
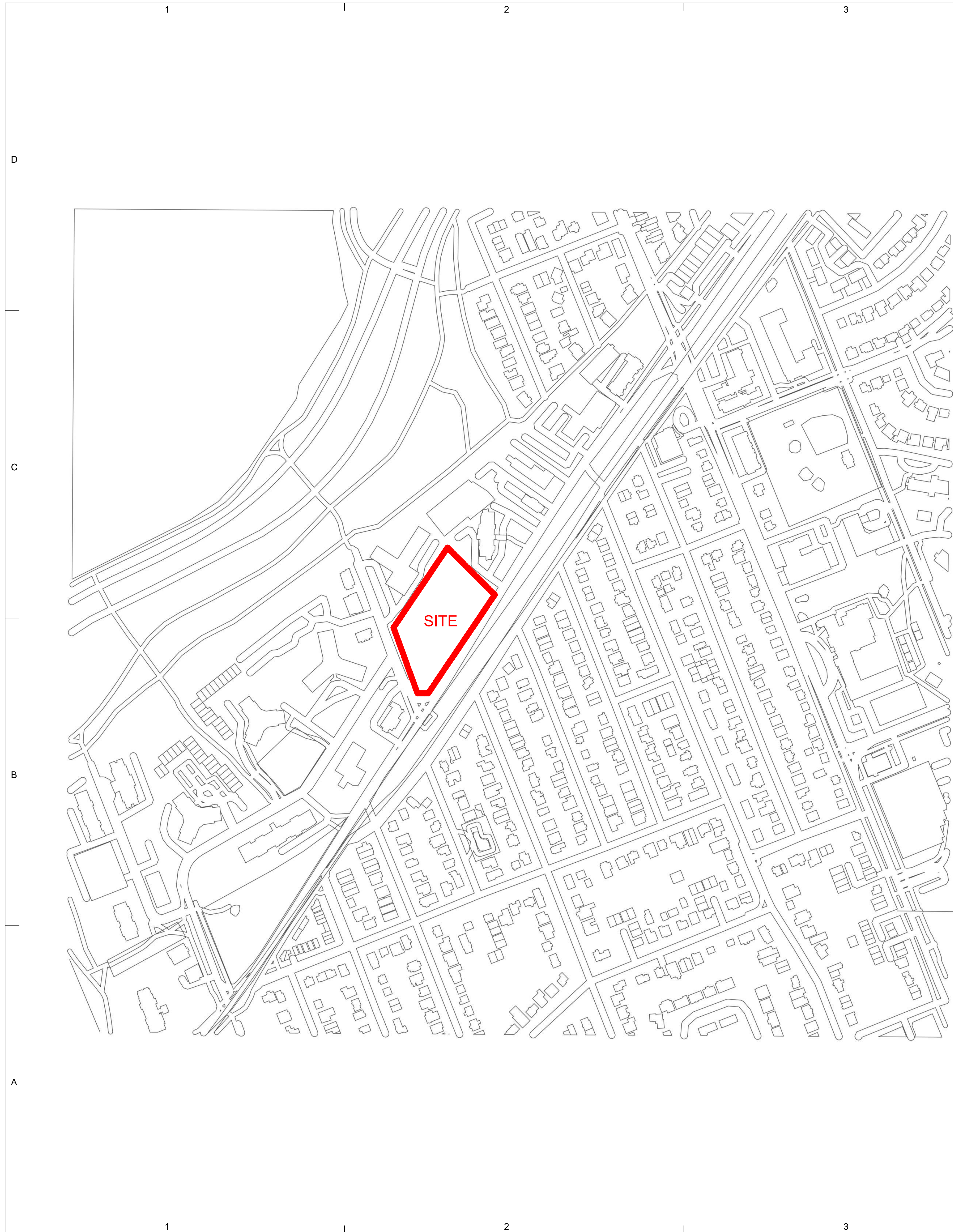


1047 RICHMOND RD. OTTAWA



Sheet List	
Sheet Number	Sheet Name
A000	COVER
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A101	SURVEY
A102	SITE PLAN
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A207	TYP. FLOOR PLAN
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A302	SOUTH ELEVATION
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A501	PERSPECTIVES
A502	PERSPECTIVES

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NO	ISSUANCE
1	ISSUED FOR ZBA / OPA
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STATU S	DATE
	2022-02-01
	2023-07-14
SEAL	
SUB CONSULTANT	
PRIME CONSULTANT	
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PROJECT	
1047 RICHMOND ROAD Project Address	
PROJECT NO: Project Number	
DRAWN BY: Author	
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SCALE:	
DATE: 07/12/21	
SHEET TITLE	
COVER	
SHEET NUMBER	ISSUE
A000	



1047 RICHMOND RD - Ottawa July 14, 2023

PROJECT STATISTICS		
SUMMARY	sq.m	sq.ft.
Site Area	42,188	105,913
Net Site Area (excludes Road Widening)	10,113	108,814
Total GCA (Above grade)	85,454	919,482
Total GFA	68,253	736,402
Total NSA (Residential + Retail)	68,945	741,945
Total Retail Saleable (Ground)	883	9,502
Peak Area (20% of Site area)	1,013	10,800
Total Number of Units in Podium	335	
Total Number of Units in towers	857	
Total Number of Units	1,192	

FSI	
FSI	6.70

PROJECT STATISTICS		
Tower A (40 Storeys)		
SUMMARY	sq.m	sq.ft.
Total Tower GCA	37,804	407,811
Total GFA	30,096	323,830
Total Tower NSA (Residential + Retail)	30,527	326,277
Total Number of Units in Podium	107	
Total Number of Units in Tower	405	

PROJECT STATISTICS		
Tower B (38 Storeys)		
SUMMARY	sq.m	sq.ft.
Total Tower GCA	40,814	439,154
Total GFA	32,470	349,380
Total Tower NSA (Residential + Retail)	32,950	354,541
Total Number of Units in Podium	118	
Total Number of Units in Tower	412	
Total Units	530	

PROJECT STATISTICS		
Building C (7 Storeys)		
SUMMARY	sq.m	sq.ft.
Total Tower GCA	6,376	68,697
Total GFA	5,687	61,192
Total Tower NSA (Residential + Retail)	5,662	60,917
Total Number of Units in Podium	90	
Total Units	90	

AMENITY AREAS PROVIDED	Tower A (m2)	Required (sqm/unit)	Tower B (m2)	Required (sqm/unit)	Building C (m2)	Required (sqm/unit)	Total (m2)	Required
INDOOR (common)	785	1536	765	1650	0	270	1,550	3456
OUTDOOR (common)	1,812	0	901	0	270	270	2,883	3456
BALCONIES & TERRACES (private)	3,136	1536	3,282	1650	0	270	6,688	3456
TOTAL PROVIDED (per unit/balconies can count towards the total)	5,733	3,072	4,948	3,300	270	540	16,551	6,912

UNDERGROUND PARKING GCA		
TYPE	sq.m	sq.ft.
P1	3736	39,939
P2	8736	93,999
TOTAL	12,472	133,938

VEHICULAR PARKING PROVIDED		
TYPE	Required	Proposed
VEHICLE (per building)	68	68
RESIDENTIAL (Area 2, Not Required)	0	621
TOTAL	68	689

BICYCLE PARKING PROVIDED		
TYPE	Required	Proposed
RESIDENTIAL (0.5 per unit)	576	726
TOTAL	576	726

UNIT MIX						
UNIT TYPE	TOWER A		TOWER B		BUILDING C	
	UNITS	BARRIER-FREE	UNITS	BARRIER-FREE	UNITS	BARRIER-FREE
STUDIO	21	0	38	0	18	0
1B	241	43	244	37	41	6
2B	225	34	263	40	31	5
3B	13	2	13	1	0	0
TOTAL	512	84	550	83	90	14
TOTAL NUMBER OF UNITS	1,152					

LOADING SPACES			
TYPE	Count	Location	Notes
RESIDENTIAL	3	Building A, B, C	
COMMERCIAL	3		
TOTAL	6		

GARRAGE BIN			
TYPE	TOWER A	TOWER B	BUILDING C
GARRAGE (3CY)	28	30	5
RECYCLING (3CY)	5	6	1
GLASS, METAL AND PLASTIC (3CY)	4	4	1
ORGANIC (240L CARTS)	11	12	2
TOTAL	48	52	9

TOWER FLOOR PLATE SIZES		
TYPE	TOWER A	TOWER B
FLOOR PLATE GCA	779	839
INSET BALCONIES AREAS	24	24
PRODUCTIVE BALCONIES AREAS	83.27	82
TOTAL BALCONIES	107.15	106
TOTAL GCA + Inset balconies	803	863
TOTAL GCA + balconies	886	945

BUILDING HEIGHT (m)	
Building	Proposed
Tower A - Building Height (excluding MPP)	127.00
Tower B - Building Height (excluding MPP)	121.00
Blg. C - Building Height (excluding MPP)	24.00

*Note: Building height measured from Average Grade = + 64.00 ASL

Notes:
 GCA is Gross Constructible Area (includes everything inside building envelope).
 NSA is Net Saleable Area (includes the residential units measured to the exterior of the outside wall).
 GFA is calculated based on the City of Ottawa Definition copied below.
 *GFA is calculated based on the City of Ottawa Definition copied below.
 Gross floor area (GFA) means the total area of each floor whether located above, at or below grade, measured from the interior of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:
 (a) floor area occupied by shared mechanical, service and electrical equipment that serve the building; (By-law 2008-236)
 (b) common hallways, corridors, stairwells, elevator shafts and other voids, steps and landings; Part 2 - Administration, Interpretation and Definitions 1 - 24
 City of Ottawa Zoning By-law 2008-250 Consolidation
 (By-law 2008-236) (By-law 2017-302)
 (c) bicycle parking, motor vehicle parking or loading facilities;
 (d) common laundry, storage and washroom facilities that serve the building or tenants;
 (e) common storage areas that are necessary to the principal use of the building; (By-law 2008-236)
 (f) common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-236)
 (g) living quarters for a caretaker of the building; (surface de plancher hors source brute)

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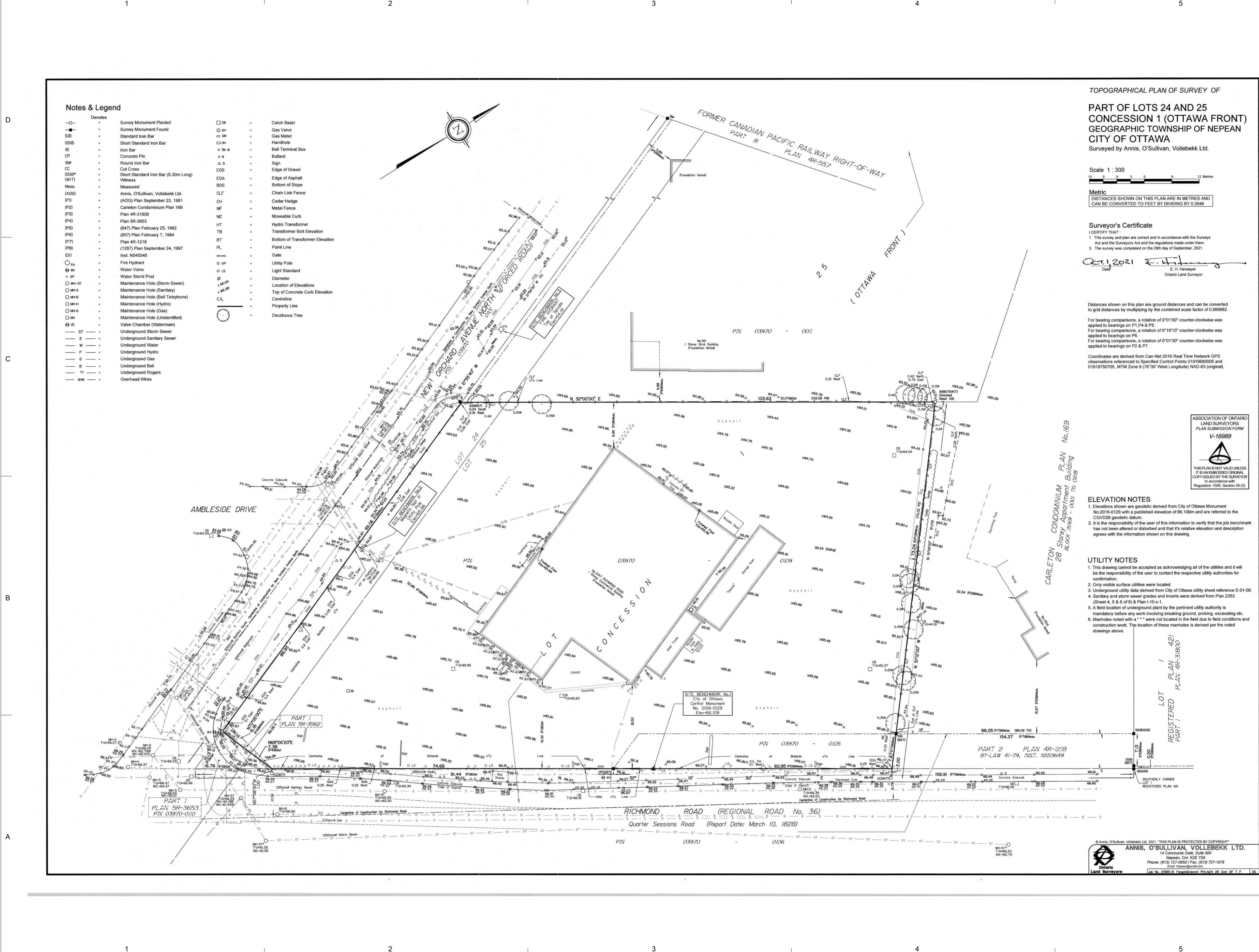
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PROJECT
1047 RICHMOND ROAD
 Project Address

PROJECT NO: Project Number
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SCALE: 1:2500
DATE: 07/12/21

SHEET TITLE
CONTEXT AND SITE STATISTICS

SHEET NUMBER **A100** **ISSUE**



Notes & Legend

—○—	Denotes	Survey Monument Planted	□	Catch Basin
—■—		Survey Monument Found	○	Gas Valve
—SIB		Standard Iron Bar	○	Gas Meter
—SSIB		Short Standard Iron Bar	□	Handhole
—IB		Iron Bar	○	Bell Terminal Box
—CP		Concrete Pin	○	Boleard
—IB#		Round Iron Bar	△	Sign
—CC		Cut Cross	EOG	Edge of Gravel
—SIB#		Short Standard Iron Bar (0.30m Long)	EOA	Edge of Asphalt
—(WIT)		Witness	BOS	Bottom of Slope
—Mes.		Measured	CLF	Chain Link Fence
—(AOG)		Annis, O'Sullivan, Vollebek Ltd.	CH	Cedar Hedge
—(P1)		(AOG) Plan September 23, 1981	MF	Metal Fence
—(P2)		Carleton Condominium Plan 169	MC	Moveable Curb
—(P3)		Plan 4R-31800	HT	Hydro Transformer
—(P4)		Plan SR-3653	TB	Transformer Bolt Elevation
—(P5)		(647) Plan February 25, 1982	BT	Bottom of Transformer Elevation
—(P6)		(857) Plan February 7, 1984	PL	Paint Line
—(P7)		Plan 4R-1218	—	Gate
—(P8)		(1287) Plan September 24, 1997	—	Utility Pole
—(DI)		Inst. N545545	—	Light Standard
—○		Fire Hydrant	—	Diameter
—○		Water Valve	—	Location of Elevations
—○		Water Stand Post	—	Top of Concrete Curb Elevation
—○		Maintenance Hole (Storm Sewer)	—	Centreline
—○		Maintenance Hole (Sanitary)	—	Property Line
—○		Maintenance Hole (Bell Telephone)	—	Deciduous Tree
—○		Maintenance Hole (Hydro)		
—○		Maintenance Hole (Gas)		
—○		Maintenance Hole (Unidentified)		
—○		Valve Chamber (Watermain)		
—		Underground Storm Sewer		
—		Underground Sanitary Sewer		
—		Underground Water		
—		Underground Hydro		
—		Underground Gas		
—		Underground Bell		
—		Underground Rogers		
—		Overhead Wires		

TOPOGRAPHICAL PLAN OF SURVEY OF

**PART OF LOTS 24 AND 25
CONCESSION 1 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA**
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 300
Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 29th day of September, 2021.

Oct 1, 2021
E. H. Haveler
Date
Ontario Land Surveyor

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999962.

For bearing comparisons, a rotation of 0°10'10" counter-clockwise was applied to bearings on P1, P4 & P5.
For bearing comparisons, a rotation of 0°19'10" counter-clockwise was applied to bearings on P6.
For bearing comparisons, a rotation of 0°10'30" counter-clockwise was applied to bearings on P2 & P7.

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 0191960005 and 01919750705, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).




ELEVATION NOTES
1. Elevations shown are geodetic derived from City of Ottawa Monument No. 2016-0126 with a published elevation of 66.109m and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

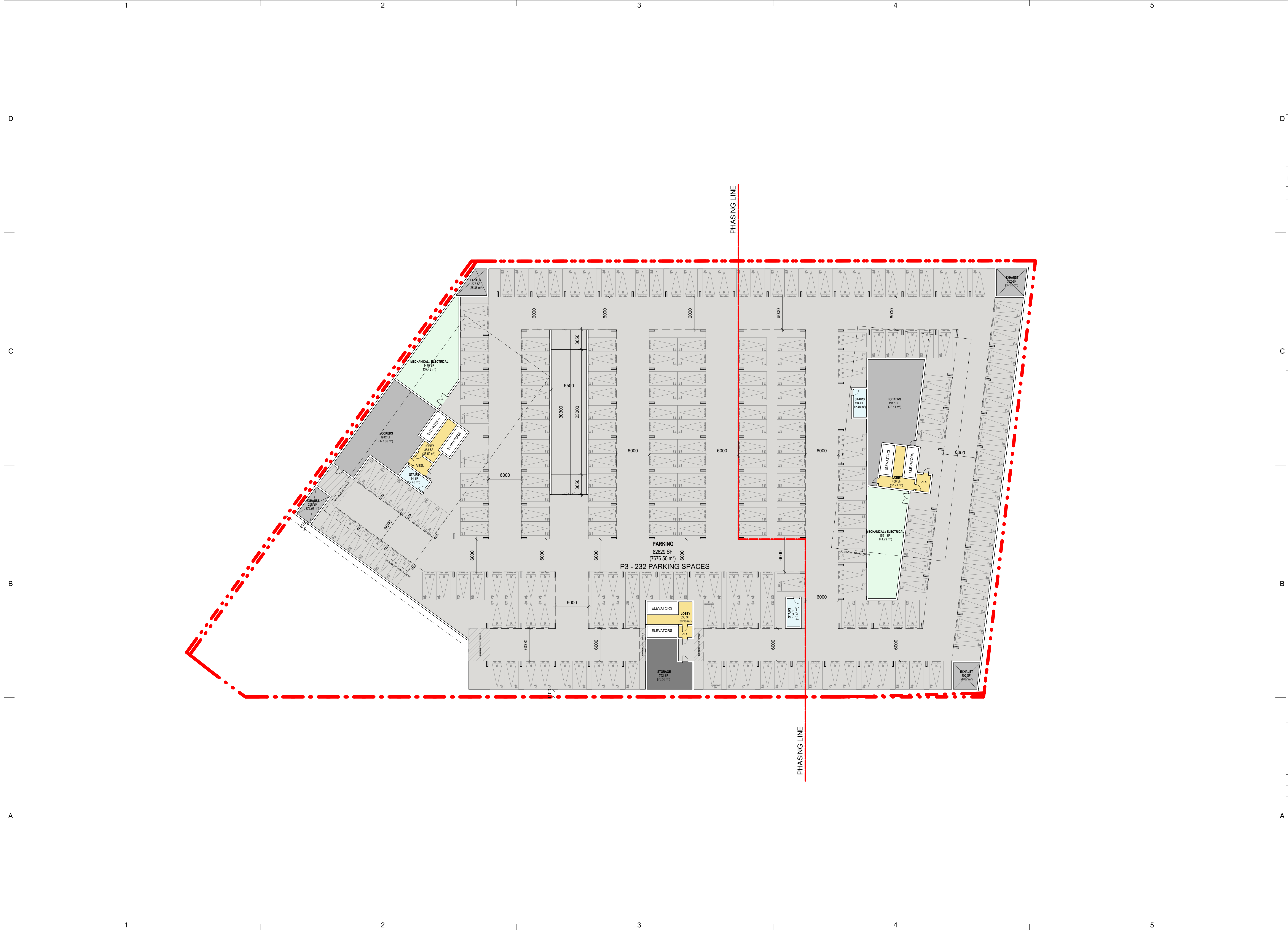
UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet reference E-01-09.
4. Sanitary and storm sewer grades and inverts were derived from Plan 2353 (Sheet 4, 5 & 6 of 6) & Plan I-10-0-1.
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
6. Manholes noted with "x" were not located in the field due to field conditions and construction work. The location of these manholes is derived per the noted drawings above.


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14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: info@annisov.com
Reg. No. 2985-21, Farnsworth Rd. #5, Ottawa, Ont. K1V 1T7

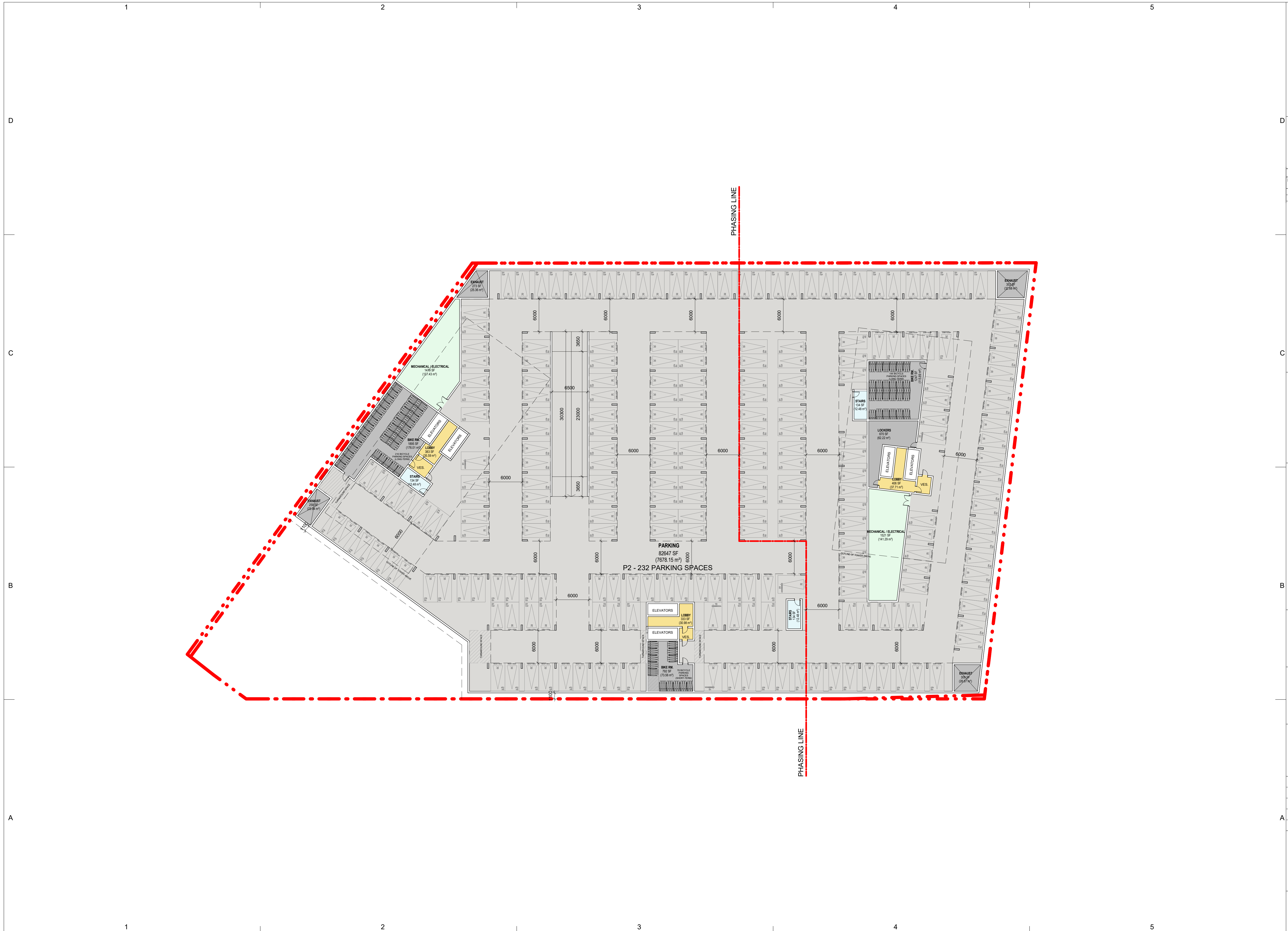
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2	RE-ISSUED FOR ZBA / OPA	2023-07-14
SUB CONSULTANT		
PRIME CONSULTANT		IBI ibigroup.com
PROJECT		1047 RICHMOND ROAD Project Address
PROJECT NO:		Project Number
DRAWN BY:		Author
CHK'D BY:		Checker
SCALE:		
DATE:		07/11/21
SHEET TITLE		SURVEY
SHEET NUMBER	ISSUE	
A101		




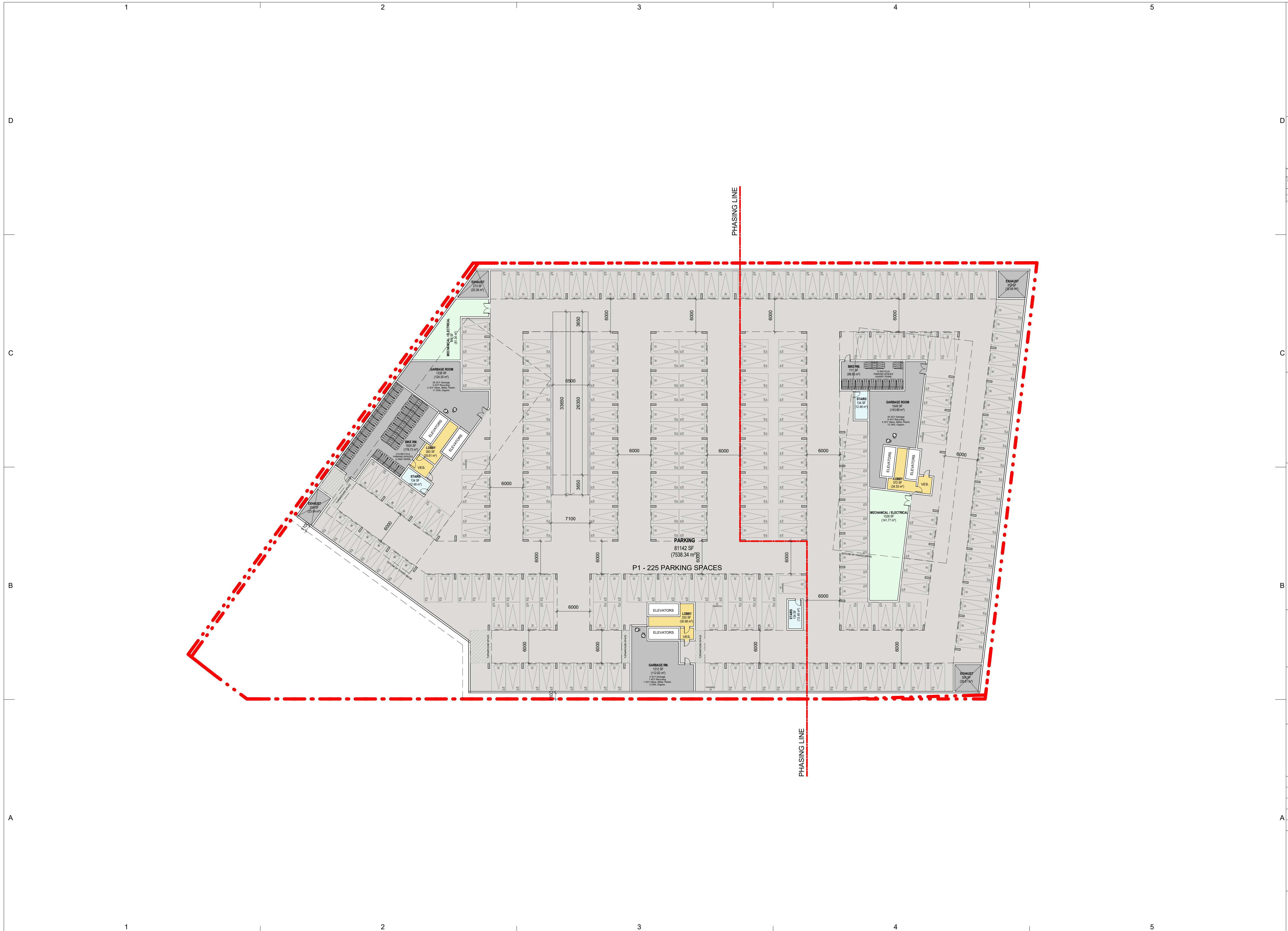
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PROJECT			
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PROJECT NO: Project Number			
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SHEET TITLE			
SITE PLAN			
SHEET NUMBER		ISSUE	
A102			




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PARKING LEVEL 3			
SHEET NUMBER		ISSUE	
A103			



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PROJECT			
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PROJECT NO: Project Number			
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DATE: 05/04/21			
SHEET TITLE			
PARKING LEVEL 2			
SHEET NUMBER		ISSUE	
A104			



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SHEET TITLE			
PARKING LEVEL 1			
SHEET NUMBER		ISSUE	
A105			



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CARLETON CONDOMINIUM PLAN No.169
 28 Storey Apartment Building
 Block 15169 - 0001 to 0218

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SHEET TITLE
GROUND FLOOR PLAN

SHEET NUMBER
A201



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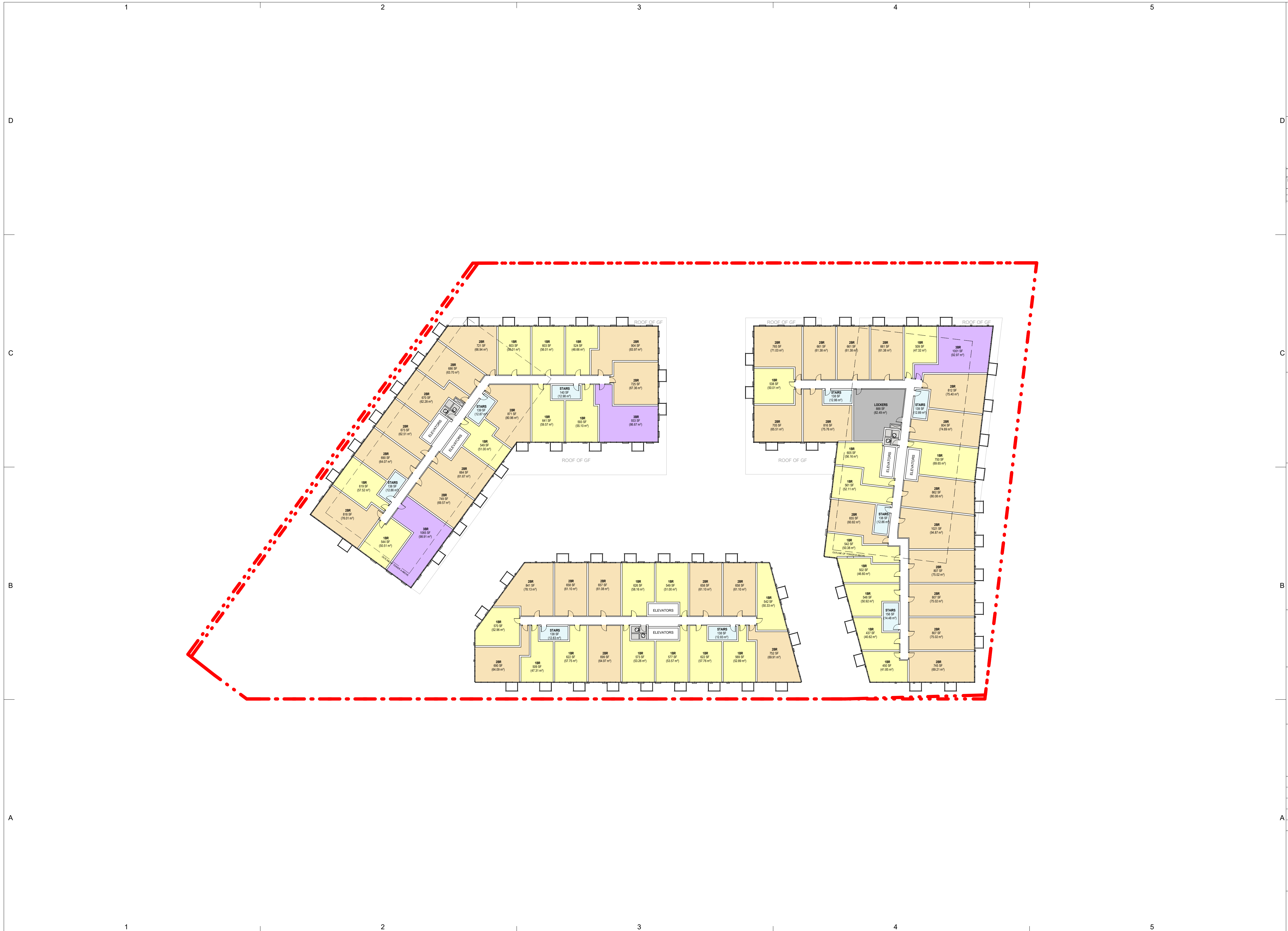
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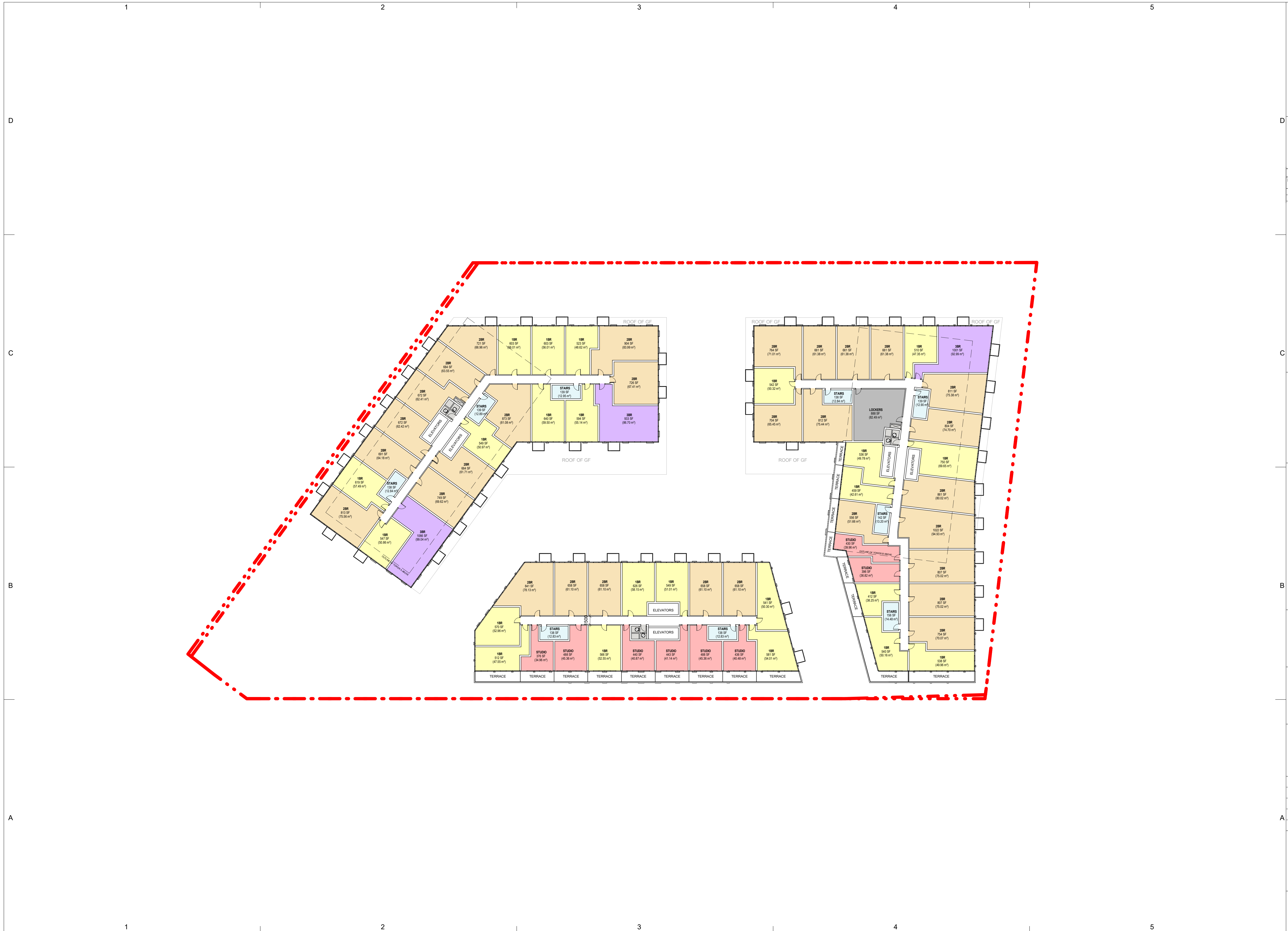
SHEET TITLE
MEZZANINE FLOOR PLAN


SHEET NUMBER
A202

ISSUE



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SCALE: 1 : 300			
DATE: 12/14/20			
SHEET TITLE			
3RD FLOOR PLAN			
SHEET NUMBER		ISSUE	
A204			



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PROJECT NO: Project Number			
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SHEET TITLE			
4TH-6TH FLOOR PLAN			
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A205			



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SHEET TITLE
7TH FLOOR PLAN

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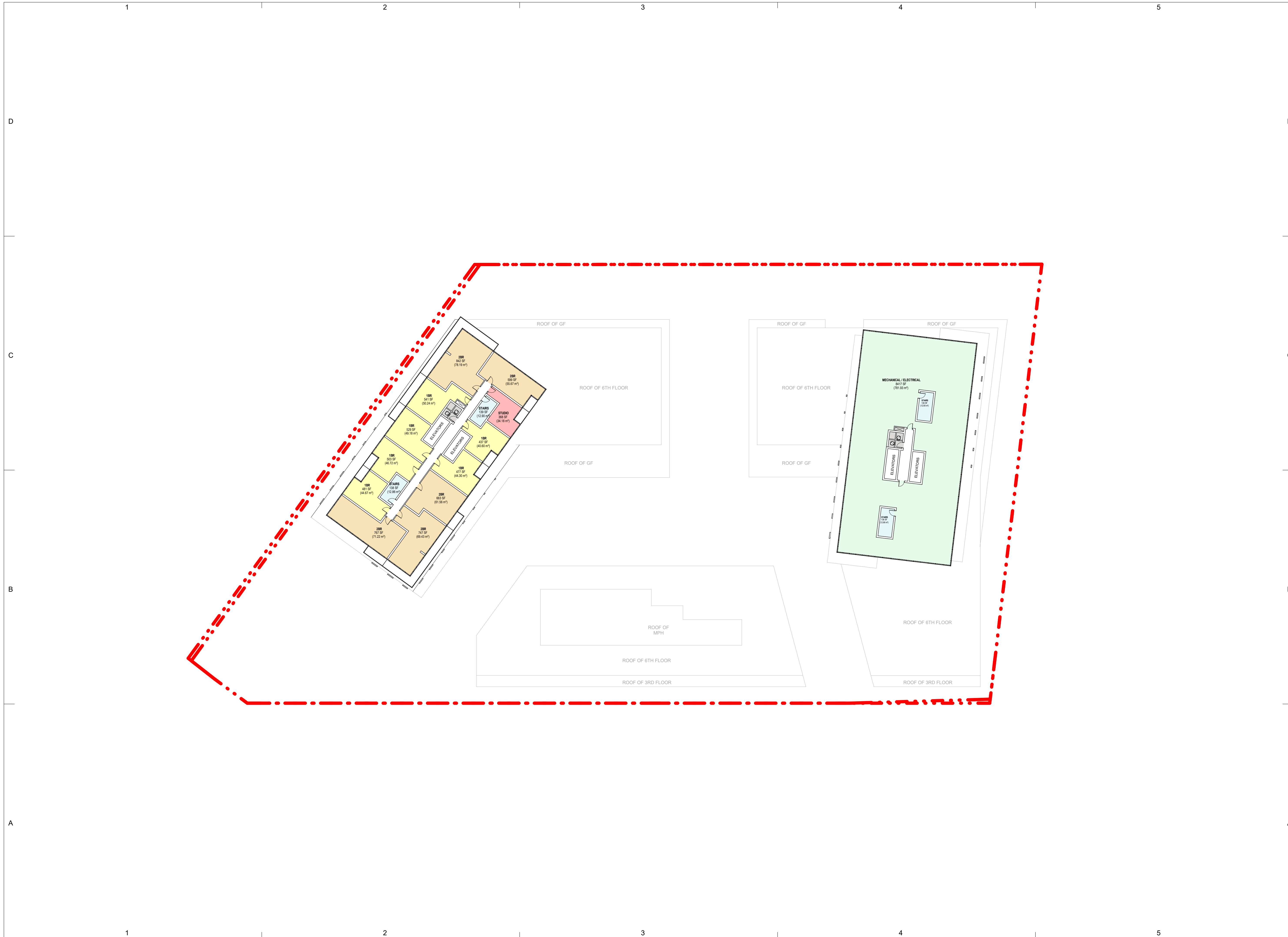
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SHEET TITLE
TYP. FLOOR PLAN

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A207



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1	ISSUED FOR ZBA / OPA		2022-02-01
2	RE-ISSUED FOR ZBA / OPA		2023-07-14

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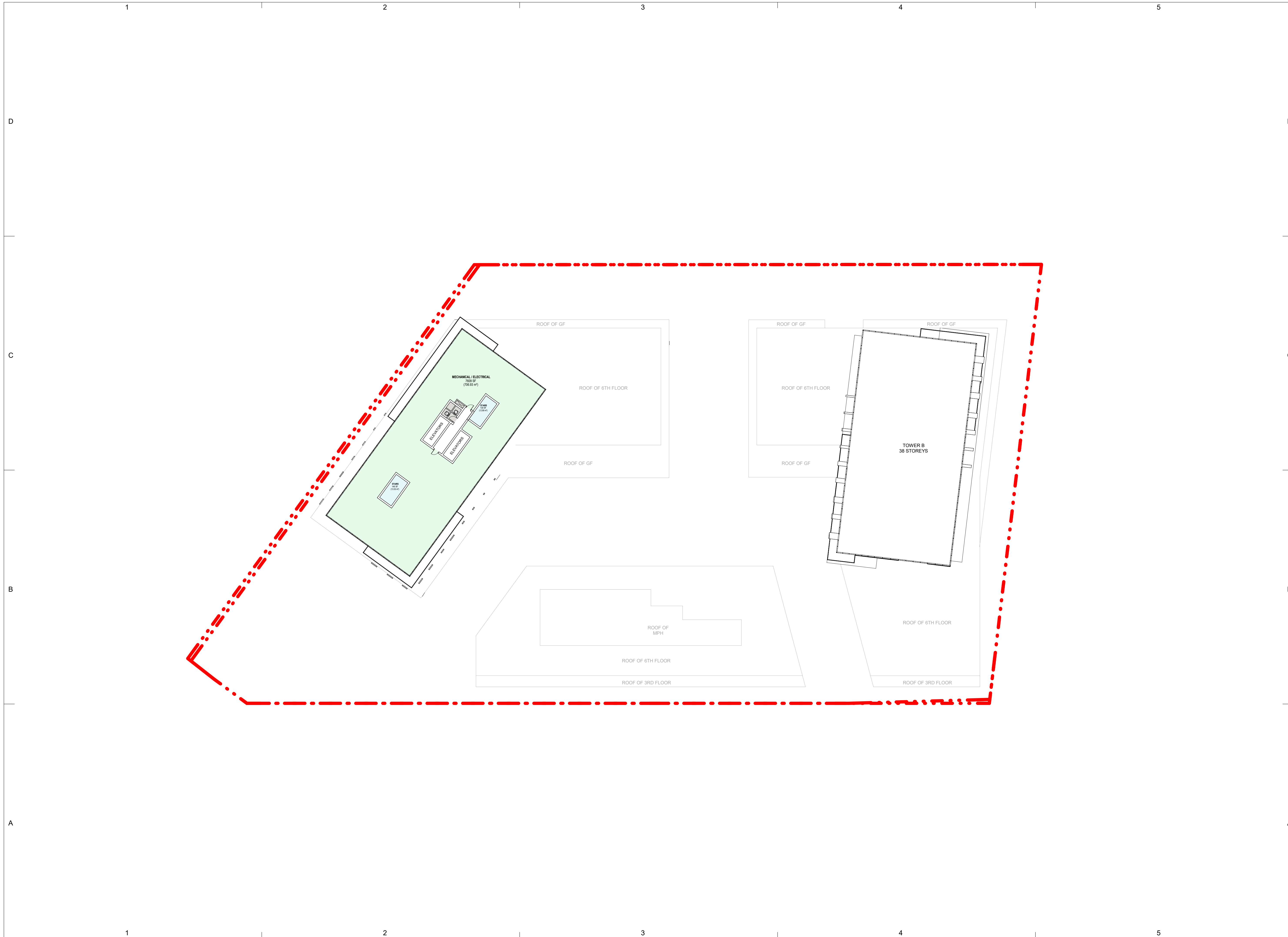
PROJECT
1047 RICHMOND ROAD
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PROJECT NO: Project Number
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