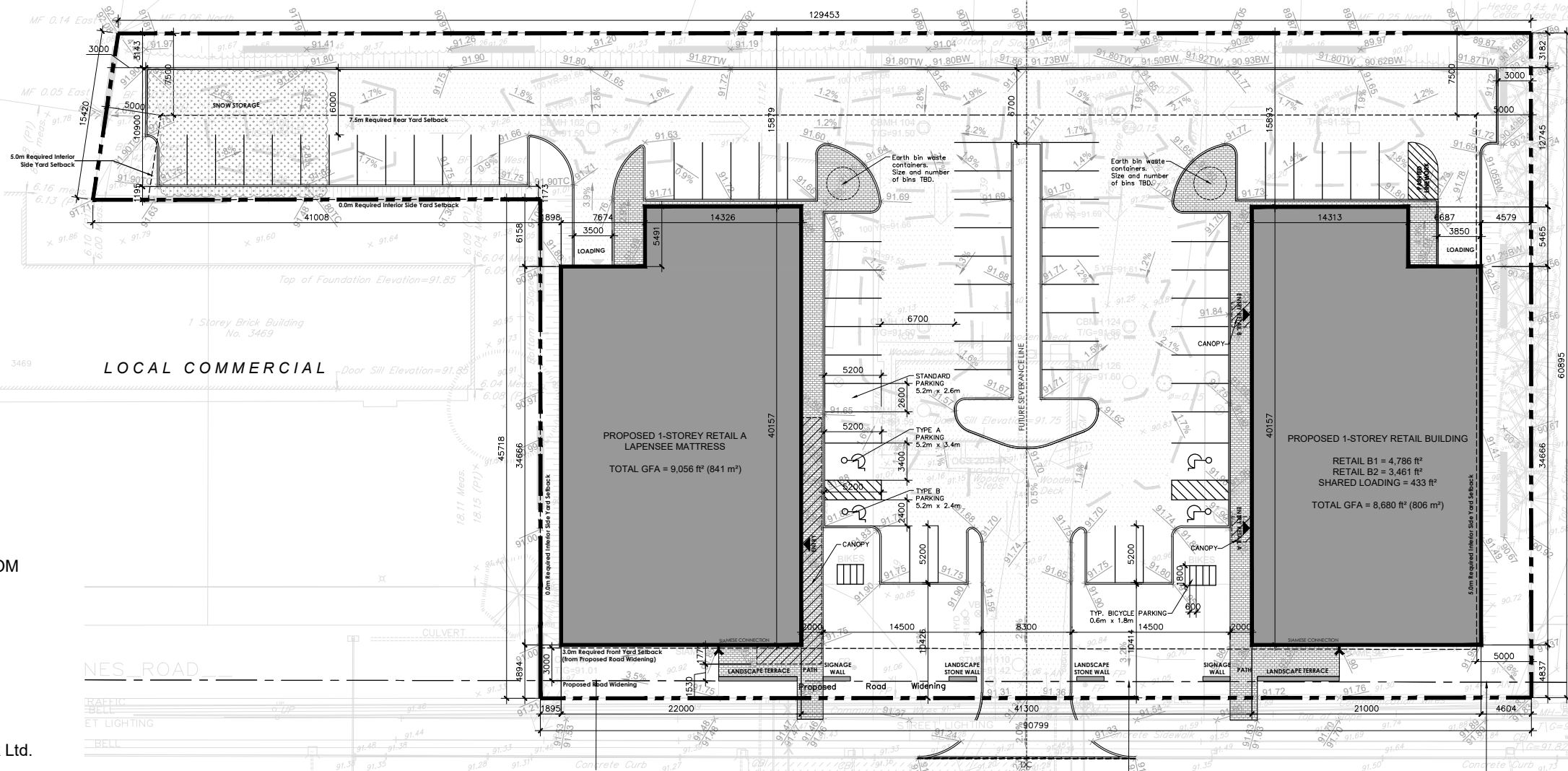


RESIDENTIAL

RESIDENTIAL



3493, 3497, 3499  
INNES ROAD

CONCEPT PLAN

RETAIL A

LAPENSEE MATTRESS:  
GFA = 9,056 ft² (841m²)

RETAIL B

RETAIL B1:  
GFA = 4,786 ft²  
RETAIL B2:  
GFA = 3,461 ft²  
SHARED LOADING = 433 ft²

TOTAL  
GFA = 8,680 ft² (806 m²)

RESIDENTIAL

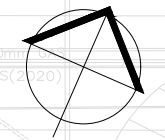
Note:  
PROPERTY BOUNDARY DERIVED FROM  
OFFICIAL SURVEY AND PLAN OF  
ANNIS, O'SULLIVAN VOLLEBEKK LTD

PART 1 Plan of  
**PART OF LOT 5**  
**CONCESSION 2 (OTTAWA FRONT)**  
GEOGRAPHIC TOWNSHIP OF GLOUCESTER  
CITY OF OTTAWA  
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Job No. 18187-18 Frami Pt Lt 5 Con 2 (OF) Glouc Sprp Topo D2

Comprehensive Zoning By-law 2008-250		
LC Zone Provisions (Section 189)	Required	Provided
Minimum Lot Width (m)	No Minimum	90.8
Minimum Lot Area (m²)	No Minimum	6136
Maximum Building Height (m)	12.5	6.5
Minimum Front Yard Setback (m)	3	4.8
Minimum Interior Side Yard Setback - Abutting Residential Zone (m) [East Lot Line]	5	4.5
Minimum Interior Side Yard Setback - Other Cases (m) [West Lot Line]	No Minimum	1.8
Minimum Rear Yard Setback (m)	7.5	15.8
Minimum Width of Landscaped Area - Abutting Street (m)	3	4.8
Minimum Width of Landscaped Area - Abutting Residential (m)	3	3
Parking Provisions (Sections 101, 110, 111 & 113)	Required	Provided
Minimum Bicycle Parking Rate - Retail Store [1 per 250m² of GFA]	7	8
Minimum Vehicle Parking Rate - Retail Store [3.4 per 100m² of GFA]	56	69
Minimum Loading Space Rate - Retail Store [350-999m² GFA]	0	2
Minimum Width of Landscaped Area Around Parking Lot - Abutting a Street (m)	3	10.5
Minimum Width of Landscaped Area Around Parking Lot - Not Abutting a Street (m)	1.5	1.1

INNES ROAD



DWG

D07-12-22-0189



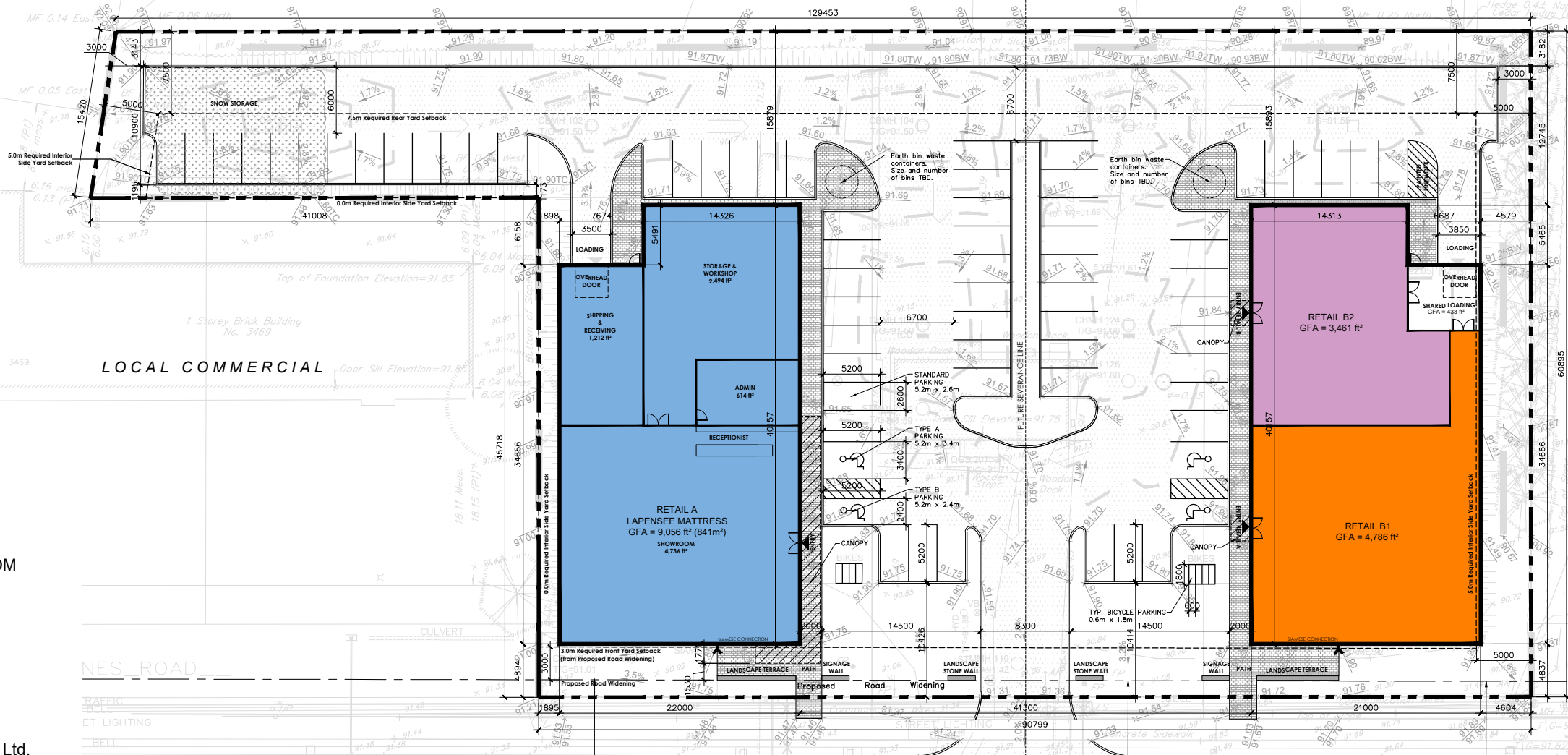
# Lapensée Mattress

## SITE PLAN

SCALE 1:500  
JULY 12, 2023

RESIDENTIAL

RESIDENTIAL



3493, 3497, 3499  
INNES ROAD

CONCEPT PLAN

RETAIL A

LAPENSEE MATTRESS:  
GFA = 9,056 ft² (841m²)

RETAIL B

RETAIL B1:  
GFA = 4,786 ft²  
RETAIL B2:  
GFA = 3,461 ft²  
SHARED LOADING = 433 ft²

TOTAL  
GFA = 8,680 ft² (806 m²)

RESIDENTIAL

Note:  
PROPERTY BOUNDARY DERIVED FROM  
OFFICIAL SURVEY AND PLAN OF  
ANNIS, O'SULLIVAN VOLLEBEKK LTD

PART 1 Plan of  
PART OF LOT 5  
CONCESSION 2 (OTTAWA FRONT)  
GEOGRAPHIC TOWNSHIP OF GLOUCESTER  
CITY OF OTTAWA  
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Job No. 18187-18 Frami Pt Lt 5 Con 2 (OF) Glouc Sprp Topo D2

Comprehensive Zoning By-law 2008-250		
LC Zone Provisions (Section 189)	Required	Provided
Minimum Lot Width (m)	No Minimum	90.8
Minimum Lot Area (m²)	No Minimum	6136
Maximum Building Height (m)	12.5	6.5
Minimum Front Yard Setback (m)	3	4.8
Minimum Interior Side Yard Setback - Abutting Residential Zone (m) [East Lot Line]	5	4.5
Minimum Interior Side Yard Setback - Other Cases (m) [West Lot Line]	No Minimum	1.8
Minimum Rear Yard Setback (m)	7.5	15.8
Minimum Width of Landscaped Area - Abutting Street (m)	3	4.8
Minimum Width of Landscaped Area - Abutting Residential (m)	3	3
Parking Provisions (Sections 101, 110, 111 & 113)	Required	Provided
Minimum Bicycle Parking Rate - Retail Store [1 per 250m² of GFA]	7	8
Minimum Vehicle Parking Rate - Retail Store [3.4 per 100m² of GFA]	56	69
Minimum Loading Space Rate - Retail Store [350-999m² GFA]	0	2
Minimum Width of Landscaped Area Around Parking Lot - Abutting a Street (m)	3	10.5
Minimum Width of Landscaped Area Around Parking Lot - Not Abutting a Street (m)	1.5	1.1

INNES ROAD

DWG

D07-12-22-0189



# Lapensée Mattress

## GROUND FLOOR

SCALE 1:500  
JULY 12, 2023