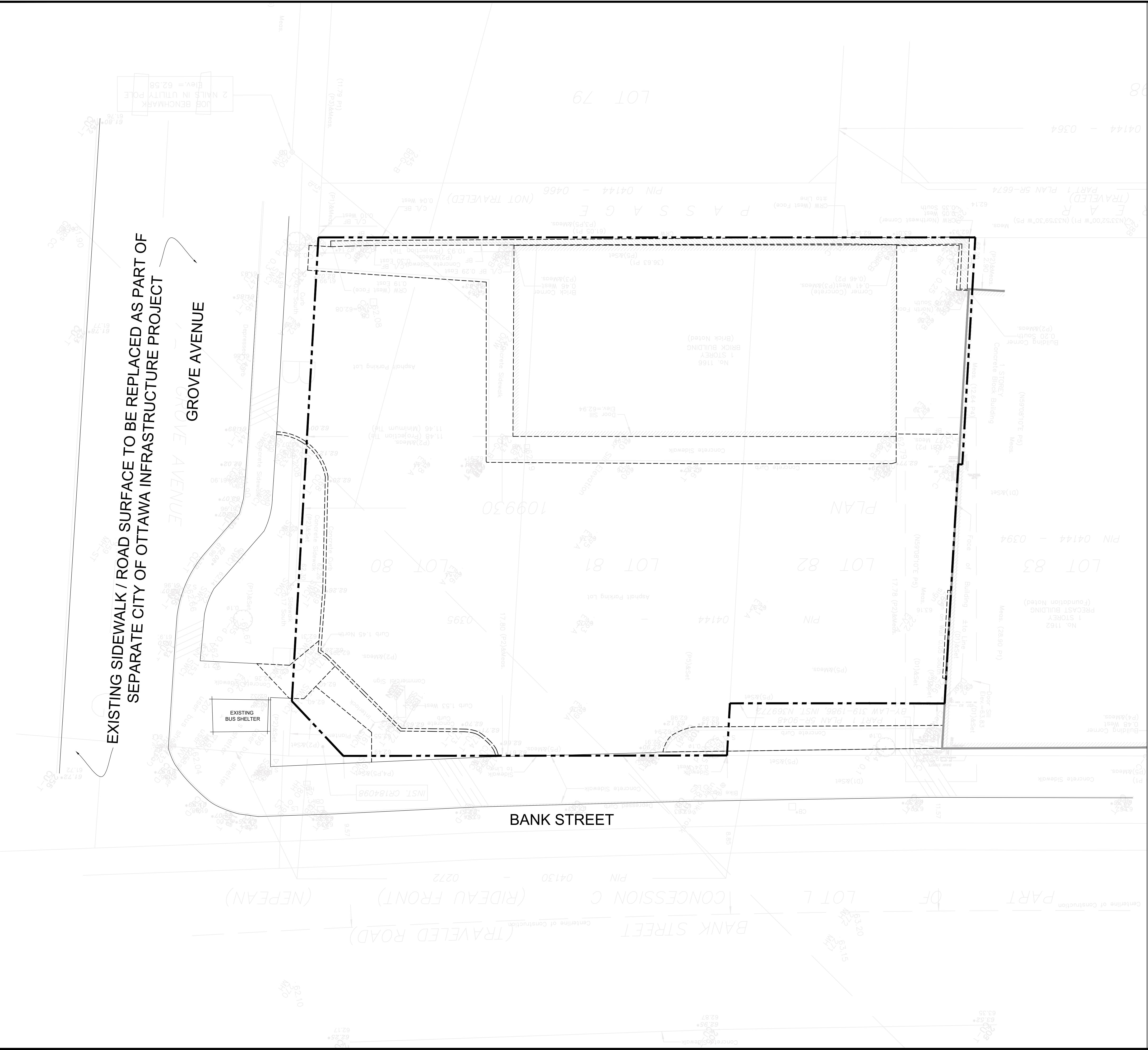


EXISTING SIDEWALK / ROAD SURFACE TO BE REPLACED AS PART OF SEPARATE CITY OF OTTAWA INFRASTRUCTURE PROJECT

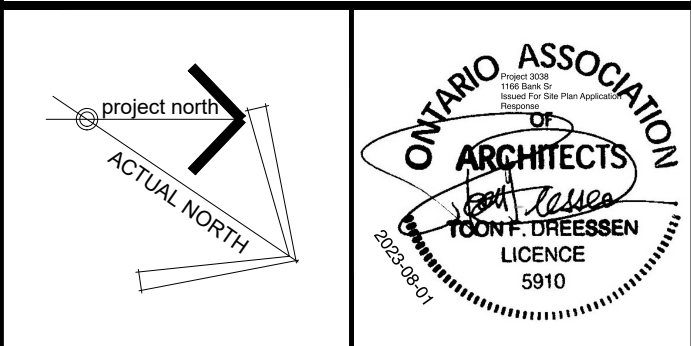
GROVE AVENUE



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2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
3	ISSUED FOR COORDINATION	2023-10-20
4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

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EXP
 CIVIL ENGINEERS
 TEL: 613-888-1899

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 TEL: 613-254-9643

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 TEL: 613-233-1104



PROJECT TITLE

1166 BANK STREET

DRAWING TITLE

SITE PLAN: DEMOLITION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A100
SCALE	REVIEWED		
1:100	TD/DR		

ARCHITECTURAL

EXISTING SIDEWALK / ROAD SURFACE TO BE REPLACED AS PART OF SEPARATE CITY OF OTTAWA INFRASTRUCTURE PROJECT

GROVE AVENUE

EXISTING DETACHED HOME

EXISTING 3m LANE WAY

PLANTER

RIVER STONE BALLASTED ROOF OVER GARAGE ENTRY

1166 BANK STREET 6 STORY BUILDING MAX. HEIGHT 20m

EXISTING 1 STORY BUILDING

BANK STREET

APPROXIMATE LOCATION OF EXISTING FIRE HYDRANT

SITE PLAN LEGEND:

- EXTENT OF REMOVALS
- EXISTING PROPERTY LINE
- PROPERTY LINE AFTER ROAD WIDENING
- SET BACK LINE
- NEW PRIVACY FENCE TO APPROX. 1.4m ABOVE GRADE
- EXTENT OF FOUNDATION BELOW GRADE
- EXTENT OF BUILDING AT GROUND FLOOR
- BUILDING OVERHANGS ABOVE, REFER TO ELEVATIONS
- CONCRETE WALKING / DRIVING SURFACE, REFER TO CIVIL DOCUMENTS
- SOFT LANDSCAPING, REFER TO LANDSCAPING DOCUMENTS
- HARD LANDSCAPING, REFER TO LANDSCAPING DOCUMENTS
- RAISED LANDSCAPING BLOCKS
- LOCATION FOR NEW BICYCLE RACK

EXTERIOR DOOR LEGEND:

- LOCATION OF EXTERIOR DOORS:
- B = BICYCLE STORAGE ROOM
- M = MAIN RESIDENTIAL ENTRANCE
- R = RETAIL UNIT
- V = VEHICLE ENTRANCE / EXIT
- X = EXIT DOOR

GENERAL SITE PLAN NOTES:

PROPERTY BOUNDARY INFORMATION, AND TOPOGRAPHIC INFORMATION DERIVED FROM SURVEY OF LOT 81 PART OF LOTS 80 & 82 REGISTERED PLAN 109830, CITY OF OTTAWA, PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SIGNED AND DATED FEBRUARY 12, 2022

SITE & BUILDING DATA, 1166 BANK STREET:

SITE AREA: 1015.47m²
 GROSS FLOOR AREA (CITY OF OTTAWA): 2980.87m²
 BUILDING AREA (OBC): 709.60m²

ZONING:

PART 10 - MIXED USE:
 TM2 H2(H) - TRADITIONAL MAIN STREET SUBZONE 2

SETBACKS:

FRONT: 2m MAX + 2m ABOVE THE 4TH FLOOR
 REAR: 4.5m (ABUTS LANEWAY), REFER TO ELEVATIONS FOR ANGULAR SETBACK ABOVE 15m
 CORNER SIDE YARD: 3m MIN + 2m ABOVE THE 4TH FLOOR
 INTERIOR SIDE YARD: 0m

BUILDING HEIGHT:

AVERAGE GRADE: 62.89m
 MAXIMUM HEIGHT: 82.89m (20m)
 PROPOSED HEIGHT: 82.39m (19.5m)

RESIDENTIAL PARKING:

TYPE	REQUIRED	PROVIDED
TENANT PARKING	11	11
MIN. VISITOR PARKING	3	3
MAX. VISITOR PARKING	30	3
BARRIER FREE PARKING	1 (TYPE B)	1 (TYPE B)
TOTAL:		14

COMMERCIAL PARKING:

BASEMENT + GROUND FLOOR GFA	REQUIRED	PROVIDED
456.11m ²	0	0

BICYCLE PARKING:

TYPE	REQUIRED	PROVIDED
RESIDENTIAL BICYCLE PARKING	19	52
COMMERCIAL BICYCLE PARKING	2	8

GARBAGE ROOM REQUIREMENTS:

TYPE	REQUIRED	PROVIDED
GARBAGE	8.55sq YARDS OF CONTAINER	1x 6cu YARD & 1x 4cu YARD CONTAINER
FIBRE RECYCLING	2.30sq YARDS OF CONTAINER	1x 3cu YARD CONTAINER
GLASS, METAL & PLASTIC RECYCLING	0.67sq YARDS OF CONTAINER	3x 0.25cu YARD (50g) CONTAINERS
ORGANICS	1x 240L GREEN CONTAINER	1x 240L GREEN CONTAINER

AMENITY AREAS

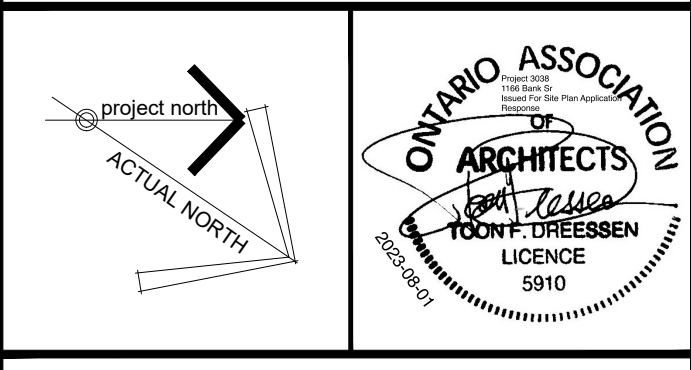
TYPE	REQUIRED	PROVIDED
TOTAL AMENITY AREA	222m ²	227.23m ²
COMMUNAL AMENITY AREA	MIN. 111m ²	174.73m ²

*CALCULATIONS ARE BASED ON 37 RESIDENTIAL UNITS

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CONSULTANTS:

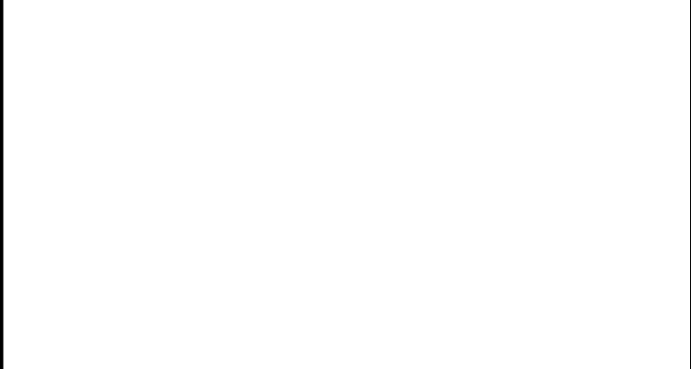
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CLIENT:

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 185 SOMERSET ST. W., OTTAWA, ONTARIO
 TEL: 613-233-1104



PROJECT TITLE:

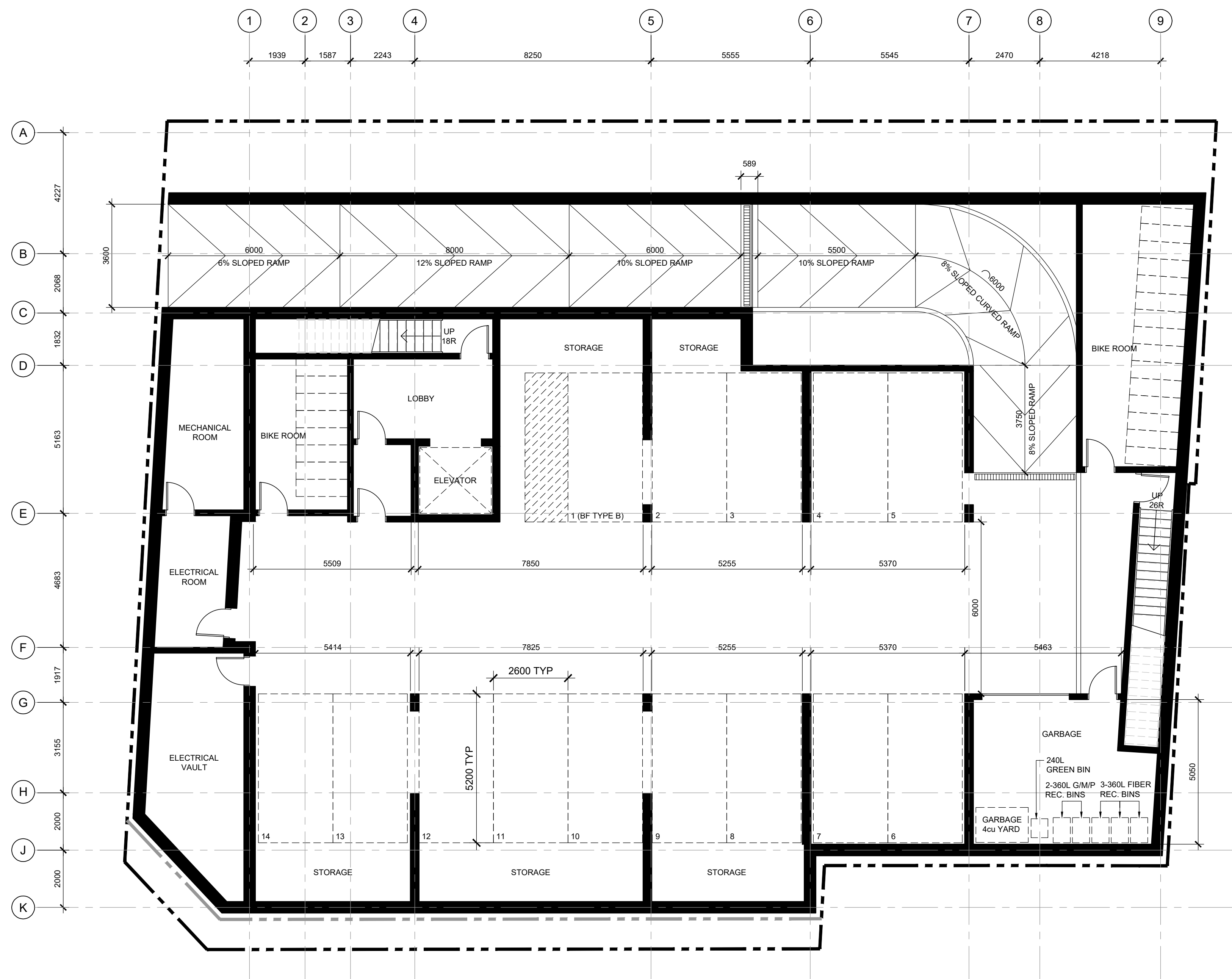
1166 BANK STREET

DRAWING TITLE:

SITE PLAN: NEW WORK

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A101
SCALE	REVIEWED		
1:100	TD/DR		

ARCHITECTURAL

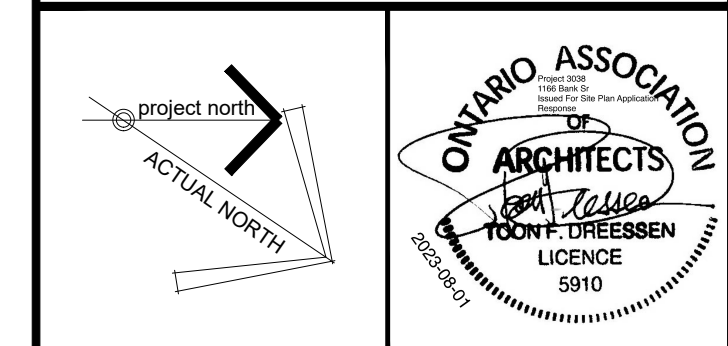


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6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

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A GROUP OF ARCHITECTS
201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
WWW.ARCHITECTSDCA.COM 613.725.2294

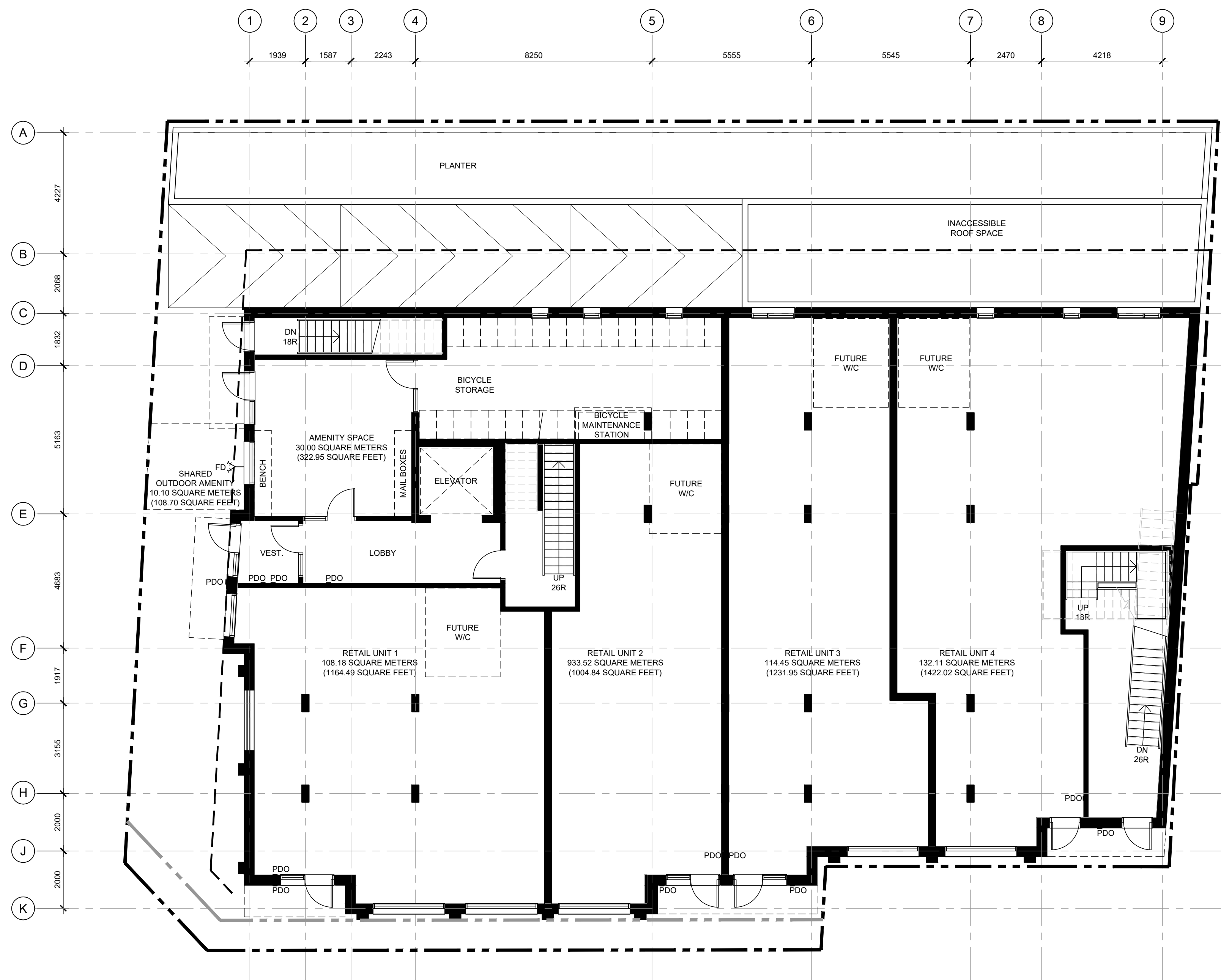
PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
FLOOR PLAN: BASEMENT / PARKING LEVEL

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A200
SCALE	REVIEWED		
1:100	TD DR		

ARCHITECTURAL

FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



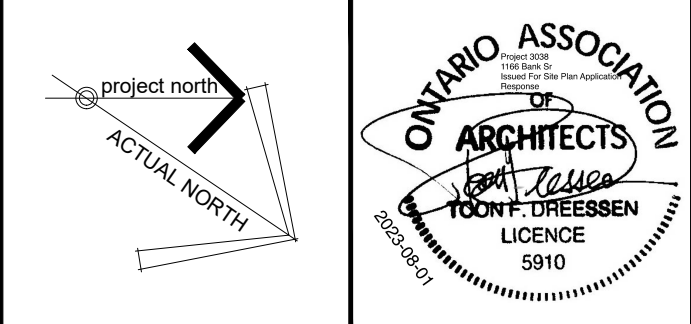
AMENITY AREAS		
TYPE	REQUIRED	PROVIDED
TOTAL AMENITY AREA	222m ²	227.23m ²
COMMUNAL AMENITY AREA	MIN. 111m ²	174.73m ²
*CALCULATIONS ARE BASED ON 37 RESIDENTIAL UNITS		
TYPE		PROVIDED
GROUND FLOOR AMENITY LOUNGE		30.00m ²
GROUND FLOOR AMENITY PATIO		10.10m ²
FIFTH FLOOR AMENITY LOUNGE		44.44m ²
FIFTH FLOOR AMENITY EXTERIOR PATIO		28.80m ²
ROOF AMENITY LOUNGE		20.23m ²
ROOF AMENITY EXTERIOR PATIO		41.16m ²
PRIVATE AMENITY		52.50m ²

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PROJECT TITLE

1166 BANK STREET

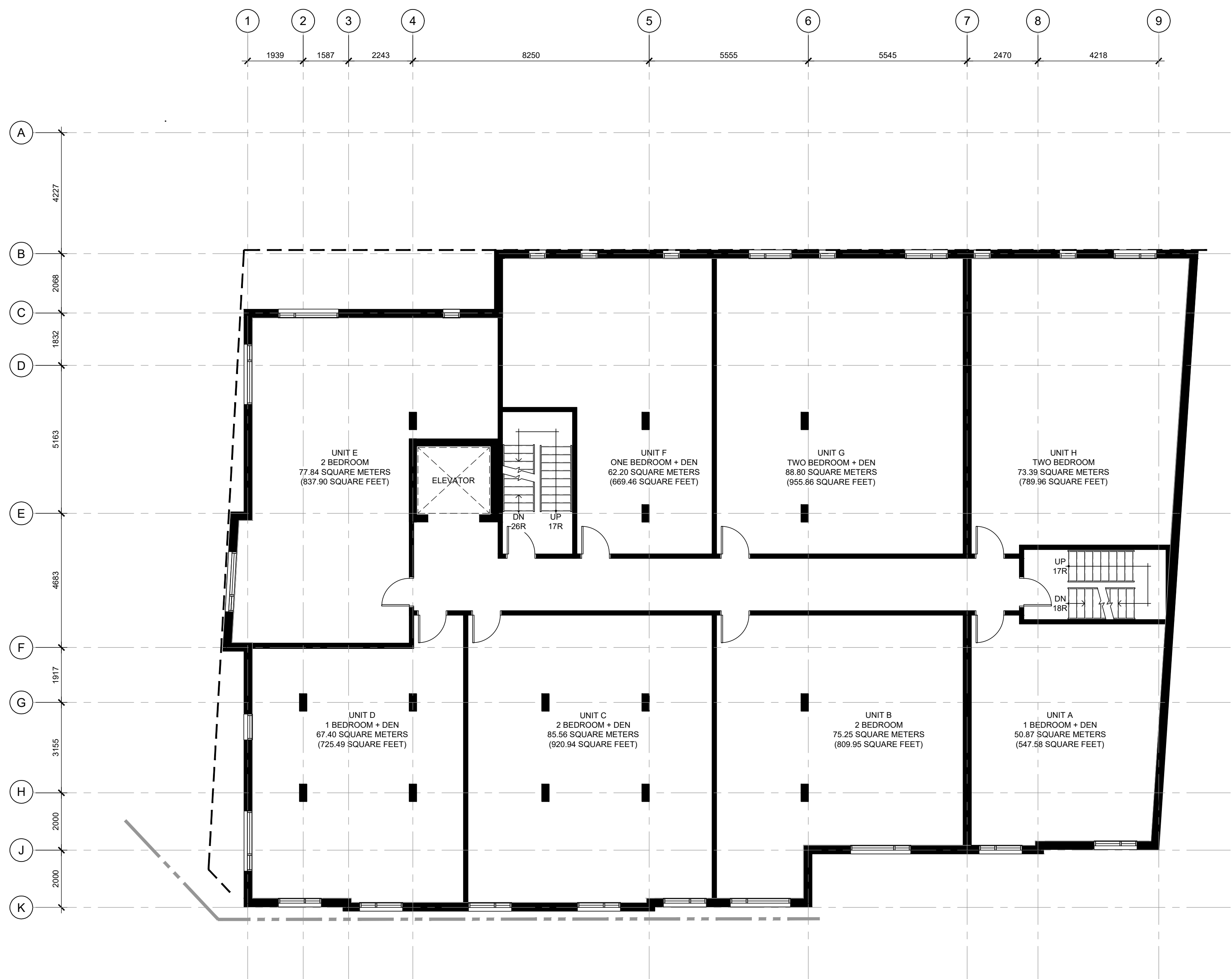
DRAWING TITLE

FLOOR PLAN: GROUND

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A201
SCALE	REVIEWED		
1:100	TD/DR		

ARCHITECTURAL

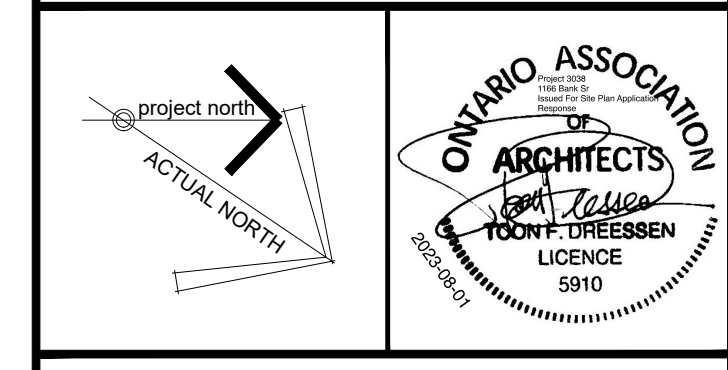
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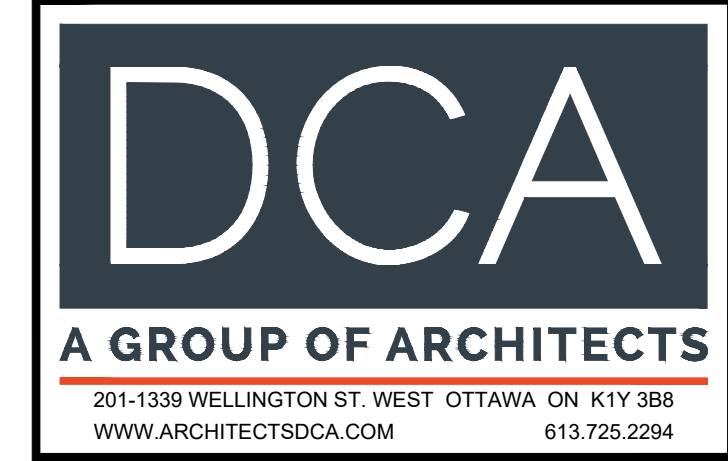


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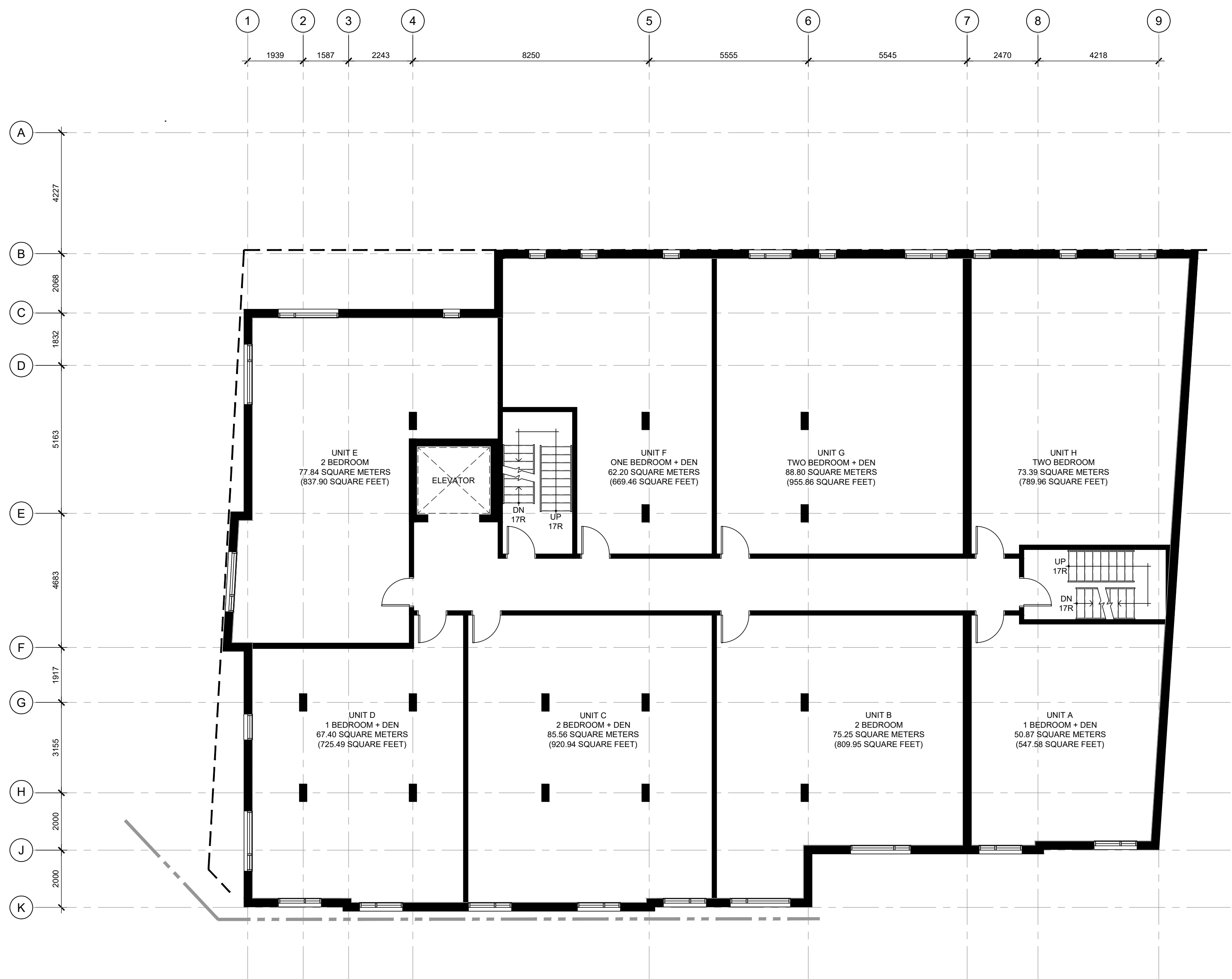
PROJECT TITLE
 1166 BANK STREET

DRAWING TITLE
 FLOOR PLAN:
 2ND FLOOR

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A202
SCALE	REVIEWED		
1:100	TD DR		

ARCHITECTURAL

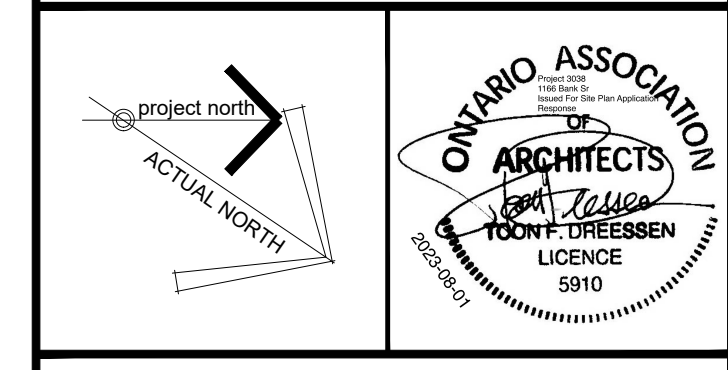
FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



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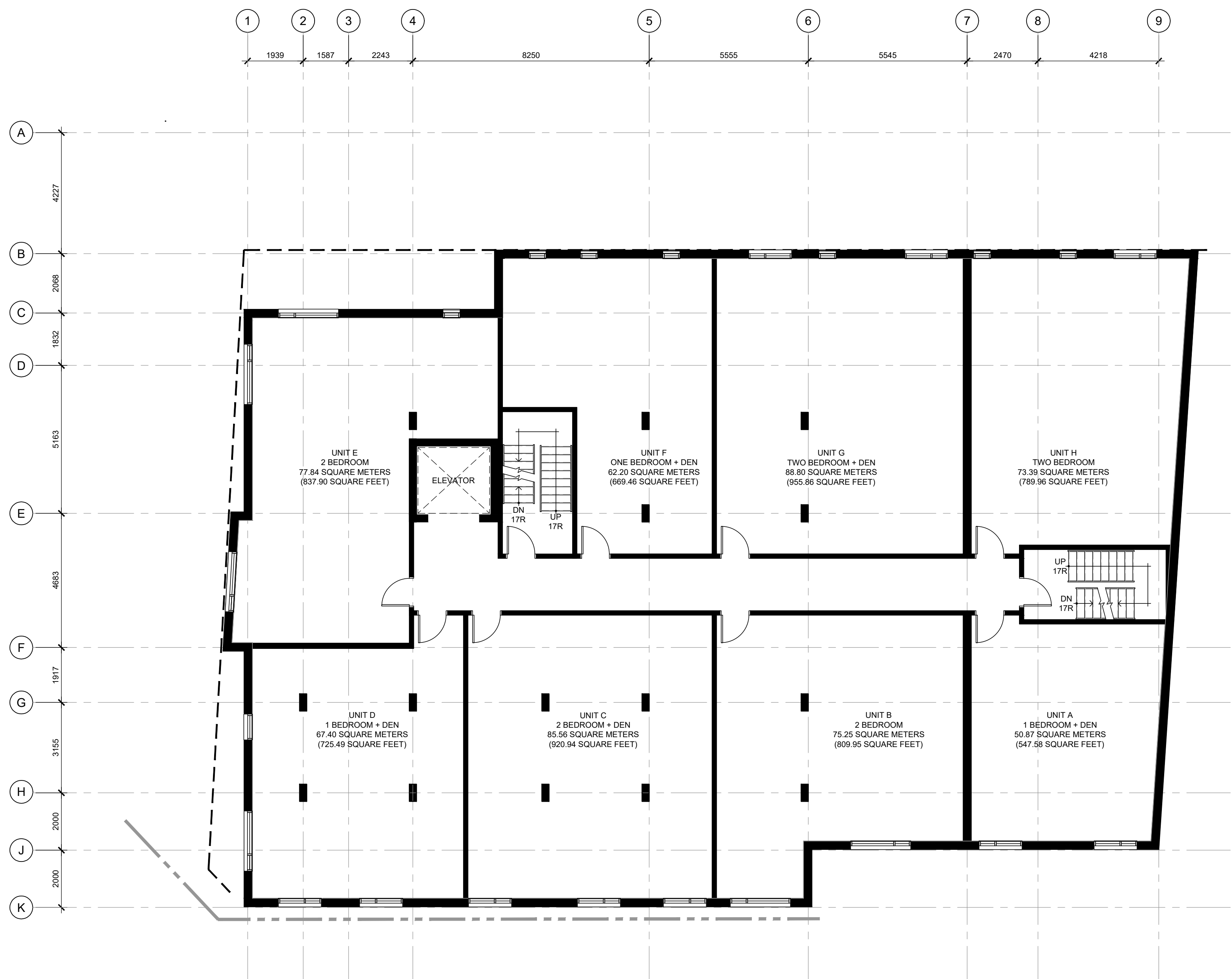
PROJECT TITLE
 1166 BANK STREET

DRAWING TITLE
 FLOOR PLAN:
 3RD FLOOR

DATE	DRAWN IC	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A203
SCALE	REVIEWED TD		
1:100	TD		

ARCHITECTURAL

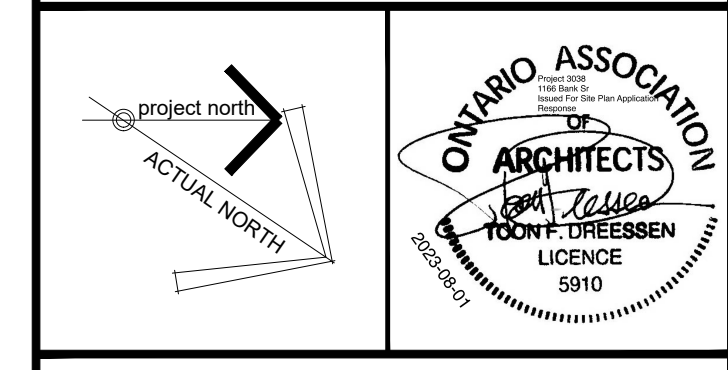
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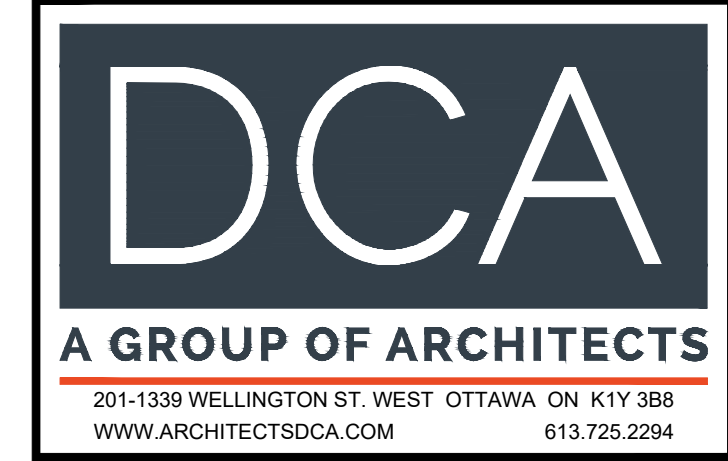


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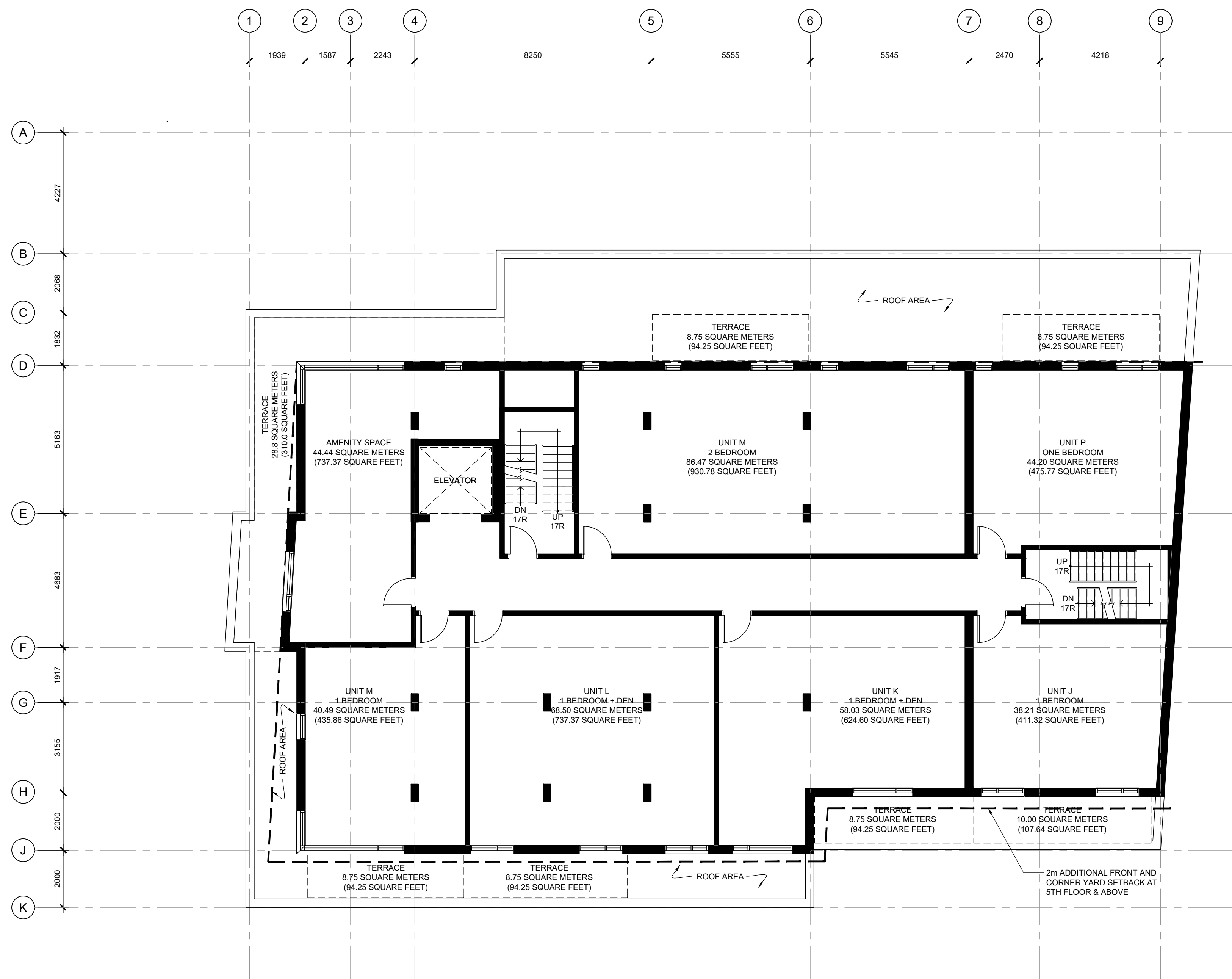
PROJECT TITLE
 1166 BANK STREET

DRAWING TITLE
 FLOOR PLAN:
 4TH FLOOR

DATE	DRAWN IC	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A204
SCALE	REVIEWED TD		
1:100	TD		

ARCHITECTURAL

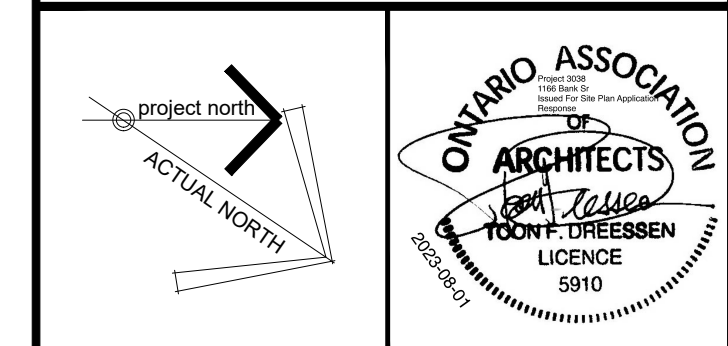
FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



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2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
3	ISSUED FOR COORDINATION	2023-01-20
4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

CONSULTANTS

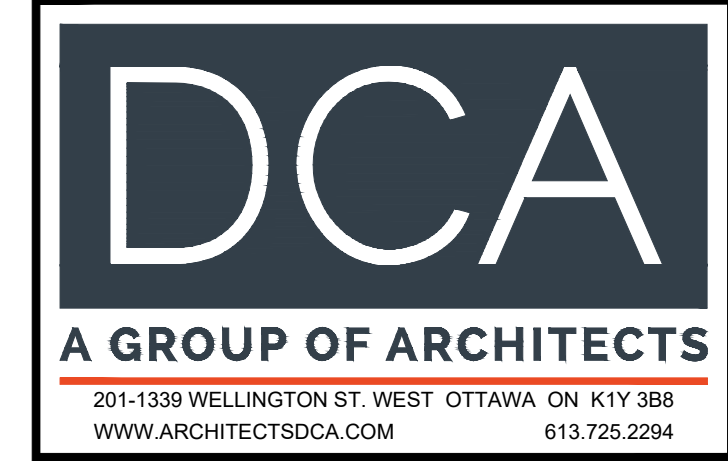
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185 SOMERSET ST. W., OTTAWA, ONTARIO
TEL: 613-233-1104



PROJECT TITLE

1166 BANK STREET

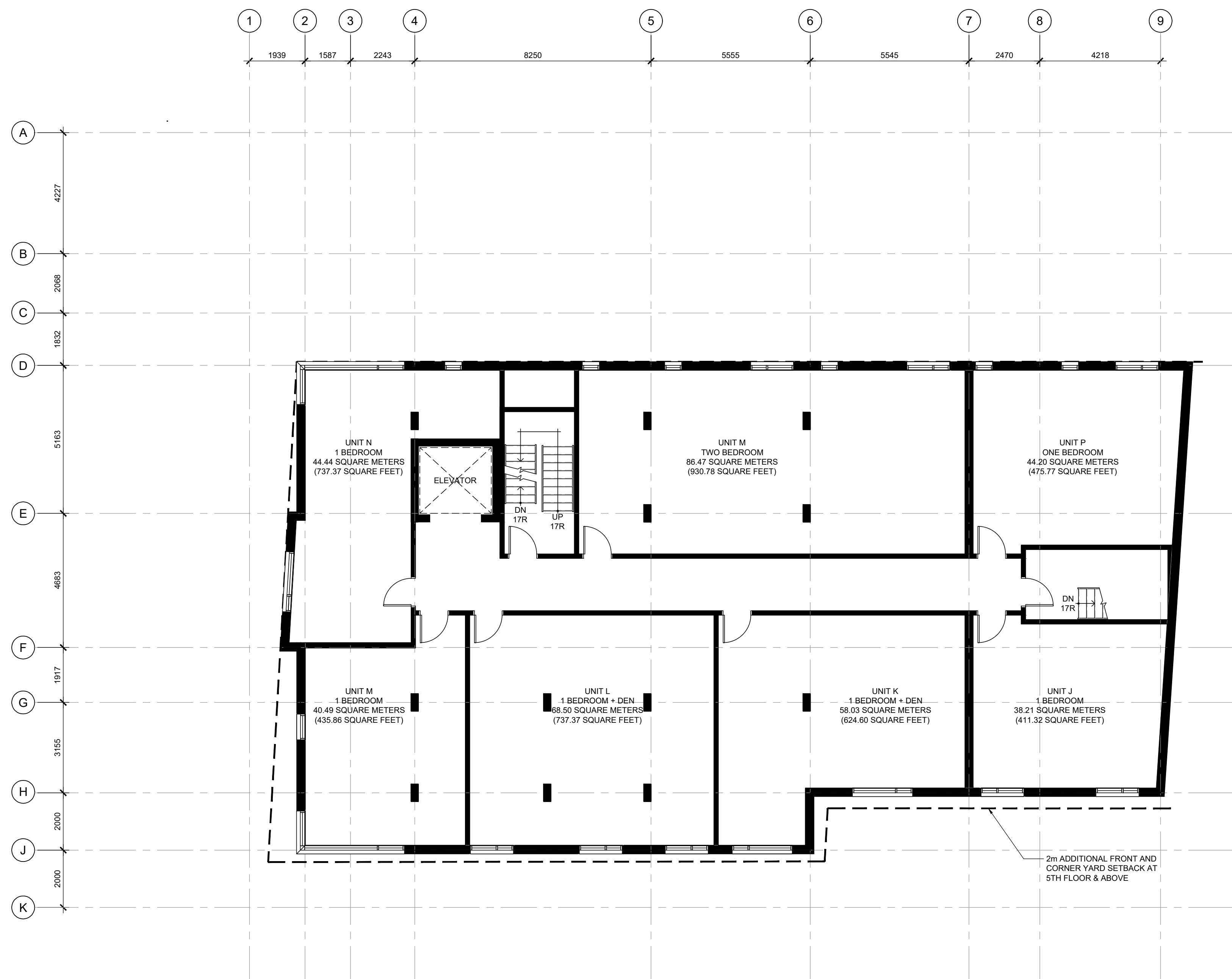
DRAWING TITLE

FLOOR PLAN: 5TH FLOOR

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A205
SCALE	REVIEWED		
	TD DR		

ARCHITECTURAL

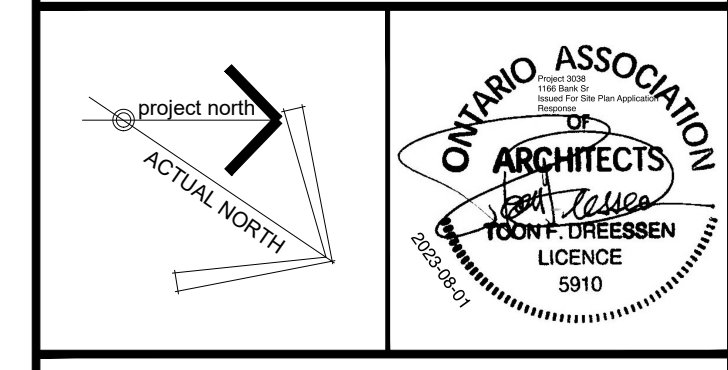
FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



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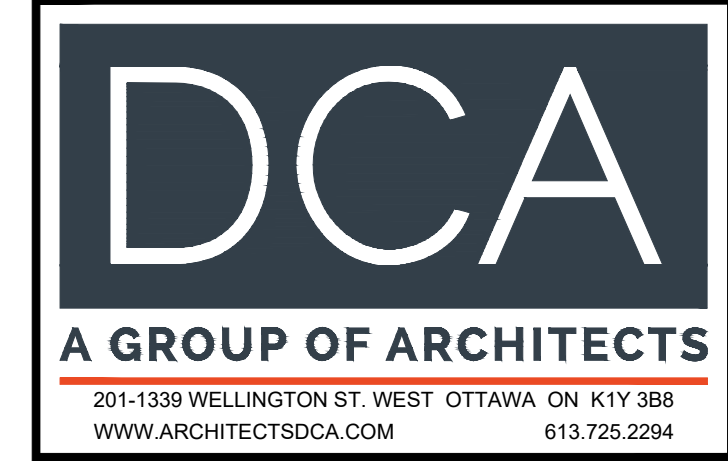


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5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

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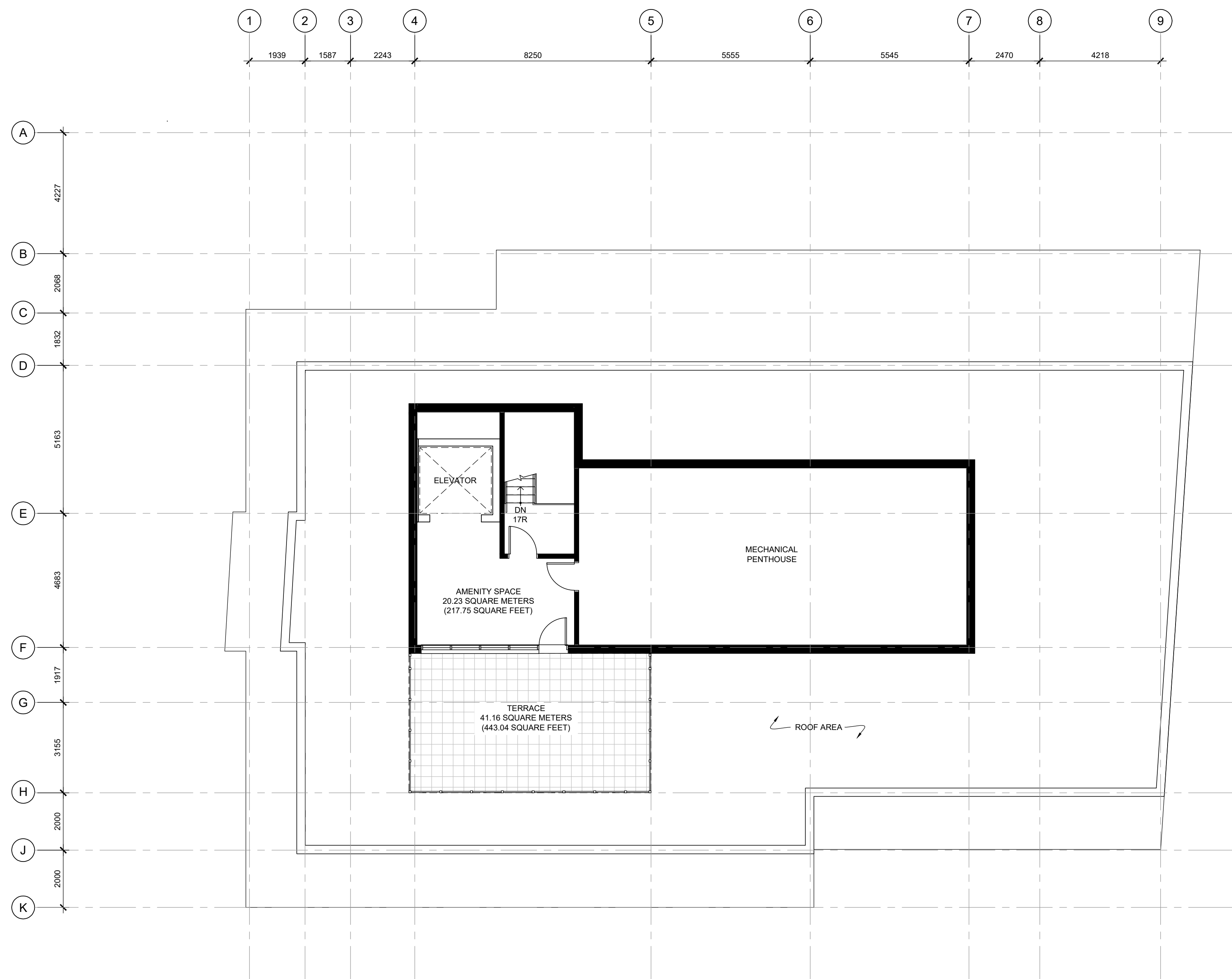


PROJECT TITLE
 1166 BANK STREET

DRAWING TITLE
 FLOOR PLAN: 6TH FLOOR

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A206
SCALE	REVIEWED		
1:100	TD DR		

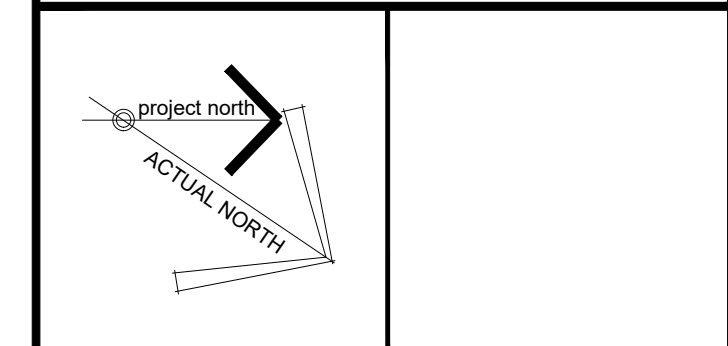
ARCHITECTURAL



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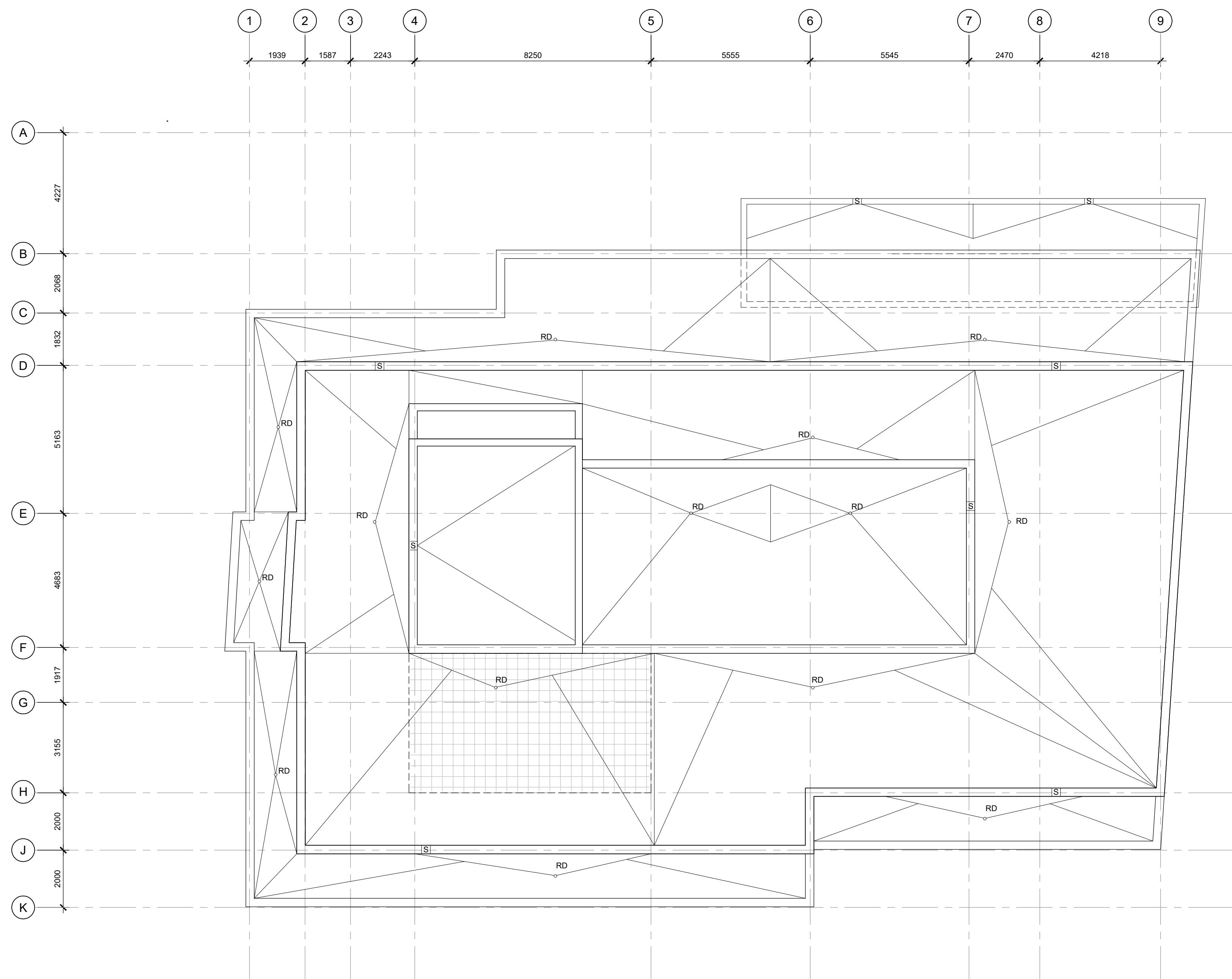
PROJECT TITLE
 1166 BANK STREET

DRAWING TITLE
 FLOOR PLAN: PENTHOUSE

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A207
SCALE	REVIEWED		
1:100	TD DR		

ARCHITECTURAL

FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



ROOF PLAN NOTES:

- MECHANICAL SHOWN FOR COORDINATION PURPOSES. REFER TO MECHANICAL DOCUMENTS.

ROOF PLAN LEGEND:

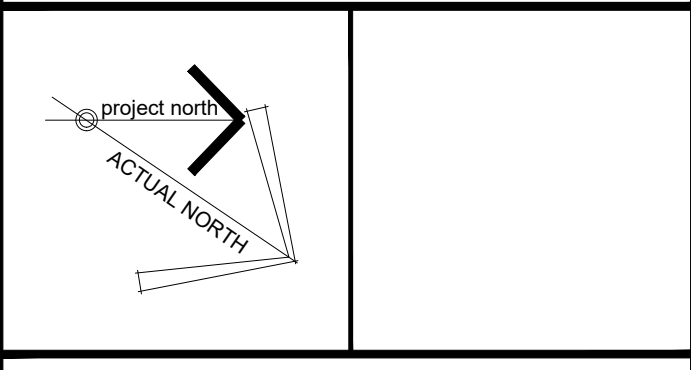
RD	LOCATION OF ROOF DRAIN
S	LOCATION OF SCUPPER
WD	LOCATION OF WALL DRAIN

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6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

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PROJECT TITLE

1166 BANK STREET

DRAWING TITLE

ROOF PLAN

DATE OCT. 2022	DRAWN IC	JOB NO. 3038	DRAWING NO. A208
SCALE 1:100	REVIEWED TD DR		

ARCHITECTURAL

FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



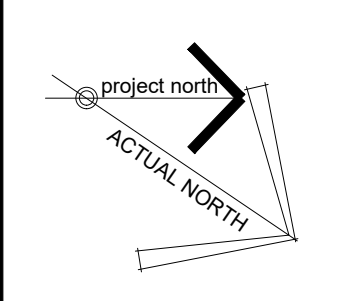
- ELEVATION NOTES:**
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 - POWER DOOR OPERATOR BUTTONS TO BE LOCATED 900-1100mm ABOVE GROUND / FLOOR AND 600-1500mm FROM DOOR SWING WHEN DOOR OPENS TOWARDS THE CONTROL.
- ELEVATION LEGEND:**
- PROPERTY LINE
 - SET BACK LINE
- | | |
|-----|--|
| FDC | LOCATION OF FIRE DEPARTMENT CONNECTION |
| PDO | LOCATION OF POWER DOOR OPERATOR |
| S | LOCATION OF THRU-WALL SCUPPER |
- ELEVATION FINISH LEGEND:**
- MASONRY VENEER: BRICK
 - MASONRY VENEER: STONE
 - CORRUGATED METAL SIDING: HORIZONTAL
 - CORRUGATED METAL SIDING: VERTICAL
 - VENTILATED CLADDING SYSTEM: FINISH 1
 - VENTILATED CLADDING SYSTEM: FINISH 2
 - ARCHITECTURAL METAL PANEL: FINISH 1

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PROJECT TITLE

1166 BANK STREET

DRAWING TITLE

EAST ELEVATION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A300
SCALE	REVIEWED		
1:100	TD DR		

ARCHITECTURAL



- PENTHOUSE ROOF
84.79
- 20m MAXIMUM HEIGHT
82.86
- ROOF
81.79
- 6TH FLOOR
78.79
- 15m SETBACK HEIGHT
77.86
- 5TH FLOOR
75.79
- 4TH FLOOR
72.79
- 3RD FLOOR
69.79
- 2ND FLOOR
66.79
- 1ST FLOOR (RETAIL HIGH)
63.53
- 1ST FLOOR (RETAIL MIDDLE)
63.08
- AVERAGE GRADE
62.86
- 1ST FLOOR (RETAIL LOW)
62.66
- 1ST FLOOR (LOBBY)
62.19
- BASEMENT/PARKING (HIGH)
58.81
- BASEMENT/PARKING (LOW)
58.56

- 9 4218
- 8 2470
- 7 5545
- 6 5555
- 5 8250
- 4 2243
- 3 1587
- 2 1939
- 1

- 6.00m 8% SLOPED CURVED RAMP
- 5.50m 10% SLOPED RAMP
- 6.00m 10% SLOPED RAMP
- 8.00m 12% SLOPED RAMP
- 6.00m 6% SLOPED RAMP

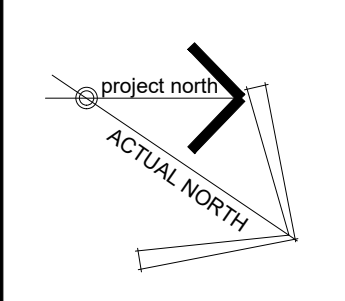
OUTLINE OF BUILDING FACE ON PROPERTY ABUTTING LANEWAY

PRIVACY FENCE, 1400mm ABOVE GRADE

62.04 T/O RAMP

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- PROPERTY LINE
 - - - SET BACK LINE
- FDC LOCATION OF FIRE DEPARTMENT CONNECTION
- PDO LOCATION OF POWER DOOR OPERATOR
- S LOCATION OF THRU-WALL SCUPPER
- ELEVATION FINISH LEGEND:**
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 - MASONRY VENEER: STONE
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 - CORRUGATED METAL SIDING: VERTICAL
 - VENTILATED CLADDING SYSTEM: FINISH 1
 - VENTILATED CLADDING SYSTEM: FINISH 2
 - ARCHITECTURAL METAL PANEL: FINISH 1

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A GROUP OF ARCHITECTS

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PROJECT TITLE

1166 BANK STREET

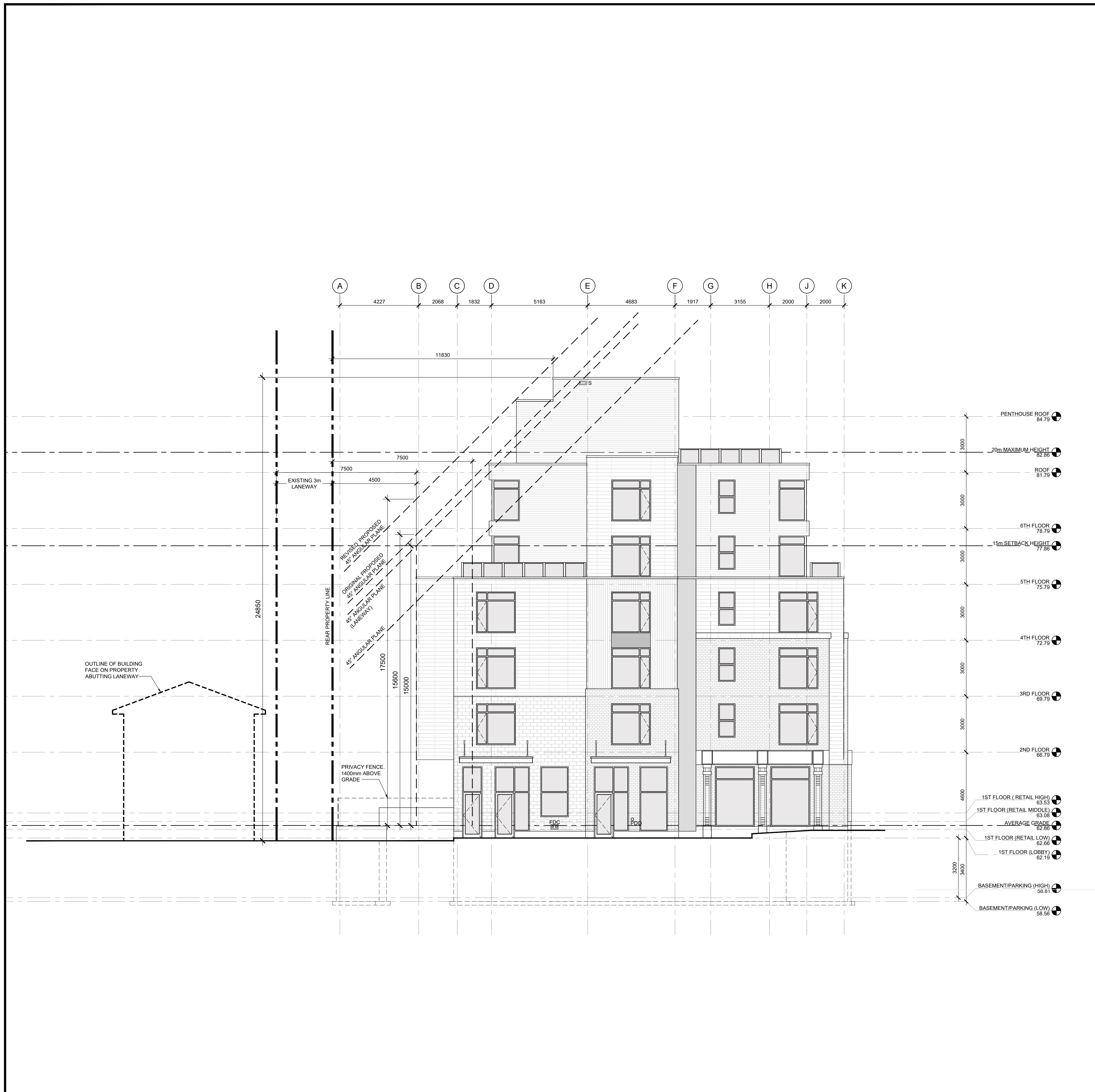
DRAWING TITLE

WEST ELEVATION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A301
SCALE	REVIEWED		
1:100	TD DR		

ARCHITECTURAL

FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



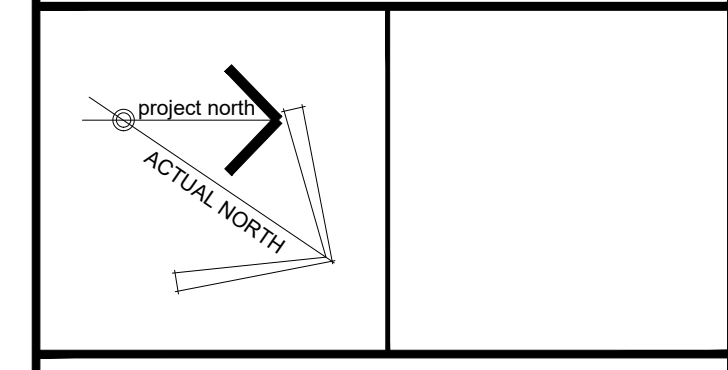
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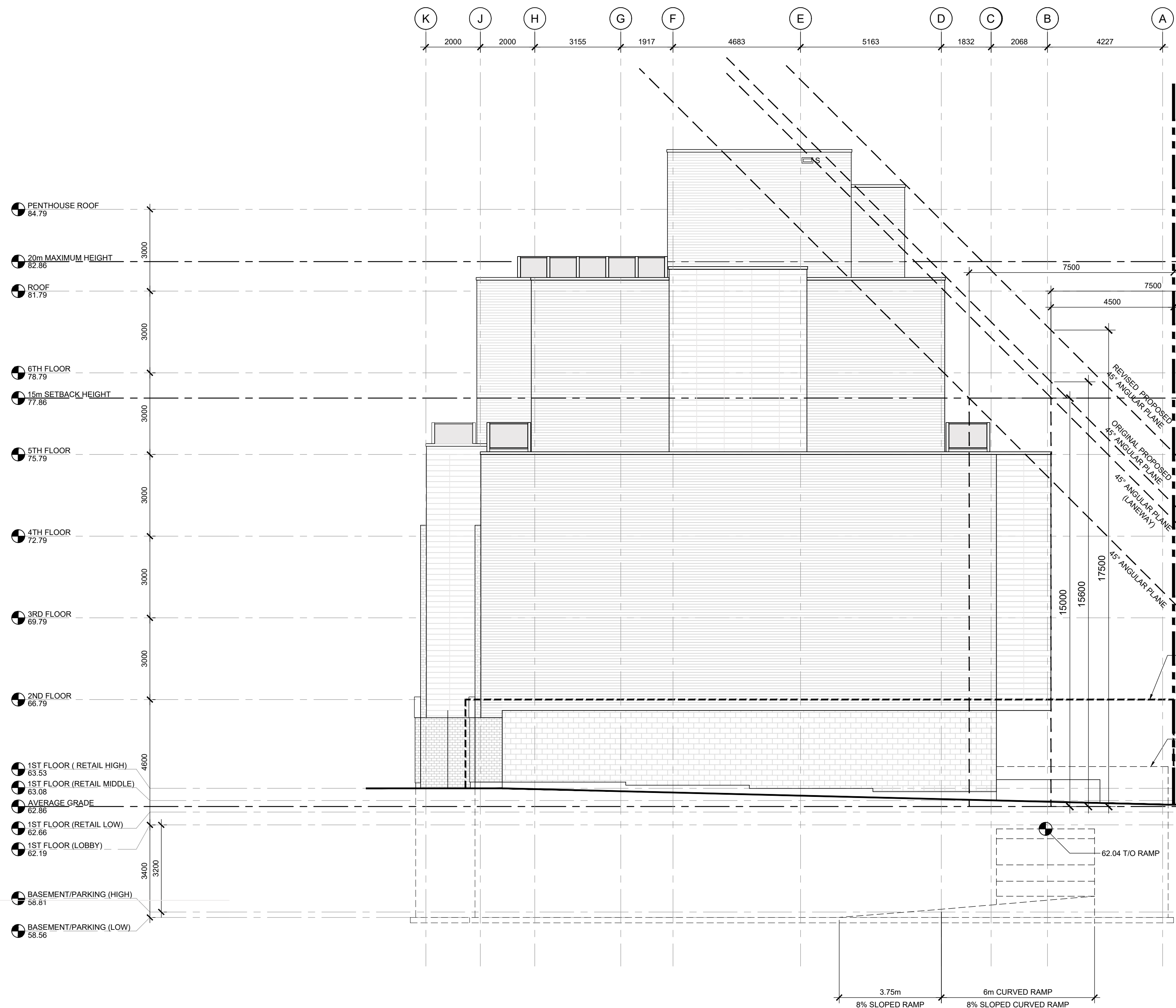
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PROJECT TITLE			
1166 BANK STREET			
DRAWING TITLE			
SOUTH ELEVATION			
DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A302
SCALE	REVIEWED		
1:100	TD DR		
ARCHITECTURAL			

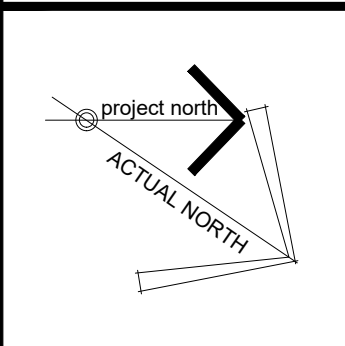


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- MASONRY VENEER: BRICK
 - MASONRY VENEER: STONE
 - CORRUGATED METAL SIDING: HORIZONTAL
 - CORRUGATED METAL SIDING: VERTICAL
 - VENTILATED CLADDING SYSTEM: FINISH 1
 - VENTILATED CLADDING SYSTEM: FINISH 2
 - ARCHITECTURAL METAL PANEL: FINISH 1

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS, FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
 - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE. REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
 - GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE. GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
 - ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
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ISSUE RECORD:

NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN COORDINATION	2022-11-03
2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
3	ISSUED FOR COORDINATION	2023-01-20
4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

CONSULTANTS

EXP
CIVIL ENGINEERS
TEL: 613-688-1899

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS
TEL: 613-722-5168

NOVATECH
PLANNERS
TEL: 613-254-9643

CLIENT

AMBASSADOR REALTY INC.
185 SOMERSET ST. W., OTTAWA, ONTARIO
TEL: 613-233-1104

201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
WWW.ARCHITECTSDCA.COM 613.725.2294

PROJECT TITLE

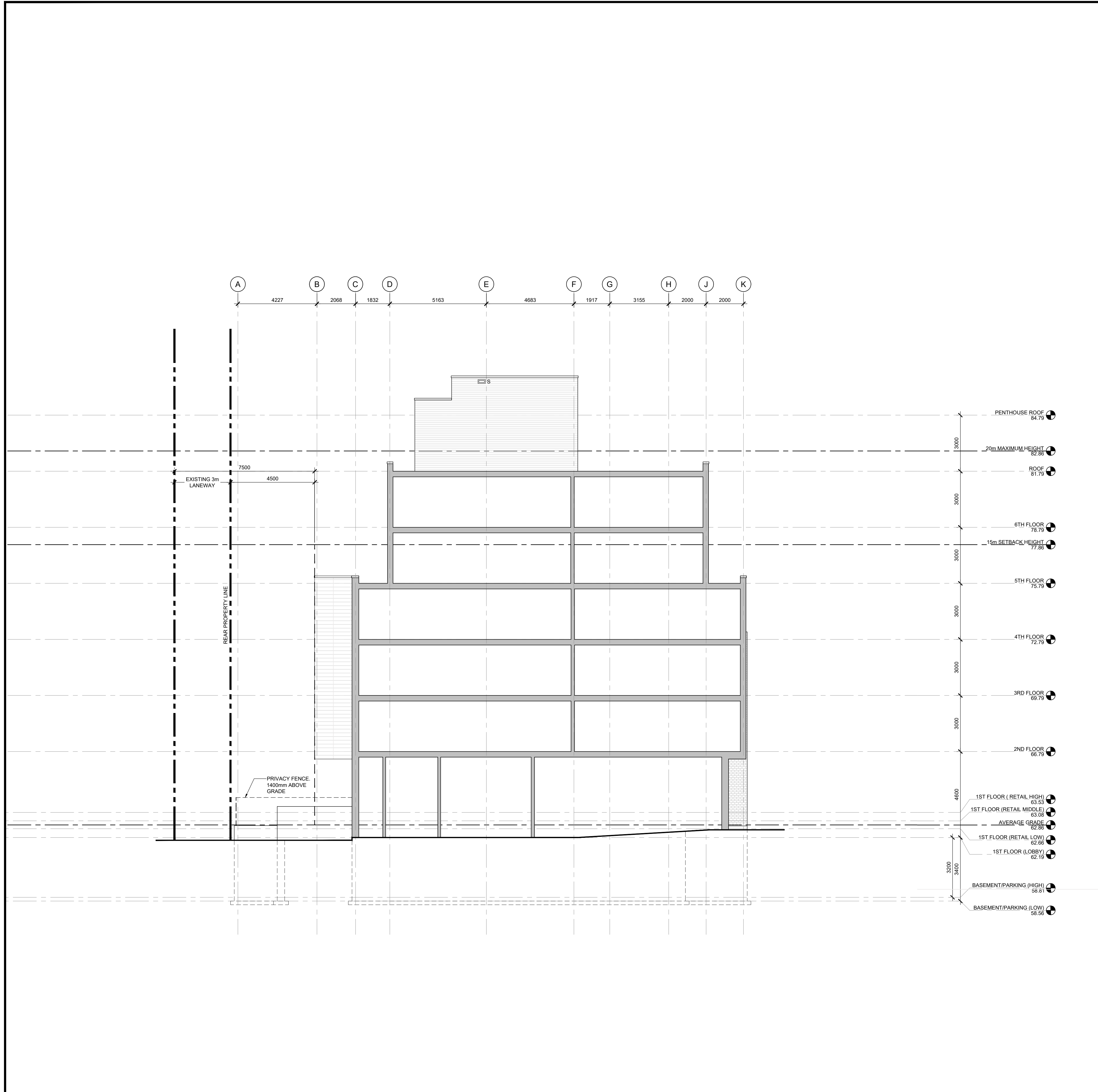
1166 BANK STREET

DRAWING TITLE

NORTH ELEVATION

DATE OCT. 2022	DRAWN IC	JOB NO. 3038	DRAWING NO. A303
SCALE 1:100	REVIEWED TD DR		

ARCHITECTURAL



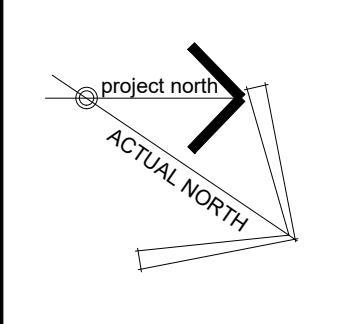
- ELEVATION NOTES:**
- MECHANICAL SHOWN FOR COORDINATION PURPOSES. REFER TO MECHANICAL DOCUMENTS.
 - POWER DOOR OPERATOR BUTTONS TO BE LOCATED 900-1100mm ABOVE GROUND / FLOOR AND 600-1500mm FROM DOOR SWING WHEN DOOR OPENS TOWARDS THE CONTROL.
- ELEVATION LEGEND:**
- PROPERTY LINE
 - SET BACK LINE
- FDC LOCATION OF FIRE DEPARTMENT CONNECTION
 PDO LOCATION OF POWER DOOR OPERATOR
 S LOCATION OF THRU-WALL SCUPPER
- ELEVATION FINISH LEGEND:**
- MASONRY VENEER: BRICK
 - MASONRY VENEER: STONE
 - CORRUGATED METAL SIDING: HORIZONTAL
 - CORRUGATED METAL SIDING: VERTICAL
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GENERAL NOTES

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DCA
 A GROUP OF ARCHITECTS
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PROJECT TITLE

1166 BANK STREET

DRAWING TITLE

SECTION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A350
SCALE	REVIEWED		
1:100	TD DR		

ARCHITECTURAL