 3.0m	3.0m
	NOT ABUTTING A STREET: 1.5m	2.6m
MINIMUM REQUIRED LANDSCAPED AREA WITHIN A PARKING LOT	15%	>15% = 1535.7m ²
PROVIDED SHARED AMENITY SPACE	50% OF AMENITY AREA (100 UNITS x 6m ²) = 600m ² x 50% = 300m ²	867m ²
PROVIDED PRIVATE AMENITY SPACE	N/A	1122m ²
PROVIDED TOTAL LANDSCAPE AREA		3916m ²
OUTDOOR REFUSE COLLECTION	MIN. SETBACK FROM A PUBLIC STREET: 9.0m	>9.0m
	MIN. SETBACK FROM ANY LOT LINE: 3.0m	>3.0m
	SCREENING MIN. HEIGHT: 2.0m	2.0m
MINIMUM WIDTH OF PRIVATE WAY	6.0m	6.0m
MINIMUM SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY	NOTWITHSTANDING ANY FRONT YARD SETBACK REQUIREMENT ASSOCIATED WITH ANY ZONE OR SUBZONE, THE MINIMUM SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY IS 1.6m	3.5m
MINIMUM SEPARATION AREA BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT	3m	3m
GARBAGE	0.231 CUBIC YARDS PER UNIT: 100 x 0.231 = 23.1	24 YARDS
RECYCLING (MORE THAN 18 UNITS)	0.016 CUBIC YARDS PER UNIT FOR FEL GLASS/METAL/PLASTIC: 100 x 0.016 = 1.6	2 YARDS
ORGANICS	0.062 CUBIC YARDS PER UNIT FOR FEL FIBRE CONTAINERS: 100 x 0.062 = 6.2	6 YARDS
	KITCHEN CATCHER CONTAINER FOR EACH DWELLING UNIT AND ONE COMMUNAL 240L GREEN CONTAINER PER 50 UNITS	2: 240L CONTAINERS

CLIENT NAME: THE BERGE HOMES

NOTES:
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 3) DO NOT SCALE DRAWINGS.
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UNIT COUNT

STACKED TOWNS: 100 UNITS

SEA: ONTARIO ASSOCIATION OF ARCHITECTS

NORTH ARROW

NO.	DATE	REVISION
15	2023.11.20	ISSUED FOR SFG RESPONSE 01
14	2023.11.04	ISSUED FOR COORDINATION
13	2023.11.01	ISSUED FOR COORDINATION
12	2023.04.12	ISSUED FOR REVIEW
11	2023.08.21	ISSUED FOR REVIEW
10	2023.07.13	ISSUED FOR COORDINATION
04	2023.06.13	ISSUED FOR SFG
08	2023.03.20	RE-ISSUED FOR PRE-CONSULT
07	2023.03.14	ISSUED FOR REVIEW
06	2023.02.22	RE-ISSUED FOR PRE-CONSULT
05	2023.02.14	ISSUED FOR REVIEW
04	2023.01.14	ISSUED FOR REVIEW
03	2022.11.22	ISSUED FOR PRE-CONSULT
02	2022.11.18	ISSUED FOR REVIEW
01	2022.11.04	ISSUED FOR REVIEW



KEY PLAN

TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 11, CONCESSION 3, GEOGRAPHIC TOWNSHIP OF MARCH, CITY OF OTTAWA

SURVEYED BY FARLEY, SMITH & DENIS SURVEYING LTD.

01 PROPOSED SITE PLAN
A1.0 SCALE: 1:250

LEGEND

	NEW OVERHEAD DOOR		NEW SIGN, REFER TO SIGN LEGEND		TWO WAY TRAFFIC		MINIMUM SETBACKS (ZONING)
	NEW DOOR / ENTRANCE		FIRE ROUTE SIGN		DEPRESSED CURB (DC)		NEW CONSTRUCTION
	BICYCLE PARKING SPACE (1.8Mx0.6M)		STREET LIGHT		TACTILE WALKING SURFACE INDICATORS (TWSIs)		EXISTING BUILDINGS
	NO PARKING LINES		DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS		PROPERTY LINE		BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
	PARKING STALL COUNT PER ROW		V VISITOR PARKING		PROPOSED FENCE		

BUILDING AREAS (NOT INCLUDING BASEMENT)

BLOCK	BUILDING FOOT PRINT (SQ.M)	GROSS AREA (SQ.M)
BLOCK 1	328m ²	984m ²
BLOCK 2	274m ²	822m ²
BLOCK 3	382m ²	1146m ²
BLOCK 4	382m ²	1146m ²
BLOCK 5	382m ²	1146m ²
BLOCK 6	274m ²	822m ²
BLOCK 7	328m ²	984m ²
BLOCK 8	382m ²	1146m ²
TOTAL	2350m ²	7050m ²

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 s.j.lawrence@sjla.com

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PROJECT:
 OLD SECOND LINE DEVELOPMENT
 1150 OLD SECOND LINE ROAD, OTTAWA, ON

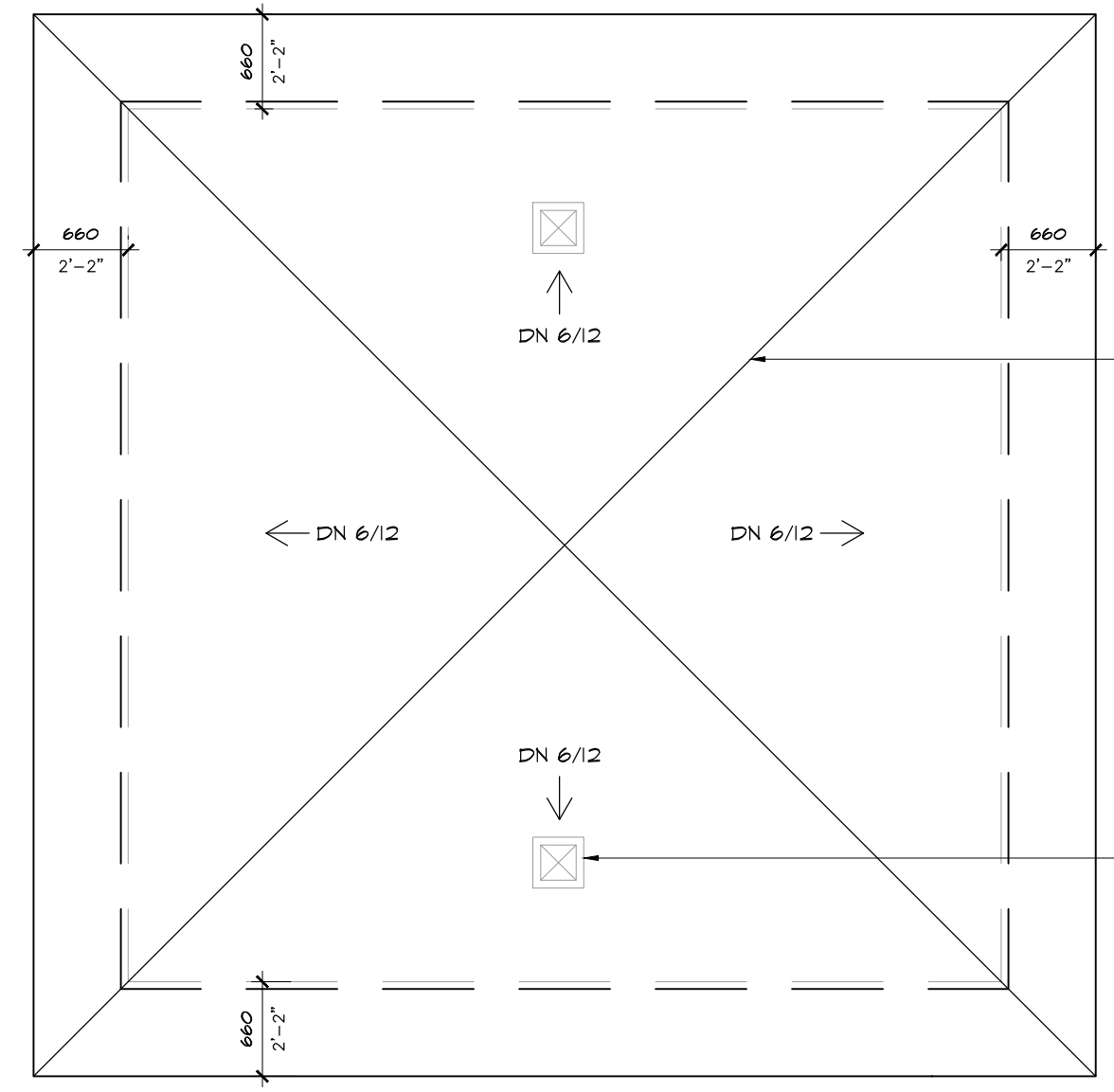
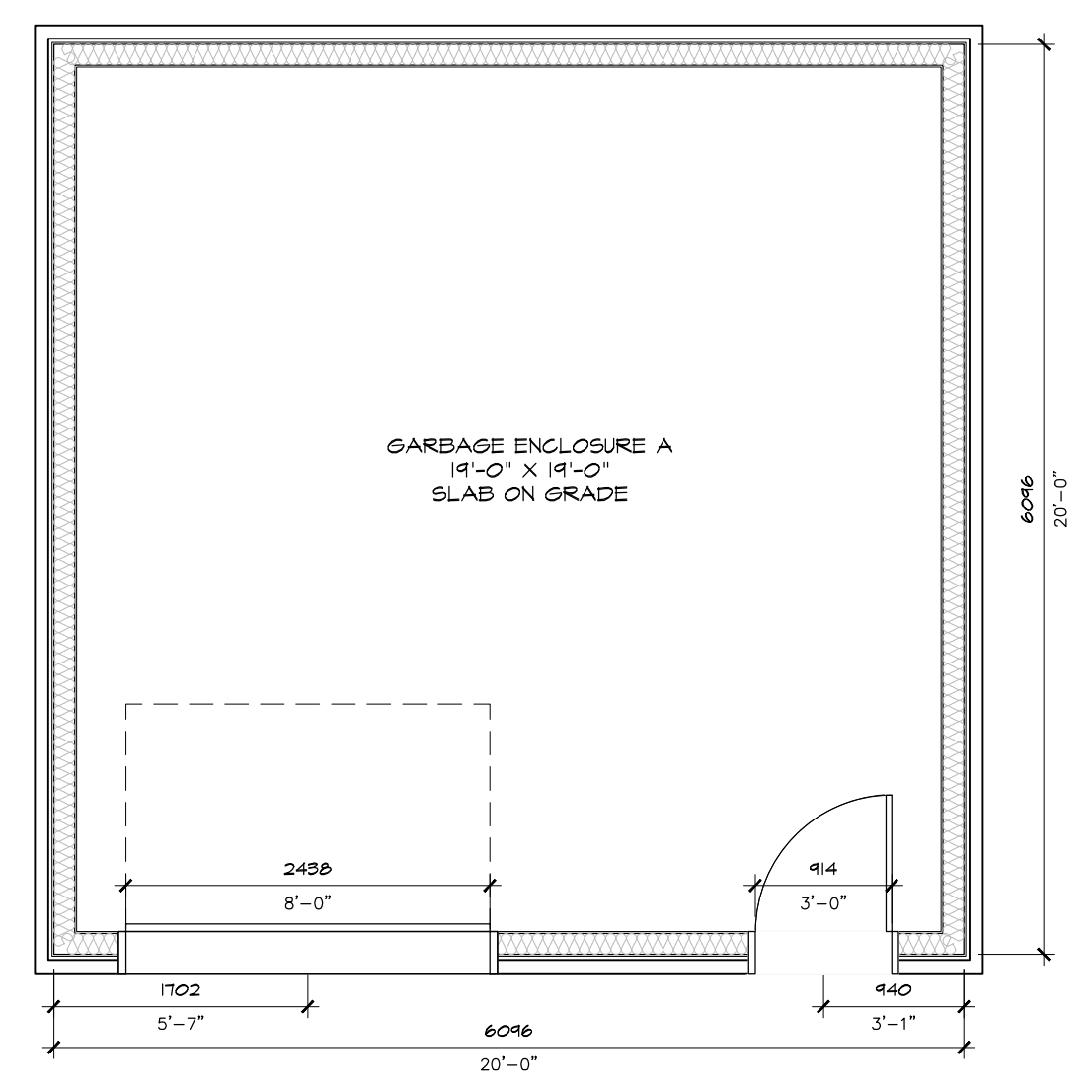
SHEET TITLE:
 SITE PLAN

DRAWN BY: [Name] CHECKED BY: [Name]
 DATE: 2023.11.20 PROJECT DATE: [Date]

JOB NUMBER: SL-1086-22 SCALE: 1:250
 SHEET NUMBER: A1.0

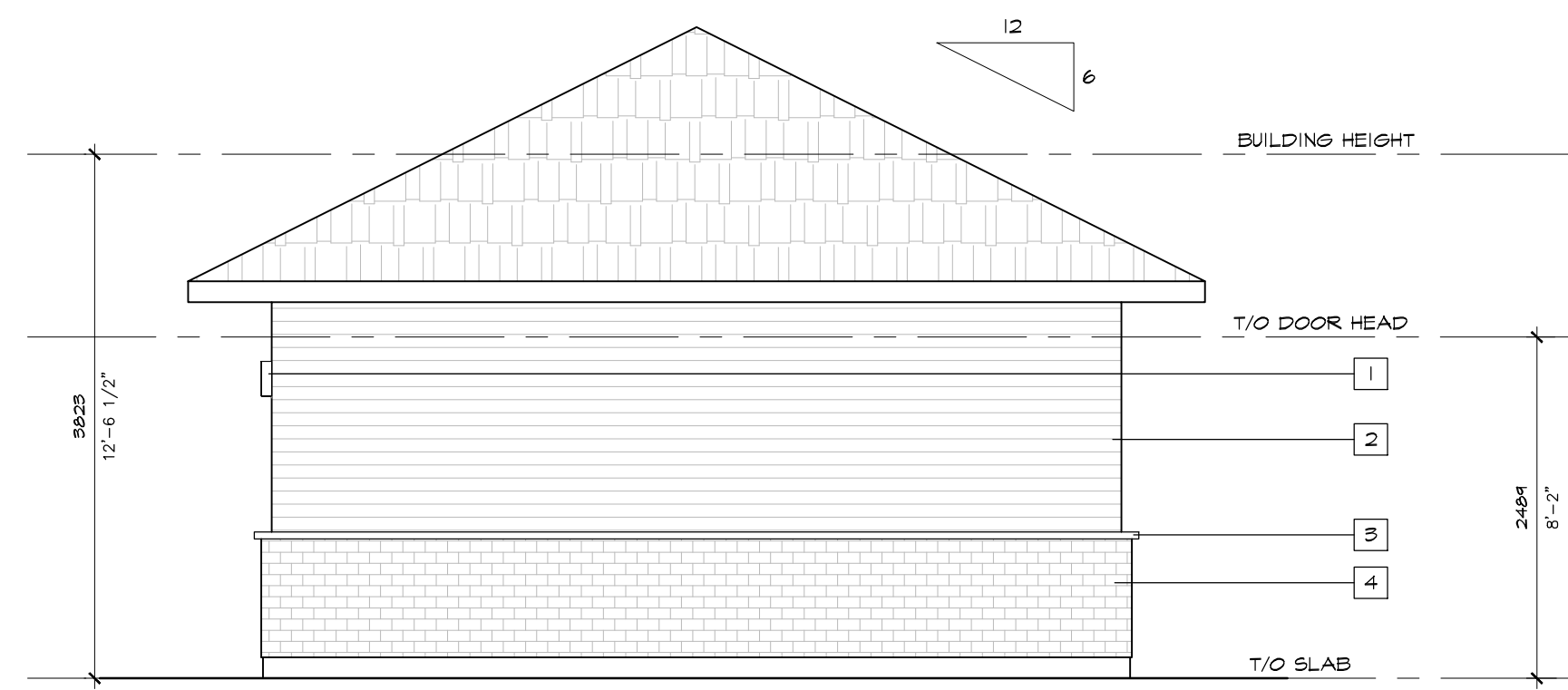
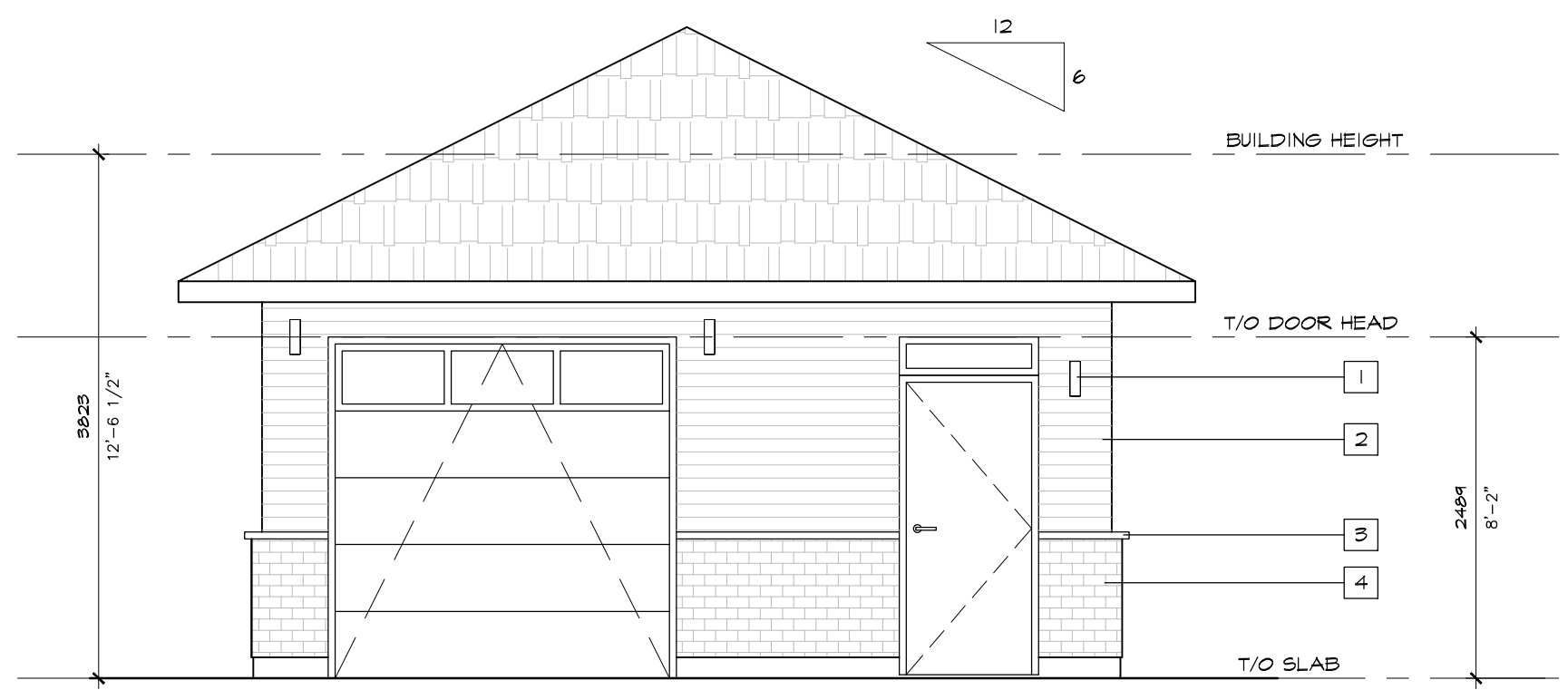
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KEY NOTES:
 1. WALL SCIENCE
 2. SIDING
 3. PRECAST CONCRETE SILL
 4. STONE VENEER



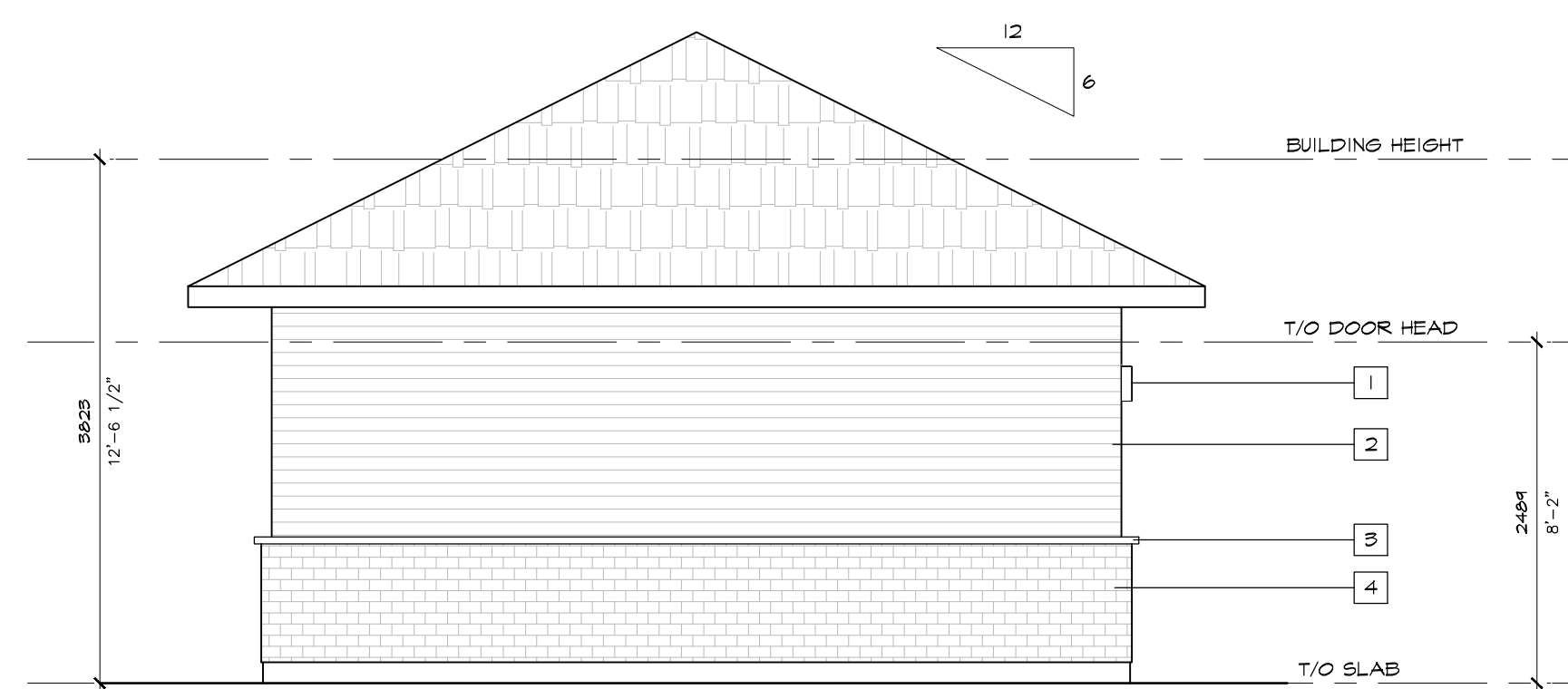
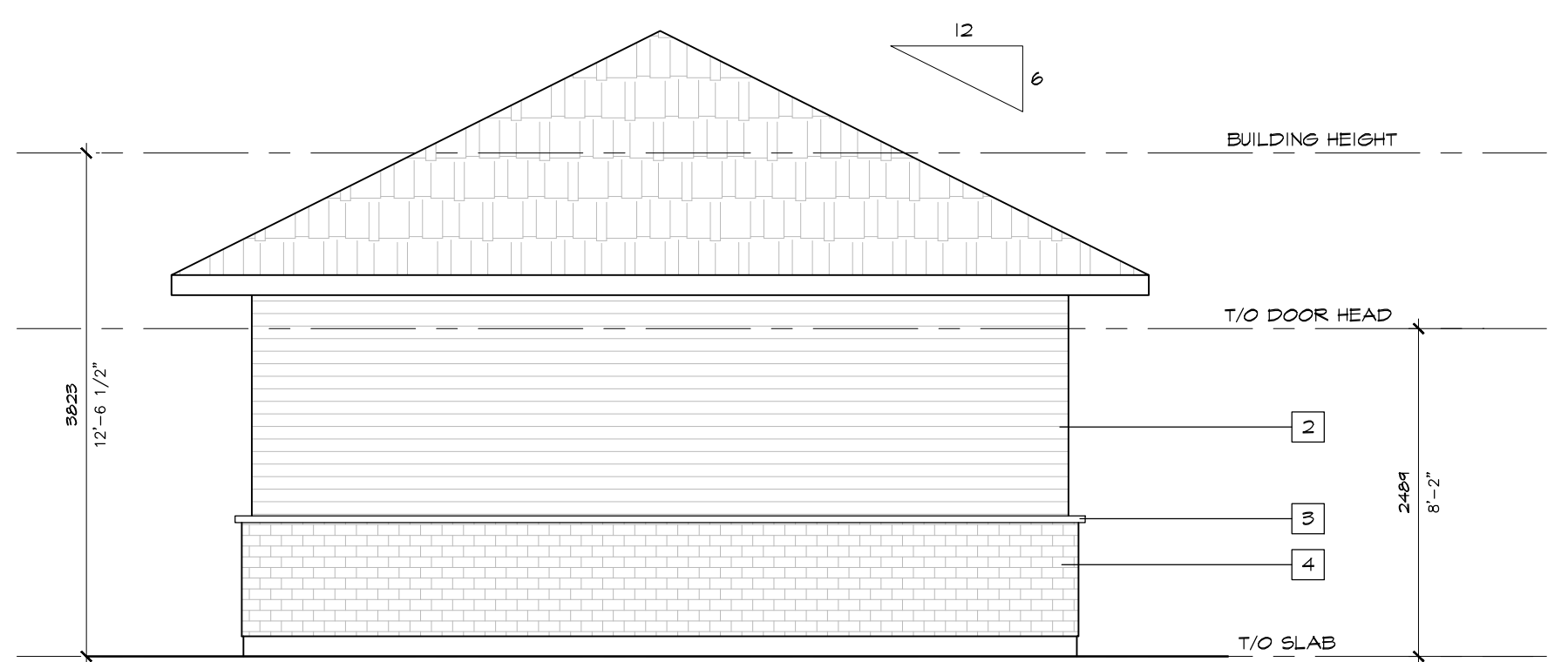
01 ACCESSORY BUILDING A FLOOR PLAN
 A1.1 SCALE: 1/50

02 ACCESSORY BUILDING A ROOF PLAN
 A1.1 SCALE: 1/50



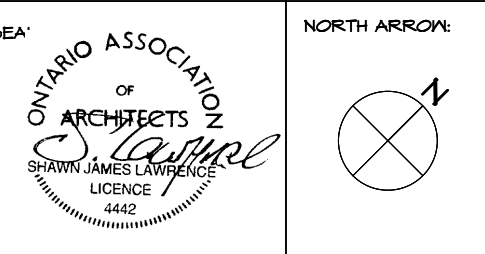
03 ACCESSORY BUILDING A FRONT ELEVATION
 A1.1 SCALE: 1/250

04 ACCESSORY BUILDING A RIGHT ELEVATION
 A1.1 SCALE: 1/250



05 ACCESSORY BUILDING A REAR ELEVATION
 A1.1 SCALE: 1/250

06 ACCESSORY BUILDING A LEFT ELEVATION
 A1.1 SCALE: 1/250



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01	2022.11.09	ISSUED FOR REVIEW

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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1156 OLD SECOND LINE ROAD, OTTAWA, ON

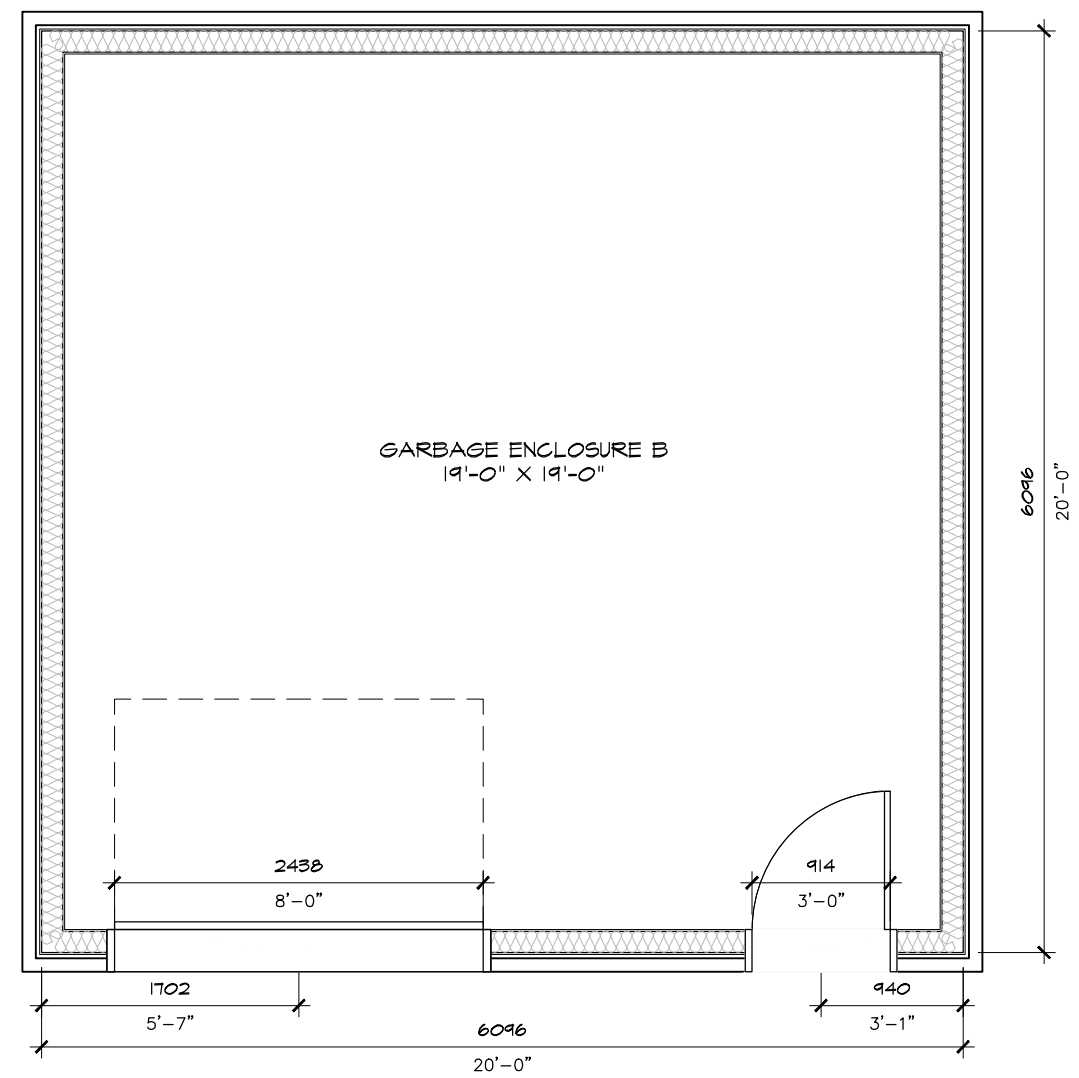
SHEET TITLE:
ACCESSORY BUILDING A

DRAWN BY: S.J.L. CHECKED BY: S.J.L.

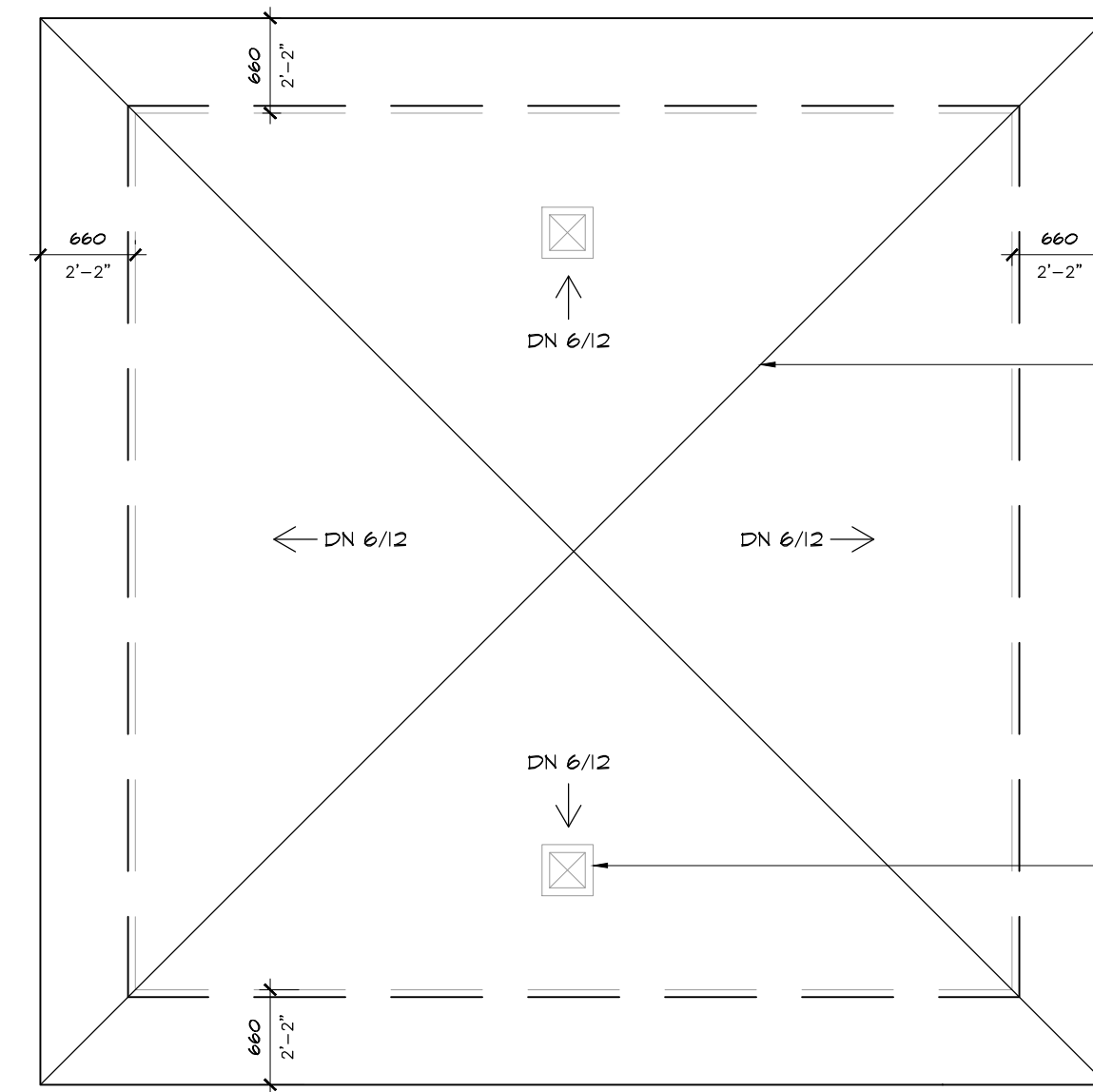
PLOT DATE: 2023.11.20 PROJECT DATE: IDATE

JOB NUMBER: SL-1086-22 SCALE: AS NOTED

SHEET NUMBER: **A1.1**



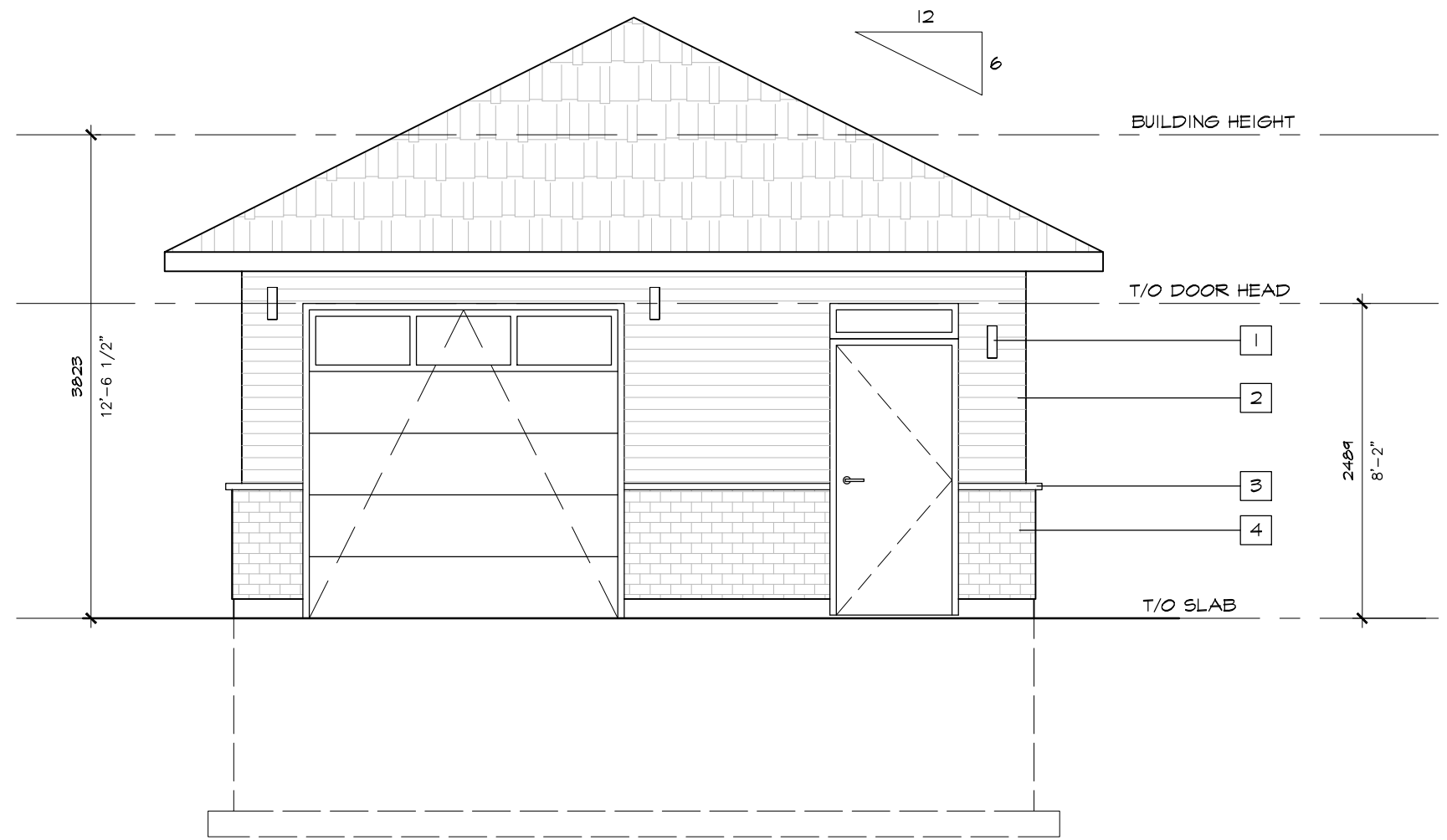
01 ACCESSORY BUILDING B FLOOR PLAN
A1.2 SCALE: 1/50



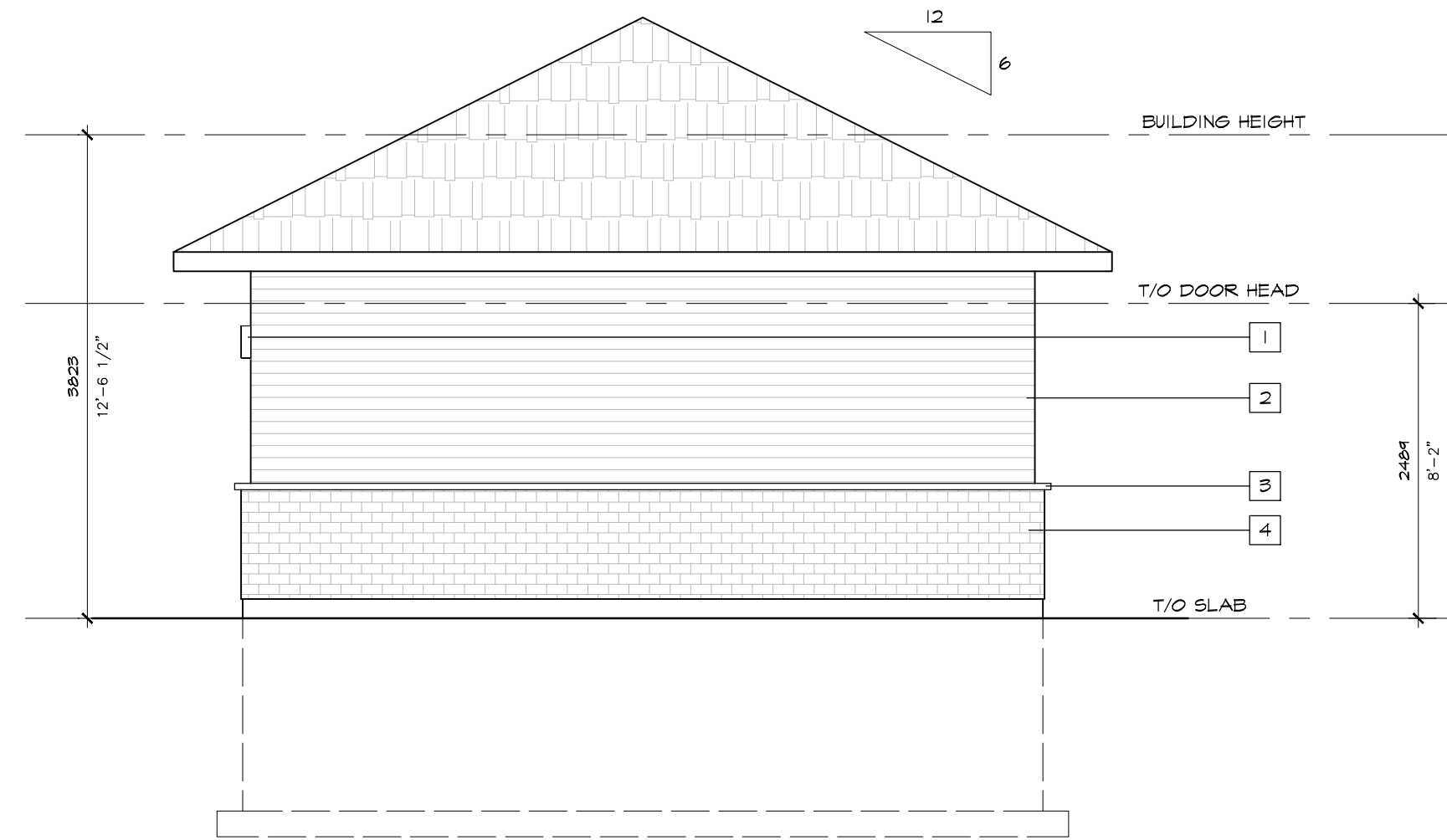
PROVIDE 24" PRE-FINISHED METAL FLASHING (COLOUR TO MATCH SHINGLES) & 48" ICE & WATER SHIELD FOR ALL ROOF VALLEYS & ROOF TO WALL INTERSECTIONS. ROOF FLASHING TO COMPLY WITH 9.26 O.B.C. 2012 -TYP.

PROVIDE MIN. 1/800TH CLEAR VENT AREA OF THE INSULATED CEILING AREA MIN. 25% VENTING AREA THROUGH ROOF VENTS & MIN. 25% VENTING AREA AT SOFFIT. UNIFORM DISTRIBUTION ON OPPOSITE SIDES OF THE BUILDING - TYP.

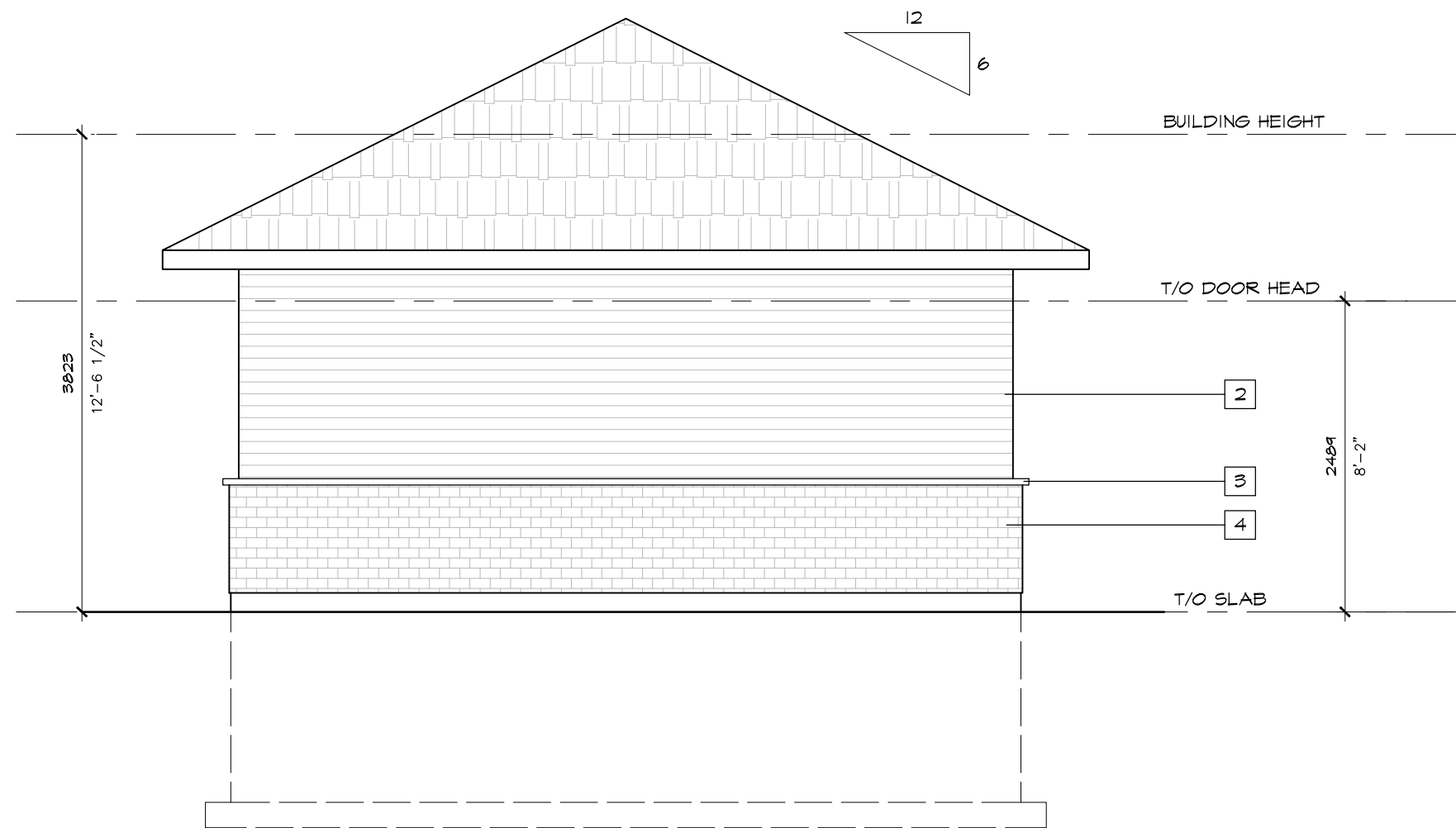
02 ACCESSORY BUILDING B ROOF PLAN
A1.2 SCALE: 1/50



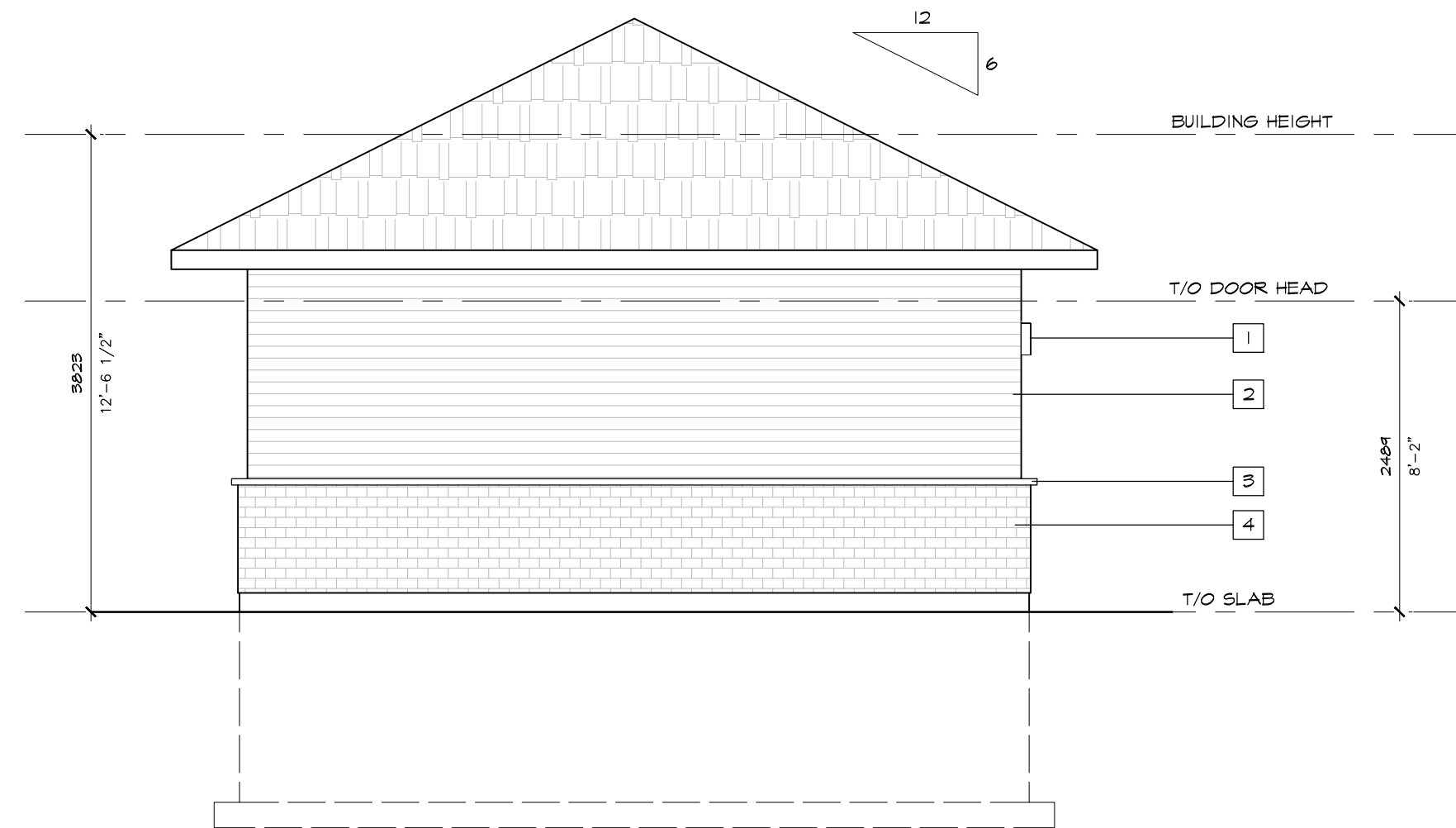
03 ACCESSORY BUILDING B FRONT ELEVATION
A1.2 SCALE: 1/250



04 ACCESSORY BUILDING B RIGHT ELEVATION
A1.2 SCALE: 1/250



05 ACCESSORY BUILDING B REAR ELEVATION
A1.2 SCALE: 1/250

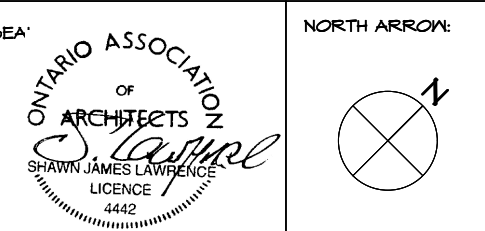


06 ACCESSORY BUILDING B LEFT ELEVATION
A1.2 SCALE: 1/250

CLIENT NAME: THE BERGE HOMES

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OLD SECOND LINE DEVELOPMENT
1150 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
ACCESSORY BUILDING B

DRAWN BY: S.J.L. CHECKED BY: S.J.L.
DATE: 2023.11.20 PROJECT DATE: DATE

JOB NUMBER: SL-1086-22 SCALE: AS NOTED

SHEET NUMBER: A1.2

APPLICATION #