

**PLAN OF SURVEY**  
 INFORMATION SHOWN HAS BEEN TAKEN FROM  
 SURVEYOR'S REAL PROPERTY REPORT - PART 1  
 TOPOGRAPHIC PLAN OF SURVEY OF  
 LOTS 91 & 92 AND  
 PART OF LOTS 147 & 148  
 REGISTERED PLAN 314  
 CITY OF OTTAWA  
**FAIRHALL, MOFFATT & WOODLAND LIMITED**  
 ONTARIO LAND SURVEYORS

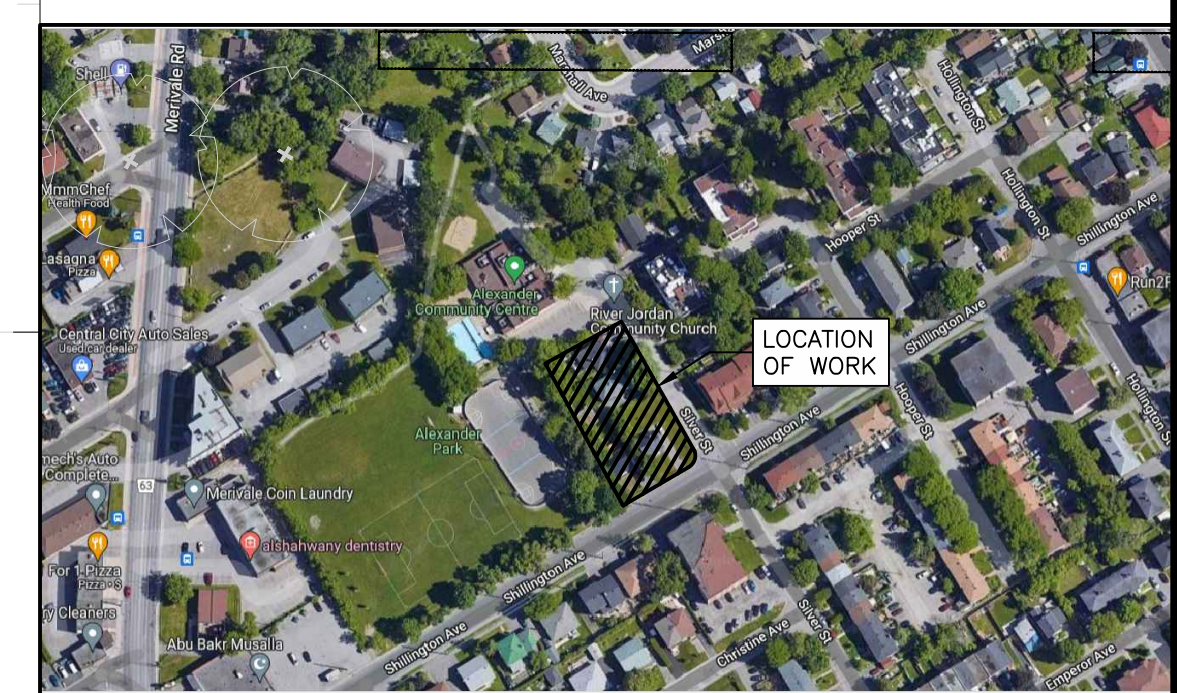
**ELEVATION NOTE**  
 1. ELEVATIONS ARE GEODETIC.  
 2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN THE ABOVE REFERENCED SURVEY.

**Hive Capital Inc.**  
 65 Bank St,  
 Suite 400 Ottawa K1P 5N2

IBI Group  
 333 Preston St #500, Ottawa, ON K1S 5M4

CSW  
 1710 McNeil Avenue, Suite 502, Ottawa, Ontario, K1Z 0P9  
 Tel: (613) 724-6266

- LEGEND:**
- PROPOSED NEW BUILDING
  - PROPOSED PAVERS
  - PROPOSED TERRACE
  - PROPOSED VEGETATION SEE LANDSCAPING FOR DETAILS.
  - PROPERTY LINE
  - ADJACENT LOT PROPERTY LINES
  - EXISTING OVERHEAD HYDRO LINE
  - NEW WOOD FENCE
  - EXISTING HYDRO POLE TO REMAIN
  - ENTRANCE ARROWS
  - NEW BIKE RACKS
  - NEW PARKING
  - EXISTING CONCRETE CURB
  - D.C. DEPRESSED CURB
  - LIGHT STANDARD
  - WALL MOUNTED LIGHTING FIXTURE
  - EXTERIOR SOFFIT LIGHTING FIXTURE
  - EXTERIOR WALL MOUNTED LIGHT FIXTURE

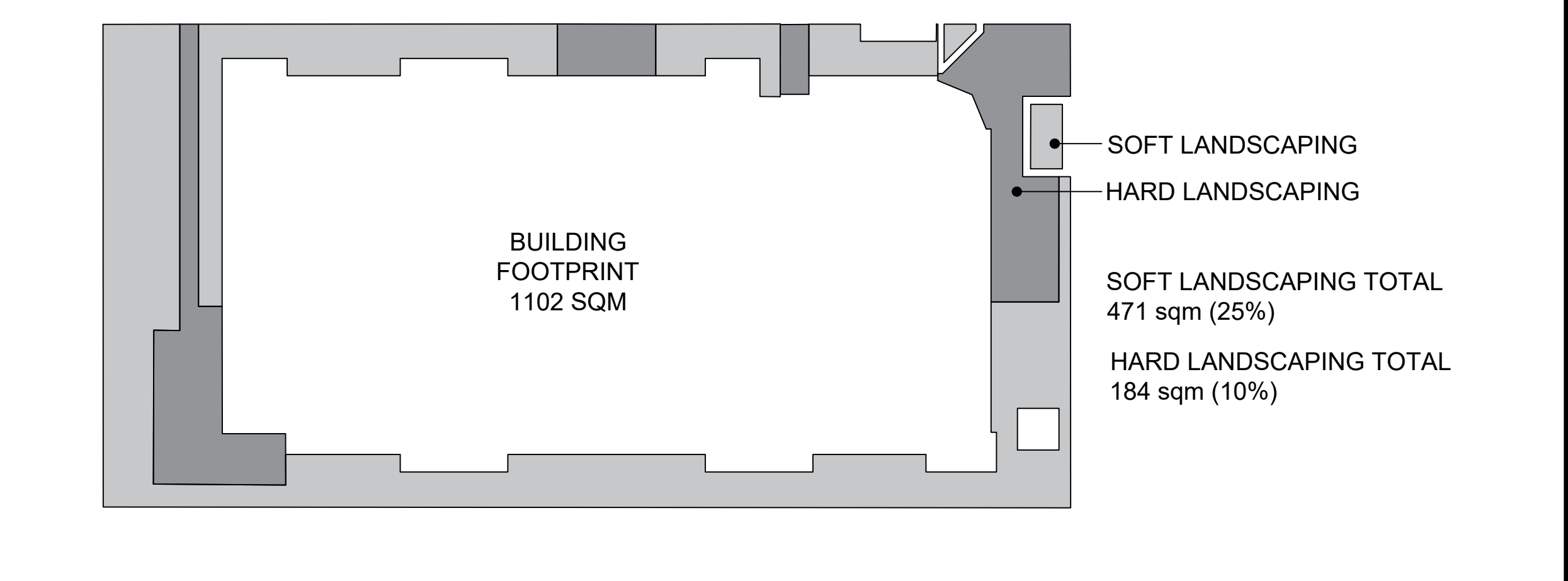


**2 LOCATION PLAN**  
 N.T.S.

**1 SITE PLAN**  
 SCALE = 1:150

UNIT COUNT		TOTAL	
<b>MAIN LEVEL</b>			
1 BED	5	TOTAL 1 BED	19
1 BED + DEN	3	TOTAL 1 BED + DEN	17
2 BED	2	TOTAL 2 BED	14
<b>TOTAL</b>	<b>10</b>	<b>TOTAL</b>	<b>14</b>
<b>SECOND LEVEL</b>			
1 BED	5	TOTAL	50
1 BED + DEN	5	TOTAL VEHICULAR PARKING	27
2 BED	4	BELOW GRADE (INCLUDING ONE H/C)	27
<b>TOTAL</b>	<b>14</b>	ABOVE GRADE	0
<b>THIRD LEVEL</b>			
1 BED	5	TOTAL BICYCLE PARKING	33
1 BED + DEN	5	INSIDE	12
2 BED	4	OUTSIDE	45
<b>TOTAL</b>	<b>14</b>	<b>TOTAL</b>	<b>45</b>
<b>FOURTH LEVEL</b>			
1 BED	4		
1 BED + DEN	4		
2 BED	4		
<b>TOTAL</b>	<b>12</b>		
<b>TOTAL UNIT COUNT</b>	<b>50</b>		

SITE STATISTICS 970 Silver St., 974 Silver St., 1271 Shillington Ave., 1275 Shillington Ave.		
ITEM	REQUIRED	PROVIDED
Zone	R3A Current	R4Y
Minimum Lot Area	1,400 sqm	1,858 sqm
Minimum Lot Width	n/a	30.48m
Maximum Building Height	16.0m	13.1m - 4 STOREYS
Front Yard	3.0m Min.	5.0m
Side Yard	3.0m Min.	3.3m
Corner	3.0m Min.	3.3m
Interior	3.0m Min.	3.3m
Rear Yard	3.0m Min.	7.5m
Building Footprint	Max. 1,800 sqm	1,102 sqm
Lot Coverage		59%
<b>UNITS</b>		
Number of Dwelling units		50 Units
<b>PARKING</b>		
Resident Parking Spaces	0.5 Spaces/unit after 12 units = 19	23 Spaces (Underground)
Visitor Parking Spaces	0.1 Spaces/unit after 12 units = 4	4 Spaces (Underground)
Required Bike Racks	25 Required (50 Units)	45 Spaces
	(0.5 Spaces/Dwelling)	33 Interior and 12 Exterior
<b>LANDSCAPING / AMENITY</b>		
Landscaping		184 sqm
Hard		471 sqm
Soft		71.2 sqm
Front yard	40% yard area (153.2) = 61.28 sqm	
S. Landscaping	40% yard area (198) = 79.2 sqm	123.2 sqm
Corner Side yard	15 sqm/unit (8 units) + 6 sqm/unit = 372 sqm	336.9 sqm + 281 sqm = 617.9 sqm
Total		281 sqm (220 sqm soft landscaped)
Amenity Area	Communal	15 sqm/unit (8 units) = 120 sqm



**3 AREA BREAKDOWN**  
 SCALE = 1:300

No.	REVISIONS	BY	DATE
11			
10			
09			
08			
07	UPDATED AS PER CIVIL AND LS	JP	OCT 27 2023
06	FOR COORDINATION	JP	OCT 03 2023
05	UPDATED AS PER LANDSCAPING	JP	MAY 17 2023
04	FOR REVIEW	JP	MAY 03 2023
03	FOR REVIEW	PE	MAR. 15 2022
02	FOR REVIEW	PE	JAN. 18 2022
01	FOR REVIEW	PE	NOV 25 2021

STAMP NORTH ARROW

**P2 concepts**  
 PROJECT MANAGEMENT  
 1710 McNeil Avenue, Suite 502, Ottawa, Ontario, K1Z 0P9  
 Tel: (613) 724-6266

DESIGNED BY: P.E. DRAWN BY: P.E. APPROVED BY: P.R.

PROJECT  
 970, 974, Silver Street & 1271, 1275 Shillington Avenue

DRAWING TITLE  
 SITE PLAN

PROJECT NO.  
 0453

DATE  
 NOV. 24, 2021

**SP-01**

D02-02-22-0026