

REGISTERED PLAN 55632

CLIENT

KEY PLAN

PROJECT

STAMP

TRUE NORTH

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. COPYRIGHT RESERVED.

NO.	REVISION	DD/MM/YY DATE
7	ISSUED FOR APPROVAL	10/26/23
6	ISSUED FOR APPROVAL	06/20/23
5	ISSUED FOR APPROVAL	02/10/23
4	ISSUED FOR APPROVAL	10/12/22
3	ISSUED FOR APPROVAL	08/10/22
2	ISSUED FOR APPROVAL	24/06/22
1	ISSUED FOR REVIEW	16/06/22

OWNER

SMART LIVING PROPERTIES

226 ARCADE AVE, OTTAWA, ON K2P 1B3

WOODMAN ARCHITECT ASSOCIATES LTD.

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APPLICANT:

FOTENN

CONSULTANTS:

ENGINEERING — MCINTOSH PERRY
SURVEY — ANNIS, O'SULLIVAN, VOLLEBEKK LTDA
LANDSCAPE — JAMES B. LENNOX & ASSOCIATES INC.

PROJECT

68 SWEETLAND - 146/170 OSGOOD
OTTAWA

DRAWING

SITE PLAN

DATE: 11/05/2022
SCALE: 1 : 100
DRAWN BY: J.G.
REVIEWED BY: R.W.

JOB No. 2201
REVISION
DRAWING
SP01

ALL SITE SERVICE, GRADING AND DRAINAGE RELATED ALTERATION, REFER TO CIVIL ENGINEERS DRAWINGS.

ALL SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY AS PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED ON THE 20 MAI 2022.

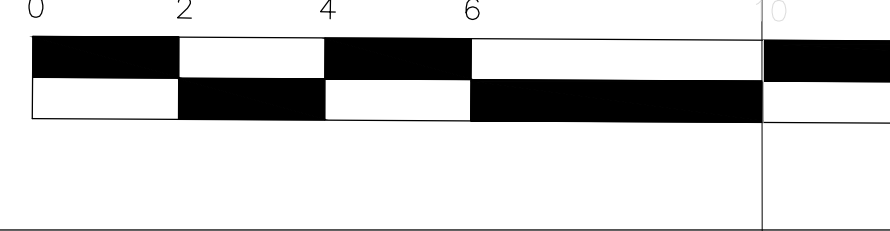
LOT 11 (EAST HENDERSON AVENUE LOTS) AND PART OF LOT 19 SOUTH OSGOOD STREET LOTS REGISTERED PLAN 37221

ELEVATION NOTES

1 Elevations shown are geoid and are referred to the CGVD2011 datum.

2 It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Bearing are grid, derived from Can-High 2011 True North (CST) coordinates and are referenced to Special Control Point (SP01) 191960055 and 0191960105, NAD 83 Zone 9 (17°30' West Longitude / NAD83) (original).



68 SWEETLAND													
G.B.A.	EXISTING			ADDITION			TOTAL			G.L.A.	NUMBER OF UNITS		
	SOFT	1.0M	SOFT	SOFT	1.0M	SOFT	SOFT	1.0M	SOFT			SOFT	
BASMENT	1,071	99	1,562	141	2,516	245	356	31	977	31	1,311	1	8
FIRST LEVEL	1,071	99	1,562	141	2,516	245	356	31	977	31	1,311	1	8
SECOND LEVEL	1,071	99	1,562	141	2,516	245	356	31	977	31	1,311	1	8
THIRD LEVEL	1,071	99	1,562	141	2,516	245	356	31	977	31	1,311	1	8
TOTAL	4,284	396	6,251	562	10,345	971	1,354	124	4,842	124	6,408	4	32

BUILDING UNIT	LEVEL	G.B.A.		G.L.A.		AREA SQ.M.	AREA SQ.FT.
		AREA SQ.M.	AREA SQ.FT.	AREA SQ.M.	AREA SQ.FT.		
BLOCK A (UNIT 146-152)	MECHANICAL ROOM	22	235	0	0	22	235
	BASMENT LEVEL	305	3,254	305	3,254	305	3,254
	FIRST FLOOR	305	3,254	305	3,254	305	3,254
	SECOND FLOOR	305	3,254	305	3,254	305	3,254
TOTAL	1,137	12,097	1,137	12,097	1,137	12,097	

BUILDING UNIT	LEVEL	G.B.A.		G.L.A.		AREA SQ.M.	AREA SQ.FT.
		AREA SQ.M.	AREA SQ.FT.	AREA SQ.M.	AREA SQ.FT.		
BLOCK B (UNIT 154-160)	MECHANICAL ROOM	40	435	0	0	40	435
	BASMENT LEVEL	254	2,720	254	2,720	254	2,720
	FIRST FLOOR	254	2,720	254	2,720	254	2,720
	SECOND FLOOR	254	2,720	254	2,720	254	2,720
TOTAL	798	8,575	798	8,575	798	8,575	

BUILDING UNIT	LEVEL	G.B.A.		G.L.A.		AREA SQ.M.	AREA SQ.FT.
		AREA SQ.M.	AREA SQ.FT.	AREA SQ.M.	AREA SQ.FT.		
BLOCK C (UNIT 162-164)	MECHANICAL ROOM	19	205	0	0	19	205
	BASMENT LEVEL	149	1,602	149	1,602	149	1,602
	FIRST FLOOR	149	1,602	149	1,602	149	1,602
	SECOND FLOOR	149	1,602	149	1,602	149	1,602
TOTAL	466	4,911	466	4,911	466	4,911	

BUILDING UNIT	LEVEL	G.B.A.		G.L.A.		AREA SQ.M.	AREA SQ.FT.
		AREA SQ.M.	AREA SQ.FT.	AREA SQ.M.	AREA SQ.FT.		
BLOCK D (UNIT 166-170)	MECHANICAL ROOM	11	122	0	0	11	122
	BASMENT LEVEL	220	2,371	220	2,371	220	2,371
	FIRST FLOOR	220	2,371	220	2,371	220	2,371
	SECOND FLOOR	220	2,371	220	2,371	220	2,371
TOTAL	671	7,235	671	7,235	671	7,235	

Osgood (rooming Units)											
EXISTING	1M	2M	3M	4M	5M	6M	7M	8M	9M	10M	TOTAL
Basement	1	1	1	1	1	1	1	1	1	1	10
1st Floor	2	2	2	2	2	2	2	2	2	2	20
2nd Floor	2	2	2	2	2	2	2	2	2	2	20
3rd Floor	1	1	1	1	1	1	1	1	1	1	10
TOTAL	6	6	6	6	6	6	6	6	6	6	60

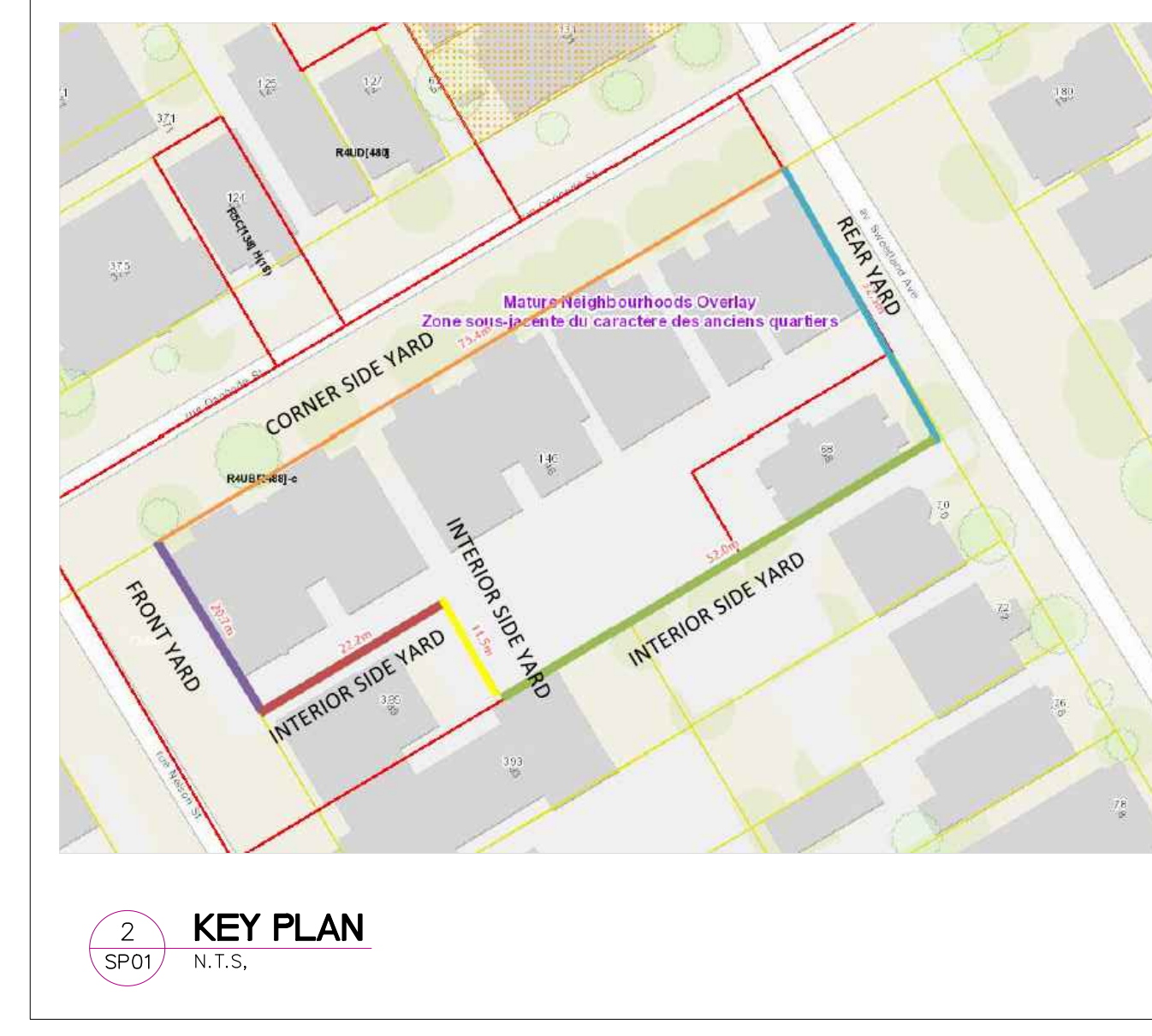
Requirement	Provided	Compliance
Zoning Mechanism	Residential PUD	Complies
Minimum Lot Area	1,400 m ²	Complies
Minimum Lot Width	N/A	Complies
Minimum Rear Yard Setback	1.5 m from rear property line of 100% height	Complies
Minimum Corner Side Yard Setback	1.5 m from rear property line of 100% height	Complies
Minimum Interior Side Yard Setback	1.5 m from rear property line of 100% height	Complies
Minimum Rear Yard Setback	N/A (no rear yard as per Section 315)	Complies
Interior Yard Area	10% in rear yard from the affected property	Complies
Maximum Building Height	As Per Dwelling Type	Complies
Zoning Mechanism	Residential PUD	Complies
Minimum Area of Landscaping in the Rear Yard	10% (no rear yard as per Section 315)	Complies
Minimum Area of Landscaping in the Front Yard	40%	Complies
Principal Entrance	Min. 1 located on the facade	Complies
Front Facade	25% windows	Complies
Front Facade	10% windows	Complies
Minimum separation area between buildings	1.2 m	Complies
Overall Landscaped Area of Lot	30%	Complies

Requirement	Provided	Compliance
Garbage Storage	Located within principal building with 300 liter bins	Complies
Garbage Path	1.2 m by 1.5 m high path for movement between storage and public use	Complies
Zoning Mechanism	Residential PUD	Complies
Amenity Area	1.5 m per unit (17 units x 2.25 m ²)	Complies
Minimum Area of Landscaping in the Rear Yard	10% (no rear yard as per Section 315)	Complies
Minimum Area of Landscaping in the Front Yard	40%	Complies
Principal Entrance	Min. 1 located on the facade	Complies
Front Facade	25% windows	Complies
Front Facade	10% windows	Complies
Minimum separation area between buildings	1.2 m	Complies
Overall Landscaped Area of Lot	30%	Complies



LEGEND:

- EXISTING BUILDING
- PROPOSED ADDITION
- MANHOLE, REFER TO CIVIL
- NEW INTERLOCK/PAVERS
- NEW SOIL
- CONCRETE FLOOR
- ASPHALT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT, REFER TO CIVIL
- CATCH BASIN, REFER TO CIVIL
- BUILDING ENTRANCE
- DIRECTIONAL ARROW
- PROPERTY LINE
- PROPOSED 2.1 m HH CHAIN LINK FENCE
- PROPOSED 2.1 HT. ORNAMENTAL METAL FENCE, REFER TO LANDSCAPE PLAN FOR DETAILS
- EXISTING CITY LIGHT STANDARD
- NEW LIGHT STANDARD
- FIRE ROUTE SIGN
- STOP SIGN
- CENTELINE
- EXISTING TREES TO BE REMOVED
- NEW TREE
- BIKE STORAGE



2 KEY PLAN

N.T.S.

D07-12-22-0106

#18783