



CARRUTHERS AVENUE DEVELOPMENT

266-268 CARRUTHERS AVENUE, OTTAWA, ON

ISSUED FOR SPC RESPONSE

2023-07-17 10:43:00 AM

ARCHITECTURAL
DRAWINGS



S.J. LAWRENCE ARCHITECT INC.
18 DEAKIN ST. SUITE 205
OTTAWA, ONTARIO K2E 8B7
(P) 613 739 7770
(F) 613 739 7703

MECHANICAL /
ELECTRICAL DRAWINGS



QUADRANT ENGINEERING LIMITED,
CONSULTING ENGINEERS
107 PRETORIA AVE.
OTTAWA, ONTARIO, K1S 1W8
(P) 613 567-1487
(F) 613 567-1493

PLANNER / LANDSCAPER

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS

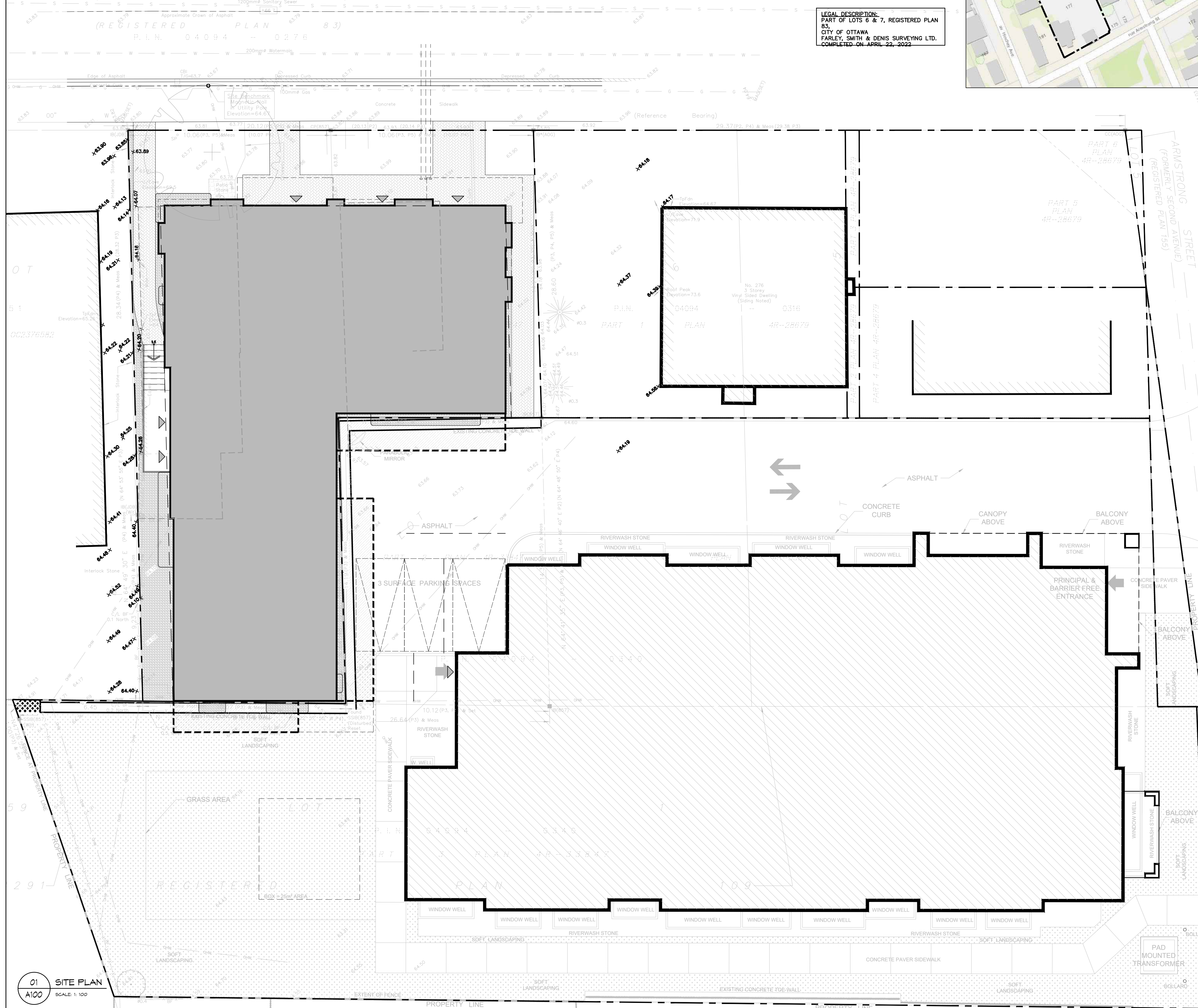
JAMES LENNOX ASSOCIATES INC
3332 CARLING AVE.
OTTAWA, ONTARIO, K2H 5A8
(P) (613) 722-5168
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LEGEND

	NEW OVERHEAD DOOR		BICYCLE PARKING SPACE (1.8Mx0.6M)		NEW SIGN, REFER TO SIGN LEGEND		TWO WAY TRAFFIC		NEW CONSTRUCTION
	NEW DOOR / ENTRANCE		NO PARKING LINES		STREET LIGHT		DEPRESSED CURB (DC)		EXISTING BUILDINGS
	PROPOSED RIVERSTONE MULCH		PROPOSED PRECAST CONCRETE PAVERS		HYDRO POST		PROPERTY LINE		BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
	EXISTING VEGETATION REFER TO LANDSCAPE DWGS		PROPOSED SOD - REFER TO LANDSCAPE DWGS		DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS		EXISTING FENCE		*REFER TO LANDSCAPE DWGS
			NEW SAWCUT CONCRETE SIDEWALK		V VISITOR PARKING		MINIMUM SETBACKS (ZONING)		



LEGAL DESCRIPTION:
PART OF LOTS 6 & 7, REGISTERED PLAN
83,
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD.
COMPLETED ON APRIL 22, 2012



ZONING MECHANISM	R4UB PROVISION (PUD)	PROPOSED	COMPLIANCE
MINIMUM LOT WIDTH	N/A	20.12m	
MINIMUM LOT AREA	1,400m ²	1,859m ²	
MAXIMUM BUILDING HEIGHT	11m	11.30m	X
MINIMUM FRONT YARD SETBACK (SEC. 144)	3.91m (MEASURED FOR 276 CARRUTHERS)	3.75m	X
MINIMUM CORNER SIDE YARD SETBACK	1.5m	3m	
MINIMUM REAR YARD SETBACK SECTION 144 (5)	1.2m	13.1m	
MINIMUM INTERIOR SIDE YARD SETBACK	FOR THE FIRST 18M BACK FROM THE STREET: 1.5m FOR THE REMAINDER: 25% OF THE LOT DEPTH TO A MAXIMUM OF 7.5m	NORTH: 1.5m SOUTH: 1.5m	
INTERIOR YARD AREA SECTION 144 (6)	A MINIMUM INTERIOR YARD IS REQUIRED THAT ABUTS THE REAR YARD AND INTERIOR SIDE YARD BY EXTENDING A PARALLEL LINE FROM THE MINIMUM REQUIRED REAR YARD SETBACK (1.2 M) AFFECTING THE ABUTTING LOT, ACROSS THE LONGEST SHARED COMMON LINE INTO THE AFFECTED SITE FOR A DISTANCE EQUAL TO 30% OF THE AFFECTED LOT'S ACTUAL WIDTH.	NO INTERIOR YARD AREA IS PROPOSED. A REAR YARD OF 265 M ² IS PROPOSED.	X
MAXIMUM NUMBER OF UNITS FOR A LOW-RISE APARTMENT IN R4UB	12 UNITS	18 UNITS	X
LOW-RISE APARTMENT DWELLINGS IN R4UB ZONE	NO MOTOR VEHICLE PARKING IS PERMITTED ON A LOT LESS THAN 450m ²	N/A	N/A
	IN THE CASE OF A LOT OF 450m ² OR GREATER: A) AT LEAST 25% OF DWELLING UNITS MUST HAVE AT LEAST 2 BEDROOMS	28%	
PRINCIPAL ENTRANCE	1 ENTRANCE	1 PRINCIPAL ENTRANCE BICYCLE STORAGE ENTRANCE, 1 BARRIER-FREE ENTRANCE	
FRONT FACADE	25% WINDOWS	42% WINDOWS	
FRONT YARD FIXTURES	THE FRONT YARD MUST BE EQUIPPED WITH SOLID, PERMANENT FIXTURES TO PREVENT MOTOR VEHICLE PARKING.	TREES ARE PROVIDED WITHIN THE FRONT YARD TO PREVENT VEHICLE PARKING.	
BALCONY	1 BALCONY OR PORCH FOR EVERY UNIT THAT FACES A PUBLIC STREET AT OR ABOVE THE FIRST STOREY, AND TOTAL BALCONY AREA OF 2m ² MINIMUM	1 BALCONY FOR EACH UNIT FACING THE STREET ON THE SECOND AND THIRD STOREYS ALL BALCONIES > 2m AREA: UNIT 12: 5.3m ² UNIT 13: 6.6m ² UNIT 17: 5.3m ² UNIT 18: 6.6m ²	
LANDSCAPED AREA (TOTAL LOT AREA) (SECTION 161)	30%	38.5% (623.20m ²)	
LANDSCAPED AREA, REAR YARD (SECTION 161)	A) ANY PART OF THE REAR YARD NOT OCCUPIED MUST BE SOFTLY LANDSCAPED B) THE MINIMUM AREA OF SOFT LANDSCAPING PER (A) MUST BE AT LEAST 90 SQUARE METERS	REAR YARD IS PROPOSED TO BE SOFTLY LANDSCAPED REAR YARD = 265 M ² AND PROPOSED TO BE SOFTLY LANDSCAPED	
LANDSCAPED AREA, FRONT YARD (SECTION 161)	40% = 30m ²	61% = 46m ²	
MINIMUM WIDTH OF A PRIVATE WAY	6m	5.7m	X
MINIMUM SETBACK FOR ANY WALL OF RESIDENTIAL USE BUILDING TO A PRIVATE WAY (SECTION 131)	1.8m	0m (THE BUILDING CANTILEVERS OVER THE PRIVATE WAY)	X
MINIMUM SEPARATION DISTANCE BETWEEN BUILDINGS (SECTION 131)	WHERE THE HEIGHT OF ABUTTING BUILDINGS WITHIN THE PUD IS EQUAL TO OR LESS THAN 14.5m: 1.2m	4.1m	
AMENITY AREA (SECTION 137)	R4UB ZONE NOT REQUIRED TO HAVE AMENITY SPACE	PRIVATE: 40m ² COMMUNAL: 437m ²	
URBAN EXCEPTION 2701			
MAXIMUM NUMBER OF DWELLING UNITS	33	NO CHANGE	EXCEPTION TO REMAIN
RESIDENTIAL PARKING	NOT REQUIRED	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM PARKING SPACE WIDTH	2.4m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM PARKING SPACE DEPTH	4.6m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM ROOFTOP ACCESS SETBACK FROM THE FRONT WALL FOR A MAXIMUM OF 6.5m	0m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM ROOFTOP ACCESS AREA	46.3m ²	NO CHANGE	EXCEPTION TO REMAIN
PRINCIPAL ENTRANCE	ONLY ONE PRINCIPAL ENTRANCE IS REQUIRED	NO CHANGE	EXCEPTION TO REMAIN
MAXIMUM LOT AREA	1,430m ²	1,859m ²	EXCEPTION TO BE REMOVED
URBAN EXCEPTION 2702			
MINIMUM LOT AREA	143.7m ²	1,859m ²	EXCEPTION TO BE REMOVED
PARKING REQUIREMENTS (SECTION 101, 102, 111)			
REQUIREMENTS	PROPOSED	COMPLIANCE	
MINIMUM PARKING RATES	DWELLING, LOW-RISE: 0.5 SPACES/UNIT (AFTER THE FIRST 12 UNITS) = 3 SPACES AREA X OF SCHEDULE 1A (SECTION 101, 102)	0 SPACES	X
VISITOR: 0.1 SPACES/UNIT (AFTER THE FIRST 12 UNITS AND UP TO A MAXIMUM OF 30 SPACES PER BUILDING) = 1 SPACE	TOTAL: 4 SPACES		
MINIMUM PARKING RATES NEAR RAPID TRANSIT LOCATED WITHIN 600m OF TUNNEY'S PASTURE (SECTION 103)	AREA B SCHEDULE 1: 1.75 SPACES/UNIT (TOTAL RESIDENT + VISITOR)	0 SPACES	
PARKING SPACE PROVISIONS (SECTION 106)	MAXIMUM: 2.6m x 5.2m MAXIMUM: 3.1m x 5.2m PARALLEL PARKING LENGTH: 6.7m	N/A - NO PARKING IS PROPOSED	EXISTING ZONING EXCEPTION TO BE CARRIED FORWARD FOR EXISTING PARKING SPACES
AISELS AND DRIVEWAYS (SECTION 107)	DRIVEWAYS: MINIMUM WIDTH: 2.6m	DRIVEWAYS: 5.7m	
PARKING NOT LOCATED IN A PARKING LOT OR PARKING GARAGE 71-90 DEGREE ANGLE OF PARKING	AISELS: MINIMUM WIDTH: 6.7m		
BICYCLE PARKING SPACES (SECTION 111)	0.5 SPACES / DWELLING UNIT = 9 SPACES	18 SPACES	
BICYCLE PARKING SPACE PROVISIONS (SECTION 111)	HORIZONTAL: 0.6m x 1.8m (MINIMUM 50% OF SPACES) VERTICAL: 0.5m x 1.5m STACKED: 0.36m x 1.8m ACCESS AISLE: 1.5m	6 VERTICAL SPACES (0.6m x 1.5m) 6 STACKED SPACES (0.6m x 1.8m) ACCESS AISLE: 1.5m	
BUILDING AREAS			
CONSTRUCTION AREA (SQ.M)	CONSTRUCTION AREA (SQ.FT)	COMPLIANCE	
LOWER LEVEL	296.9 sq.m	3,196 sq.ft	
GROUND FLOOR LEVEL	292.1 sq.m	3,144 sq.ft	
SECOND FLOOR LEVEL	335.4 sq.m	3,610 sq.ft	
THIRD FLOOR LEVEL	335.4 sq.m	3,610 sq.ft	
TOTAL	1,259.8 sq.m	13,560 sq.ft	

CLIENT NAME: THE BERGE HOMES

NOTES:
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5) NOTIFY BUREAU OF LANDSCAPE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

	SUITES	2 BED	1 BED	STUDIO
LOWER LEVEL	4	1	2	1
GROUND FLOOR	4	N/A	3	1
SECOND FLOOR	5	4	1	N/A
THIRD FLOOR	5	4	1	N/A
	18	9	7	2
		50%	39%	9%

SEAL: ARCHITECTS ASSOCIATION OF ONTARIO

NORTH ARROW:

REVISIONS:

No.	DATE	REVISION
09	2023.07.17	ISSUED FOR SPC RESPONSE
08	2023.03.24	REISSUED FOR ZONING & SPC
07	2023.02.24	ISSUED FOR COORDINATION
06	2023.02.13	ISSUED FOR REVIEW
05	2023.01.09	ISSUED FOR OPEN HOUSE
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.04	ISSUED FOR COORDINATION
02	2022.08.15	ISSUED FOR COORDINATION
01	2022.07.27	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAKIN STREET SUITE 202 OTTAWA, ONTARIO K2E 8B7
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PROJECT: CARRUTHERS DEVELOPMENT
266 CARRUTHERS, OTTAWA, ON

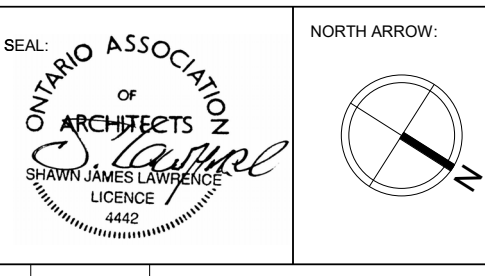
SHEET TITLE: SITE PLAN

DRAWN BY: B.L. CHECKED BY: S.J.L.
PLOT DATE: 2023.07.17 PROJECT DATE: 2022.06.08
JOB NUMBER: SL-1077-22 SCALE: AS SHOWN
SHEET NUMBER: A1.0

01 SITE PLAN
SCALE: 1:100

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Area Schedule (Gross Building)		
UNUN	Area	Level
1 BED		
UNIT 3	465 R ²	BASEMENT
UNIT 4	516 R ²	BASEMENT
UNIT 6	574 R ²	LEVEL 1
UNIT 7	496 R ²	LEVEL 1
UNIT 8	572 R ²	LEVEL 1
UNIT 12	498 R ²	LEVEL 2
UNIT 17	498 R ²	LEVEL 3
2 BED		
UNIT 1	679 R ²	BASEMENT
UNIT 9	661 R ²	LEVEL 2
UNIT 10	709 R ²	LEVEL 2
UNIT 11	609 R ²	LEVEL 2
UNIT 13	663 R ²	LEVEL 2
UNIT 14	661 R ²	LEVEL 3
UNIT 15	709 R ²	LEVEL 3
UNIT 16	609 R ²	LEVEL 3
UNIT 18	661 R ²	LEVEL 3
BACHELOR		
UNIT 2	455 R ²	BASEMENT
UNIT 5	351 R ²	LEVEL 1



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13	2023.07.17	ISSUED FOR SPC RESPONSE
12	2023.05.10	ISSUED FOR COORDINATION
11	2023.04.28	ISSUED FOR COORDINATION
10	2023.04.11	ISSUED FOR COORDINATION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

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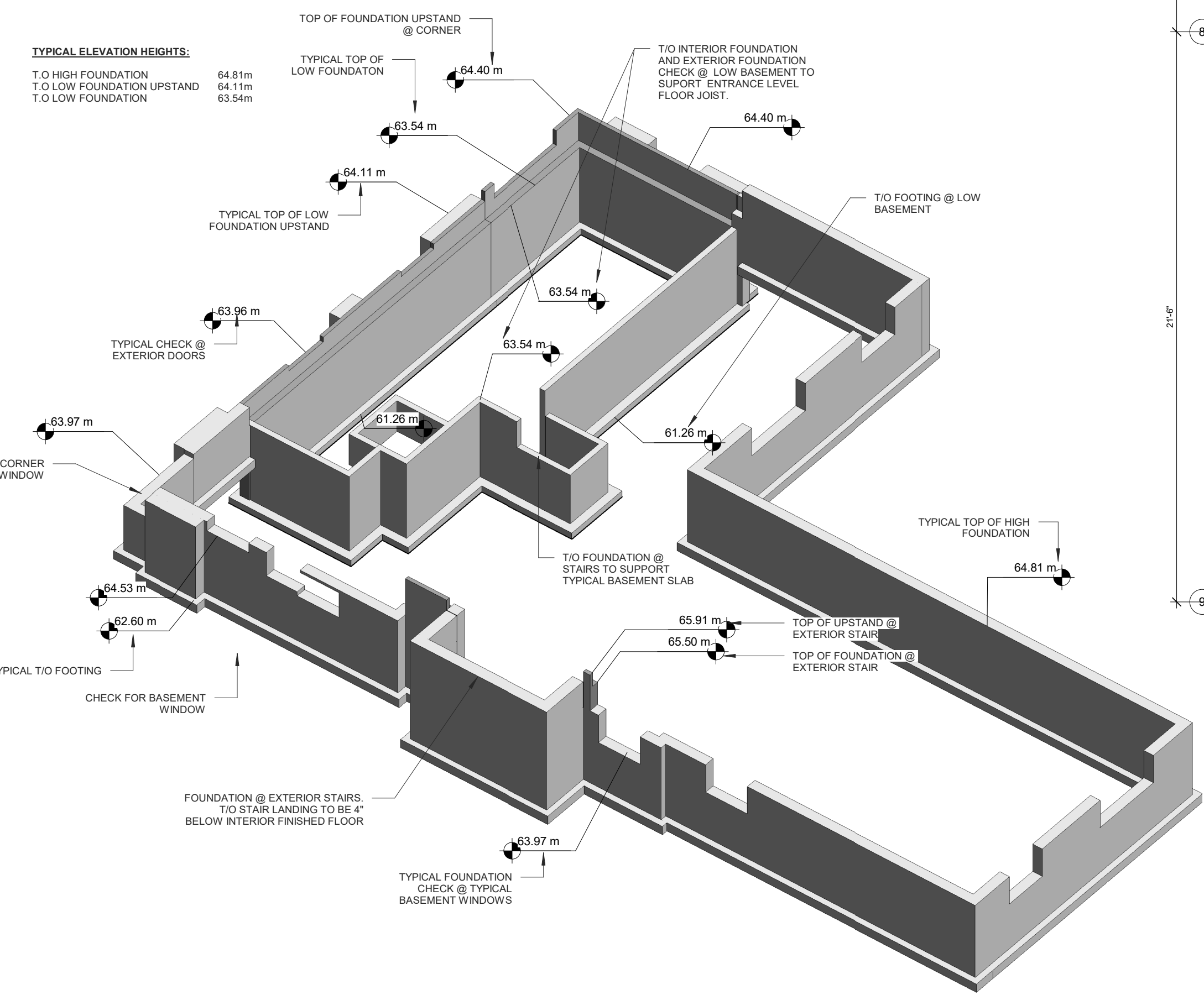
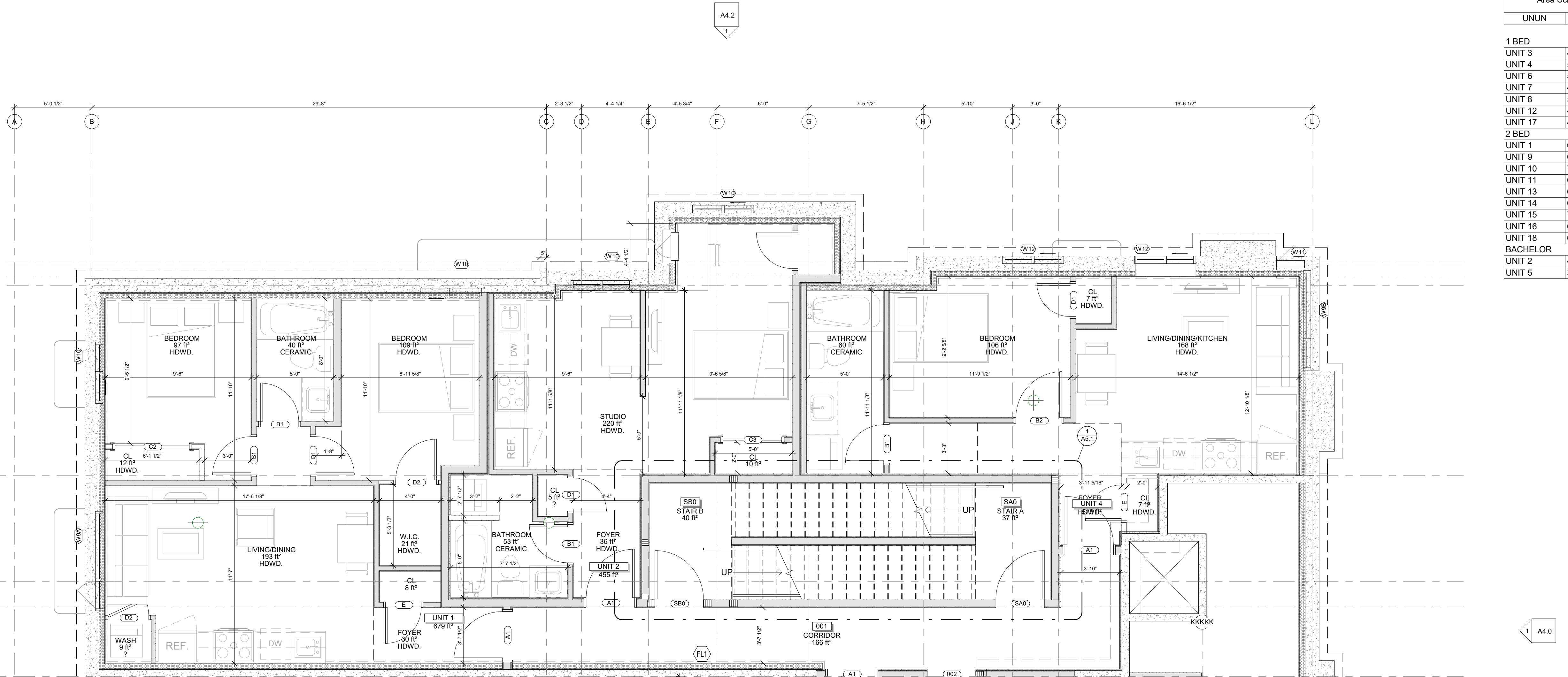
SHEET TITLE:
BASEMENT PLAN

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.

PLOT DATE: 2023-07-17 10:43:09 AM

JOB NUMBER: SL-1077-22 SCALE: 1/4" = 1'-0"

A2.0

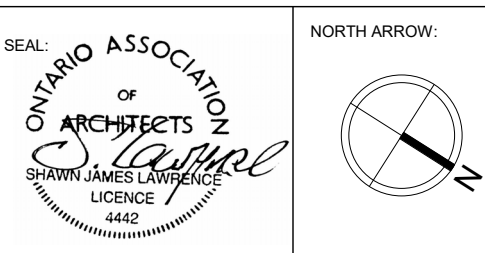


1 -T.O. Slab SCALE 1/4" = 1'-0" A2.0

3 3D FOUNDATION SCALE A2.0

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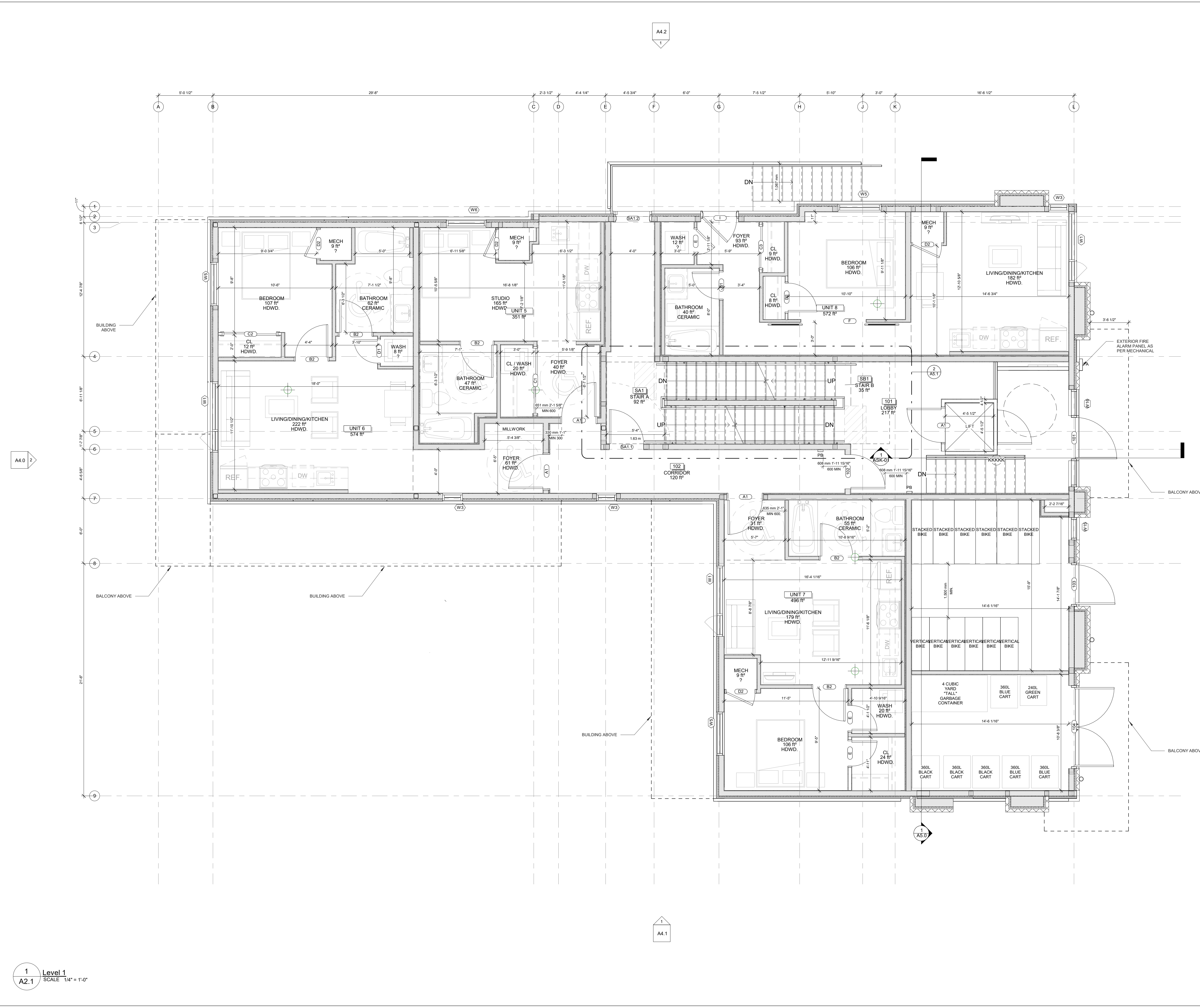
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01	2022.07.05	ISSUED FOR REVIEW

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 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
GROUND FLOOR PLAN

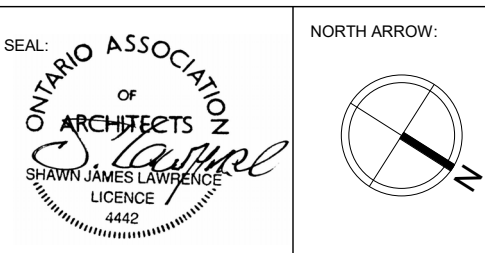
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1
A2.1 Level 1
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 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
SECOND FLOOR PLAN

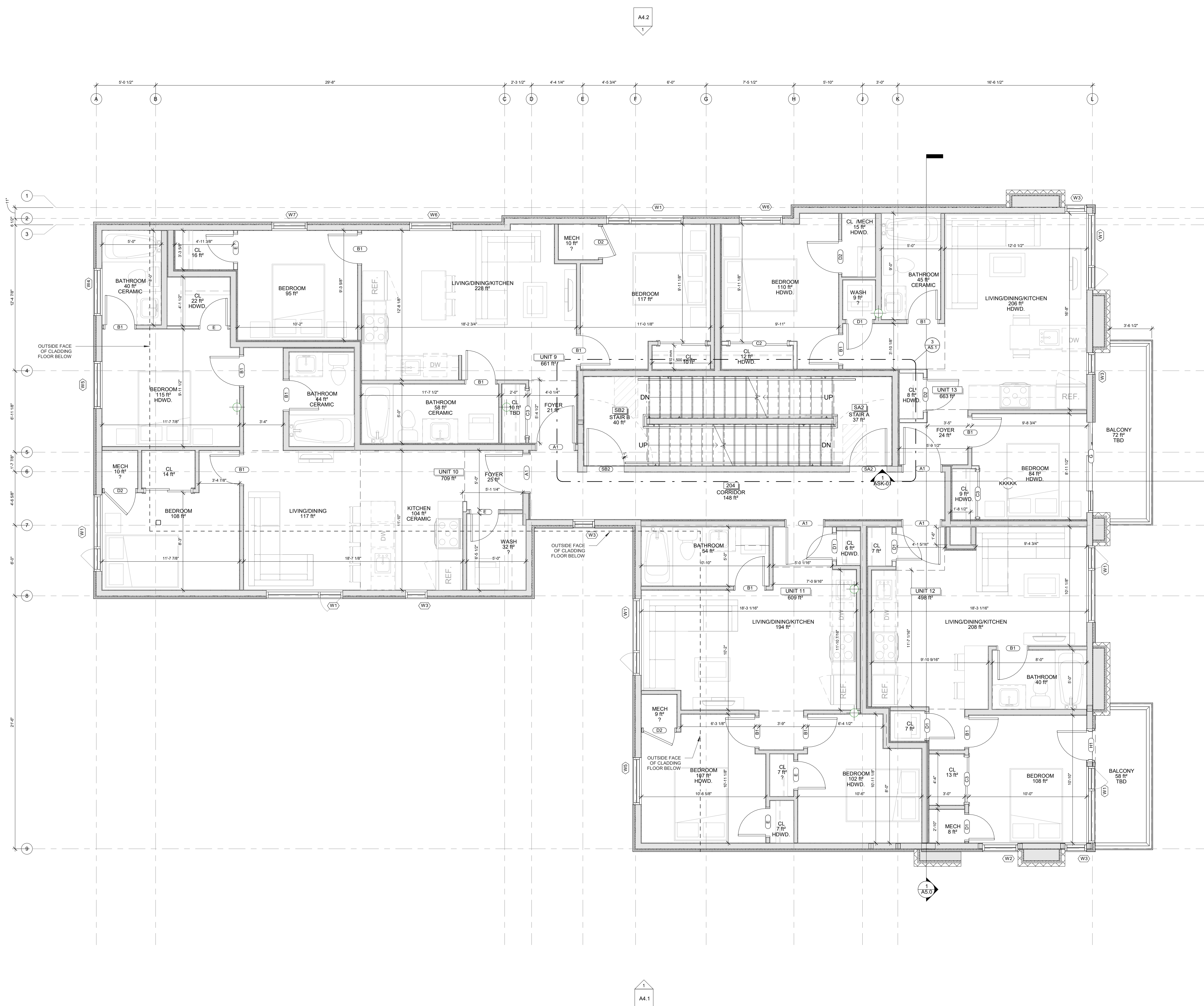
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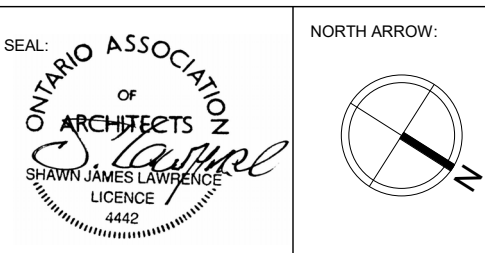
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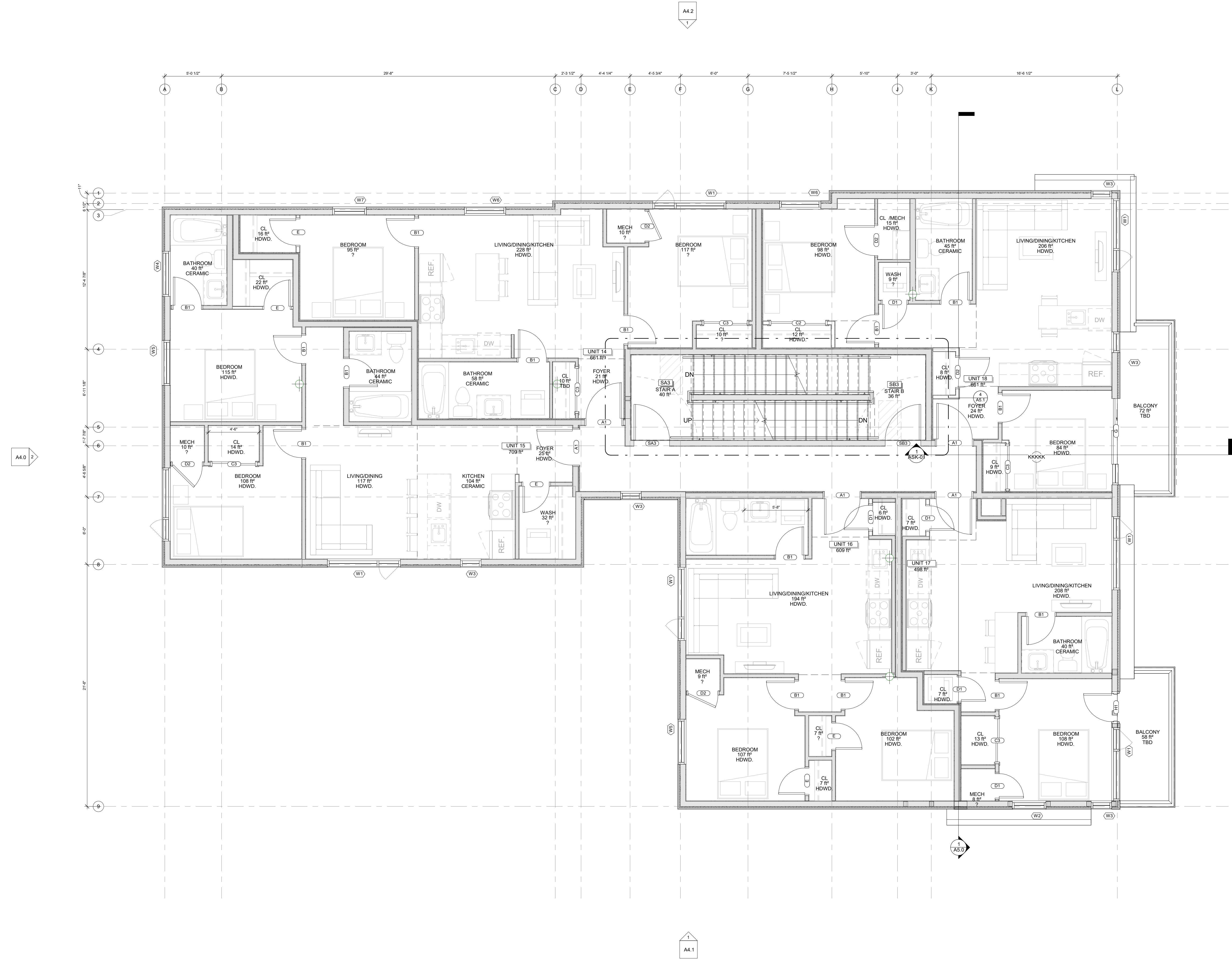
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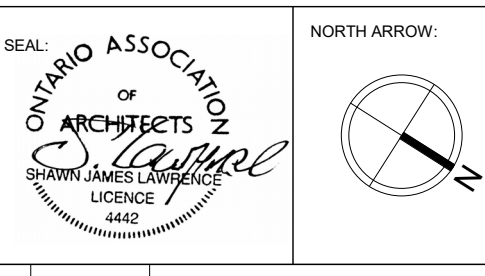
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
THIRD FLOOR PLAN

DRAWN BY:
 D.T.
 CHECKED BY:
 B.L. S.J.L.
 PLOT DATE:
 2023-07-17 10:43:14 AM
 JOB NUMBER:
 SL-1077-22
 SCALE:
 1/4" = 1'-0"



- NOTES:
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 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



No.	DATE	REVISION
13	2023.07.17	ISSUED FOR SPC RESPONSE
12	2023.05.10	ISSUED FOR COORDINATION
11	2023.04.28	ISSUED FOR COORDINATION
10	2023.04.11	ISSUED FOR COORDINATION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
 T: (613) 739 7770 F: (613) 739 7703


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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ROOF PLAN

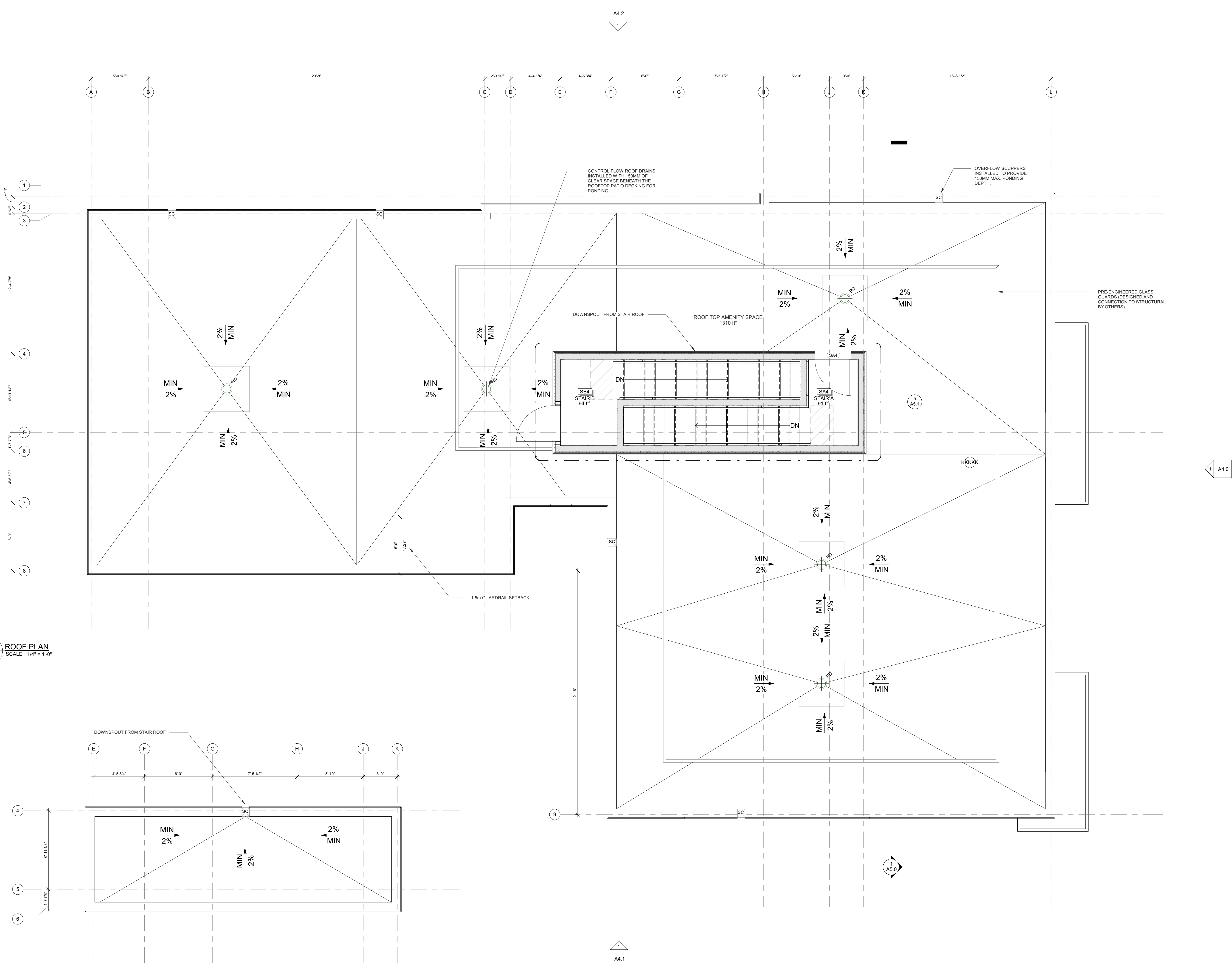
DRAWN BY:
 D.T.

CHECKED BY:
 B.L. S.J.L.

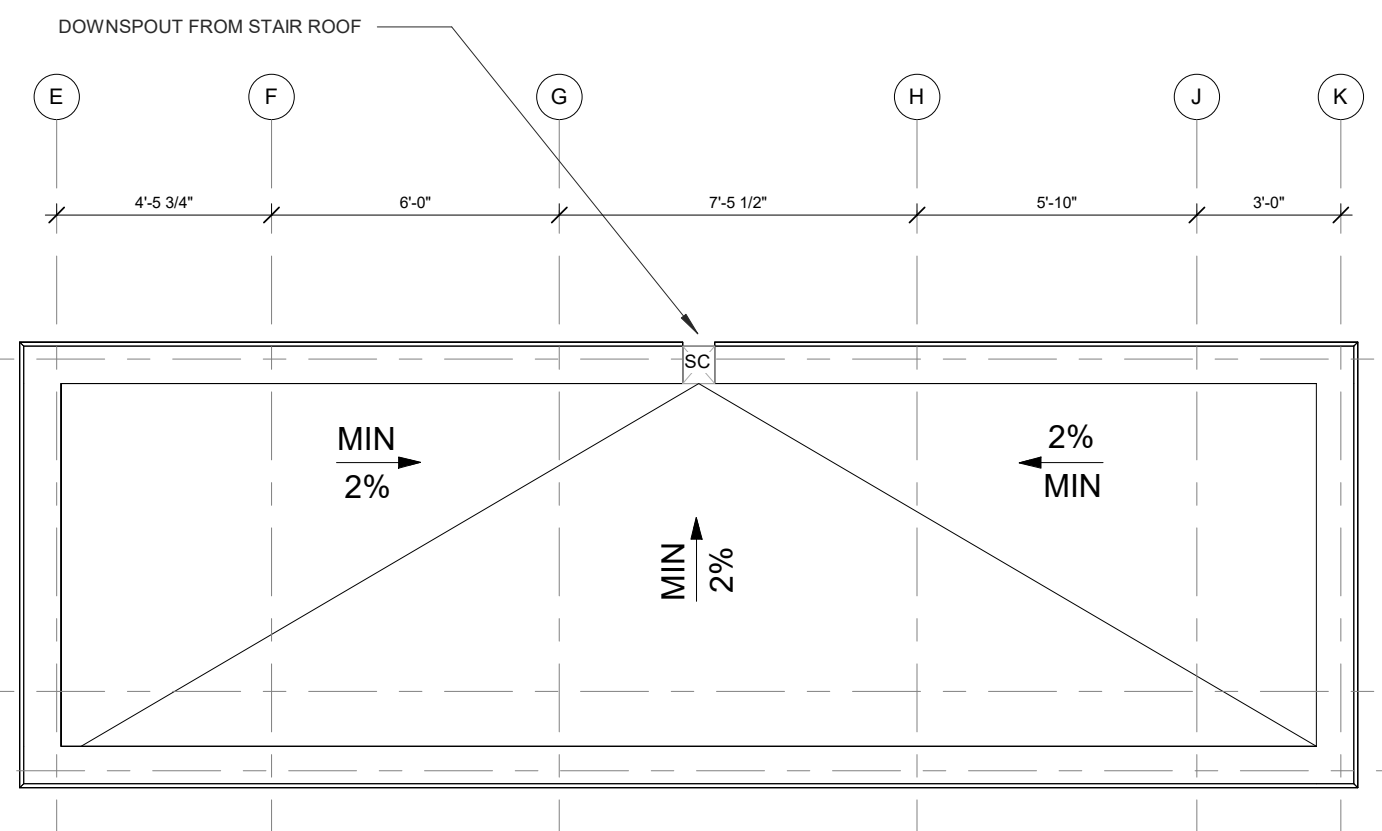
PLOT DATE:
 2023-07-17 10:43:15 AM

JOB NUMBER:
 SL-1077-22

SCALE:
 1/4" = 1'-0"



1
A2.4
ROOF PLAN
 SCALE 1/4" = 1'-0"

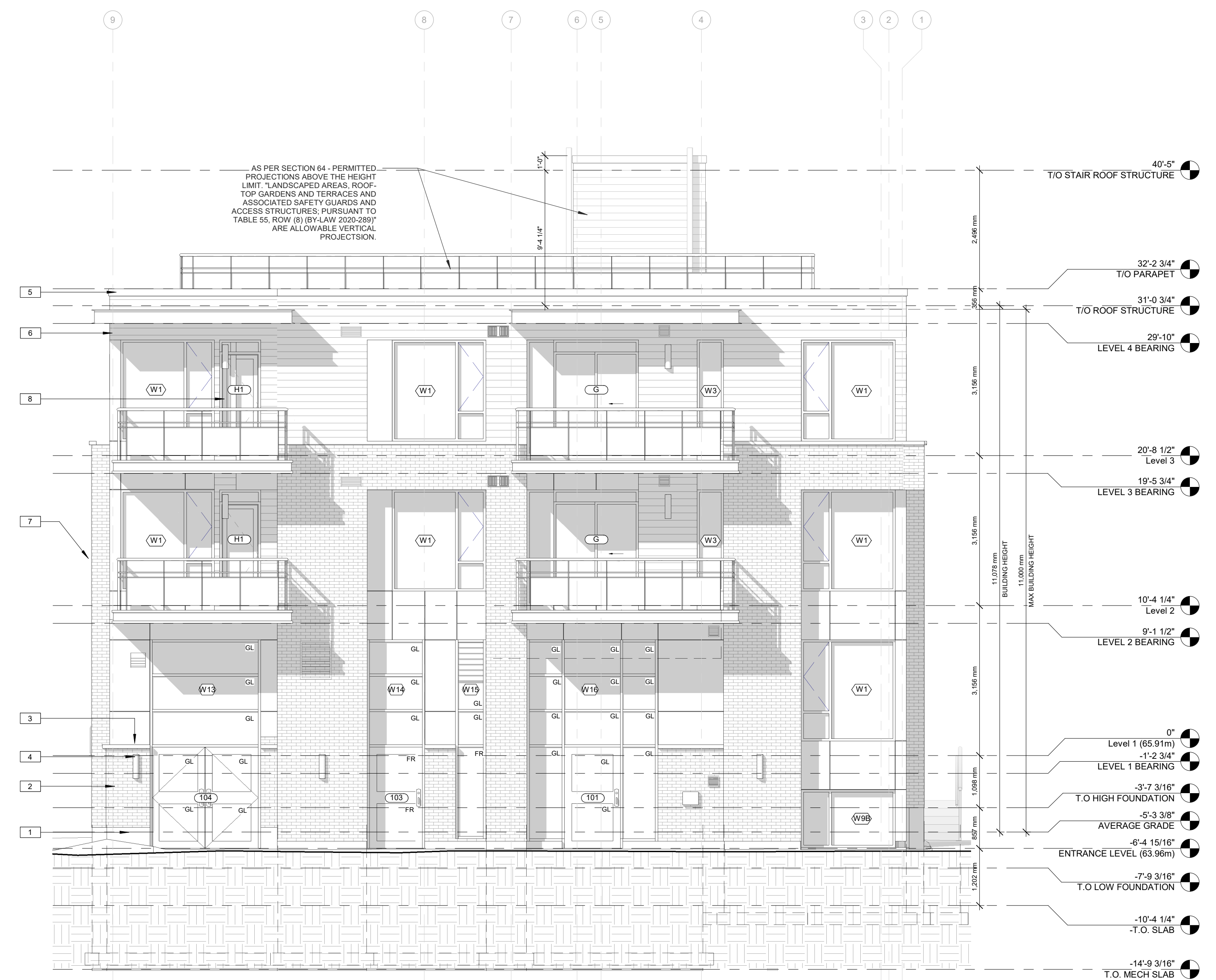


2
A2.4
T/O STAIR ROOF STRUCTURE
 SCALE 1/4" = 1'-0"

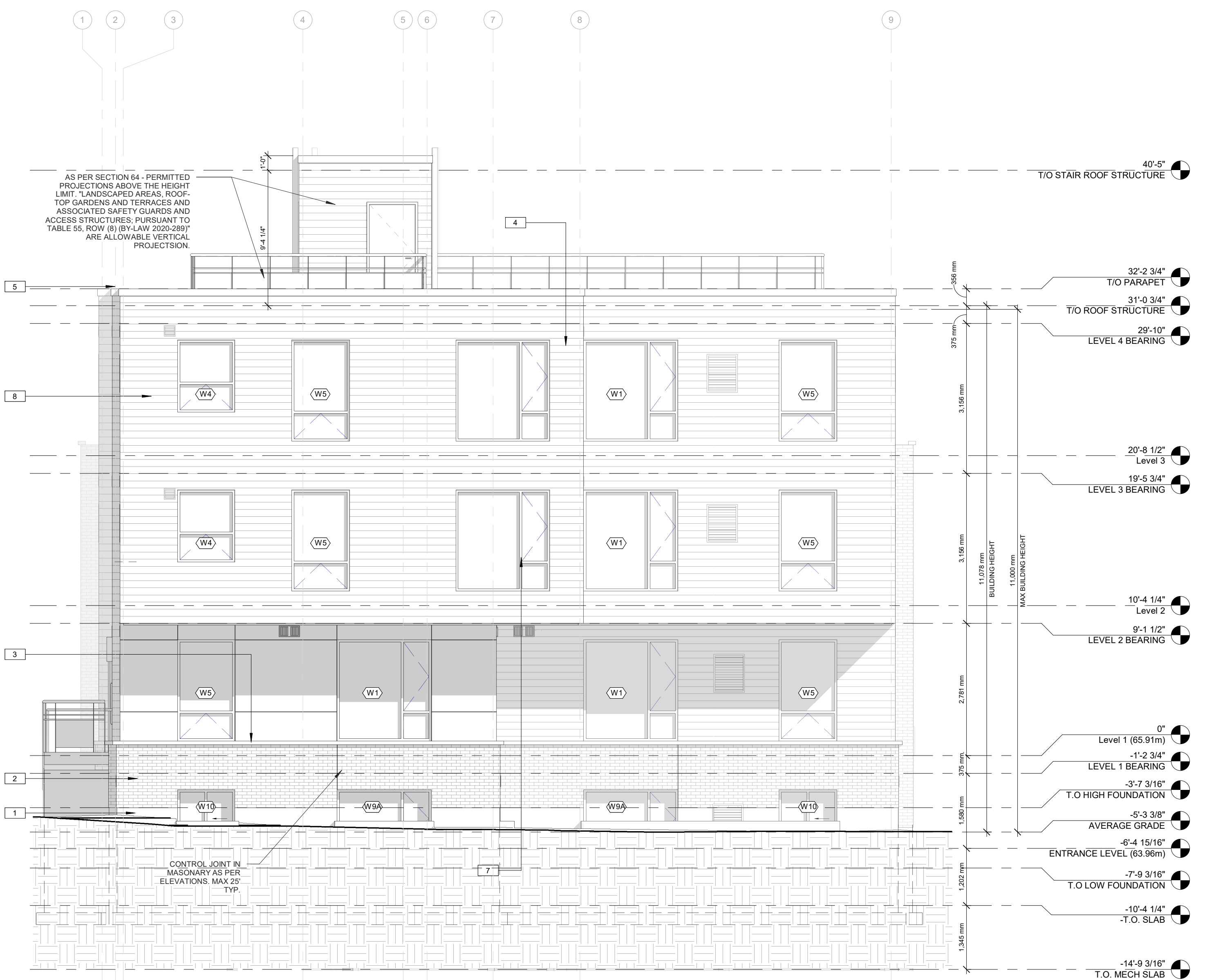
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KEYNOTES-ELEVATION

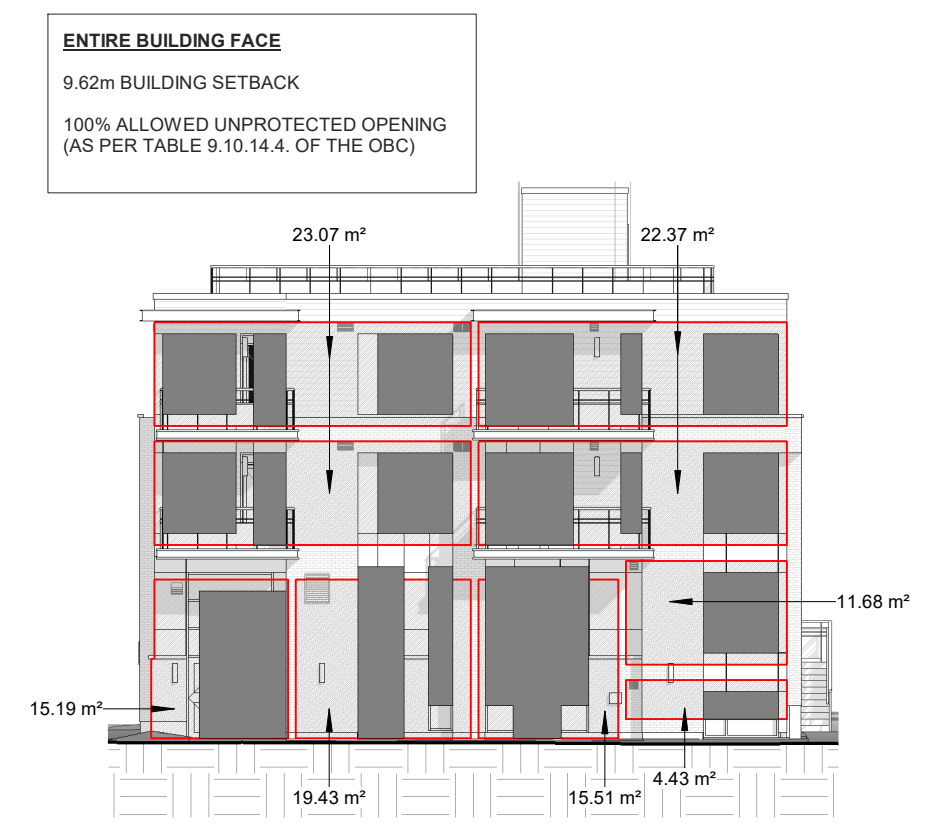
NOTE NUMBER	NOTE TEXT
1	CEMENT PARPING ON ALL EXPOSED FOUNDATION TO 1" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SCOOCE
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



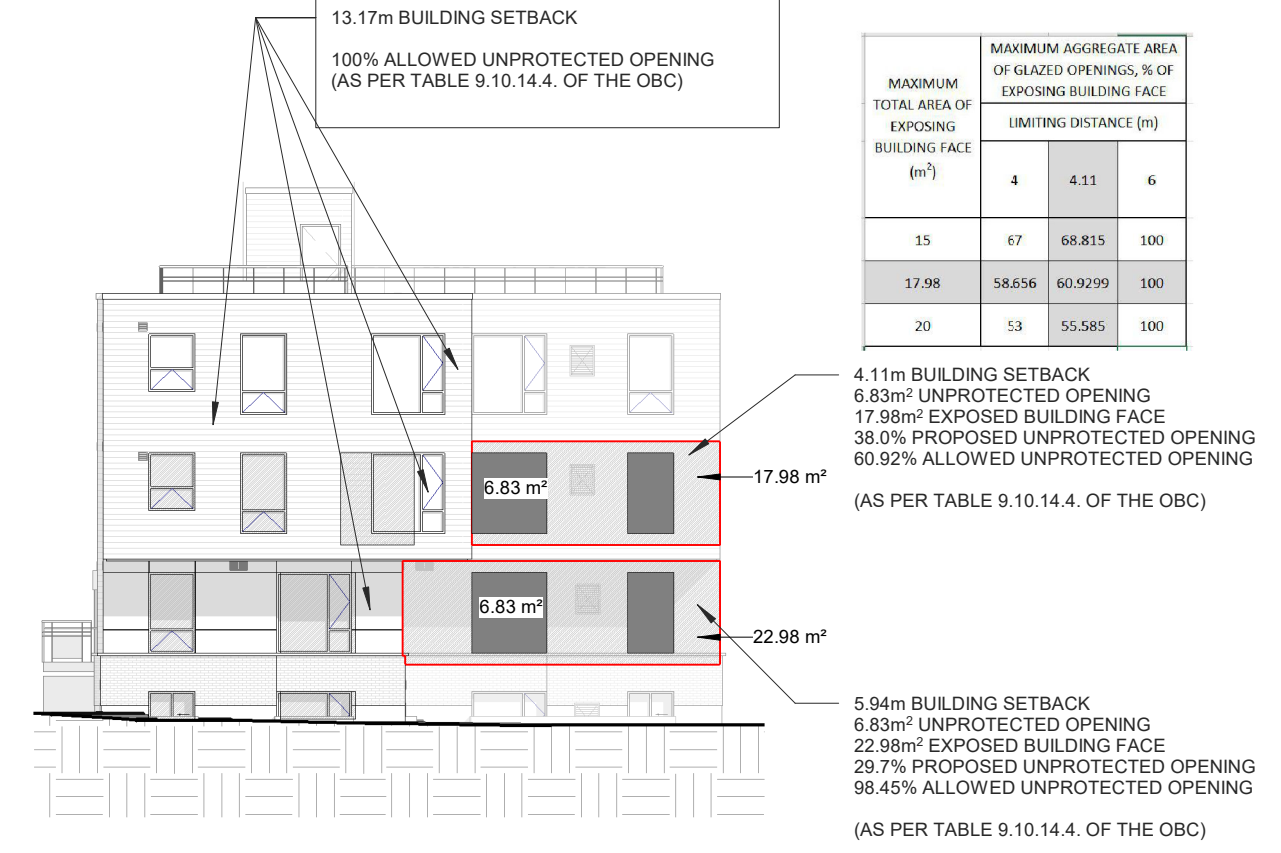
1 EAST ELEVATION
 A4.0 SCALE 1:65



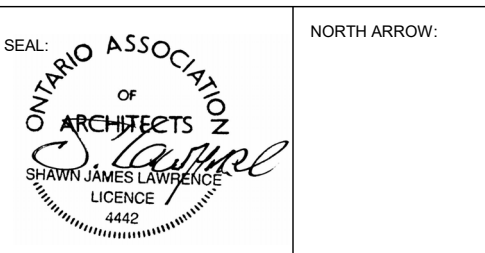
2 WEST ELEVATION
 A4.0 SCALE 1:65



3 EAST ELEVATION LIMITING DISTANCE CALCS
 A4.0 SCALE 1:200



4 WEST ELEVATION LIMITING DISTANCE CALCS
 A4.0 SCALE 1:200



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08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 202 OTTAWA, ONTARIO K2E 8B7
 T: (613) 739 7770 F: (613) 739 7703 sjl@sjlarchitect.com

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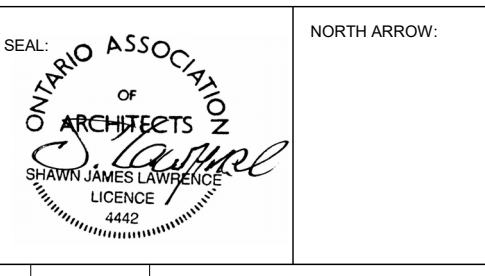
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-07-17 10:43:30 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated

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KEYNOTES-ELEVATION	
NOTE NUMBER	NOTE TEXT
1	CEMENT PAVING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SCOFF
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



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02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEARIN STREET SUITE 200 OTTAWA, ONTARIO K2E 8B7
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
ELEVATIONS

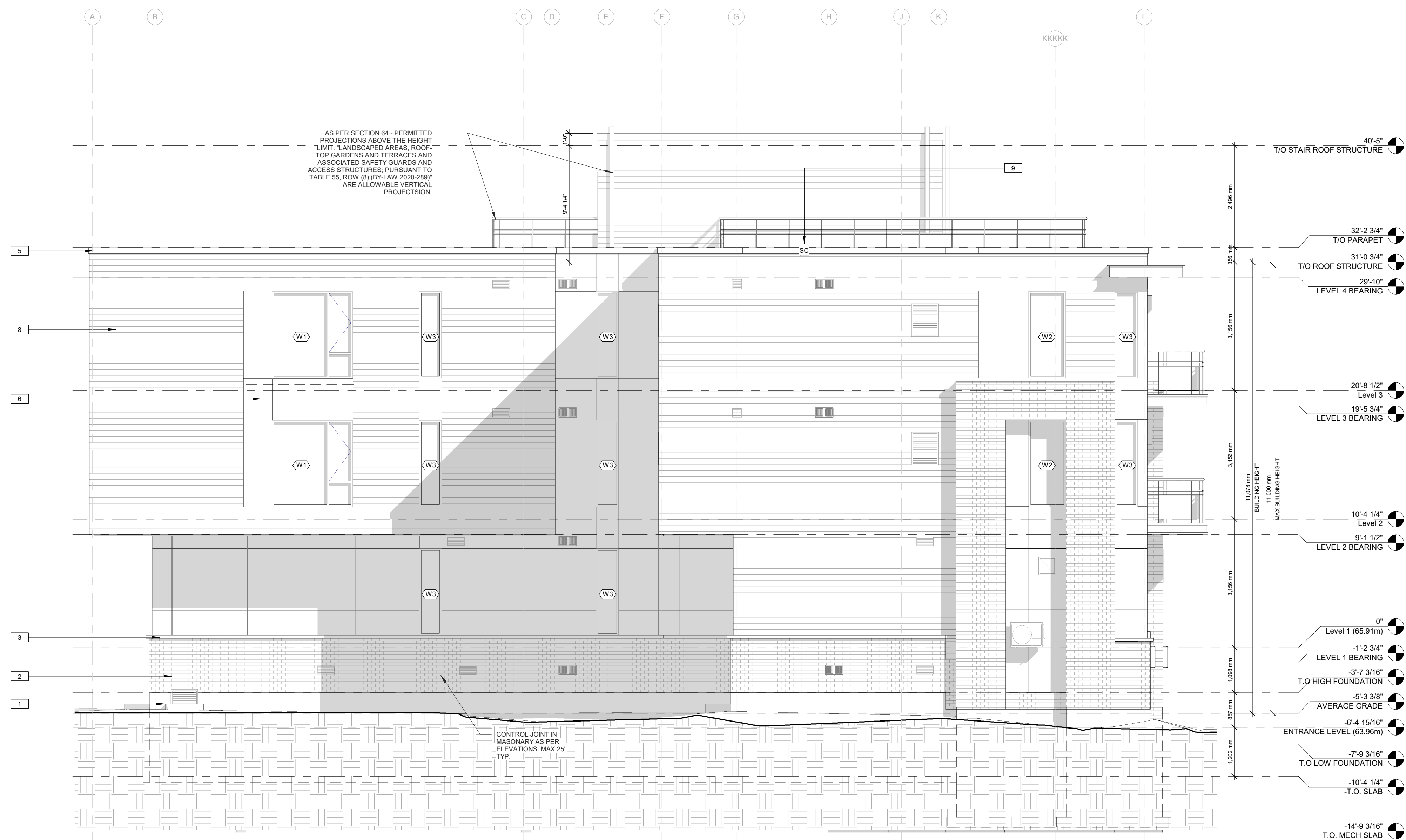
DRAWN BY:
 D.T.
 CHECKED BY:
 B.L. S.J.L.

PLOT DATE:
 2023-07-17 10:43:46 AM

JOB NUMBER:
 SL-1077-22

SCALE:
 As Indicated

A4.1

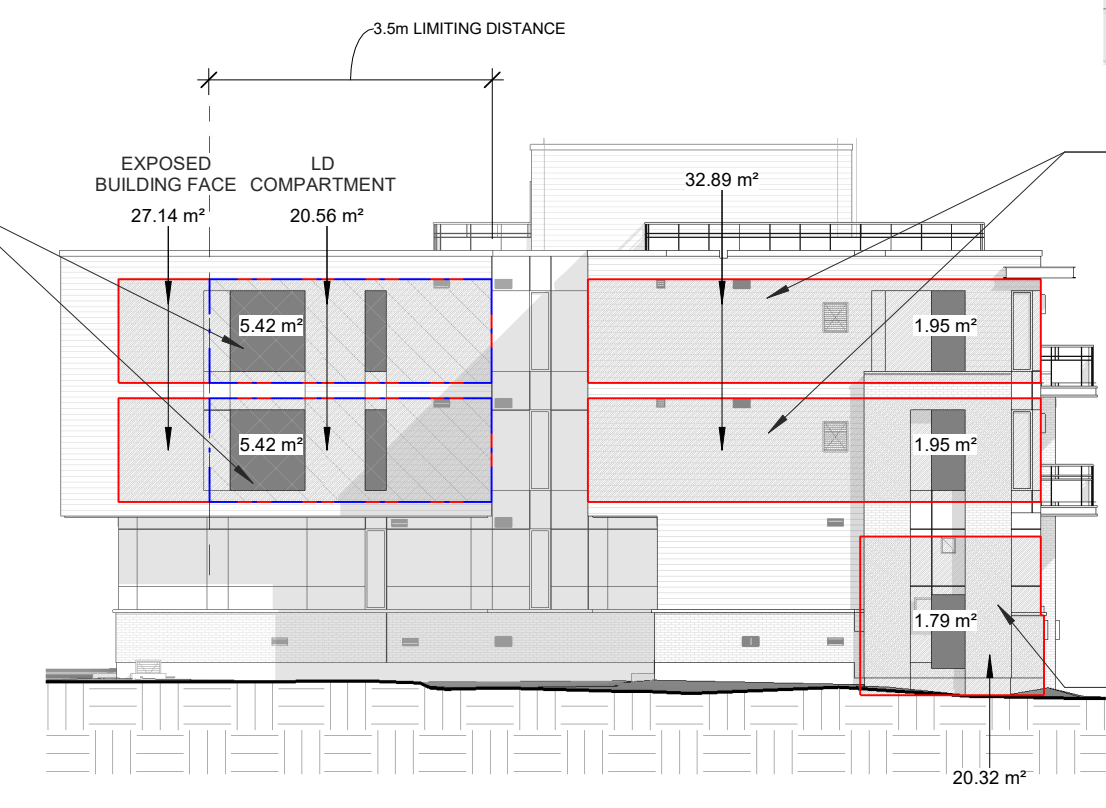


1
A4.1
 SOUTH ELEVATION
 SCALE 1 : 65

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	3	3.5	4
25	26	35.5	45
27.14	24.716	33.574	42.432
30	23	31	39

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.501	2
30	9	9.006	12
32.89	8.711	8.717	11.711
40	8	8.006	11

3.5m BUILDING SETBACK
 5.42m² UNPROTECTED OPENING
 27.14m² EXPOSED BUILDING FACE
 20.56m² LIMITING DISTANCE AREA
 26.96% PROPOSED UNPROTECTED OPENING
 33.57% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)



15.00m BUILDING SETBACK
 1.56m² UNPROTECTED OPENING
 32.89m² EXPOSED BUILDING FACE
 9.93% PROPOSED UNPROTECTED OPENING
 8.71% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)
 NON COMBUSTIBLE CONSTRUCTION AND NON COMBUSTIBLE CLADDING

1.501m BUILDING SETBACK
 1.79m² UNPROTECTED OPENING
 20.32m² EXPOSED BUILDING FACE
 8.91% PROPOSED UNPROTECTED OPENING
 9.93% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)
 NON COMBUSTIBLE CONSTRUCTION AND NON COMBUSTIBLE CLADDING

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.501	3
20	10	10.003	15
20.32	9.936	9.9379	14.872
25	9	9.006	13

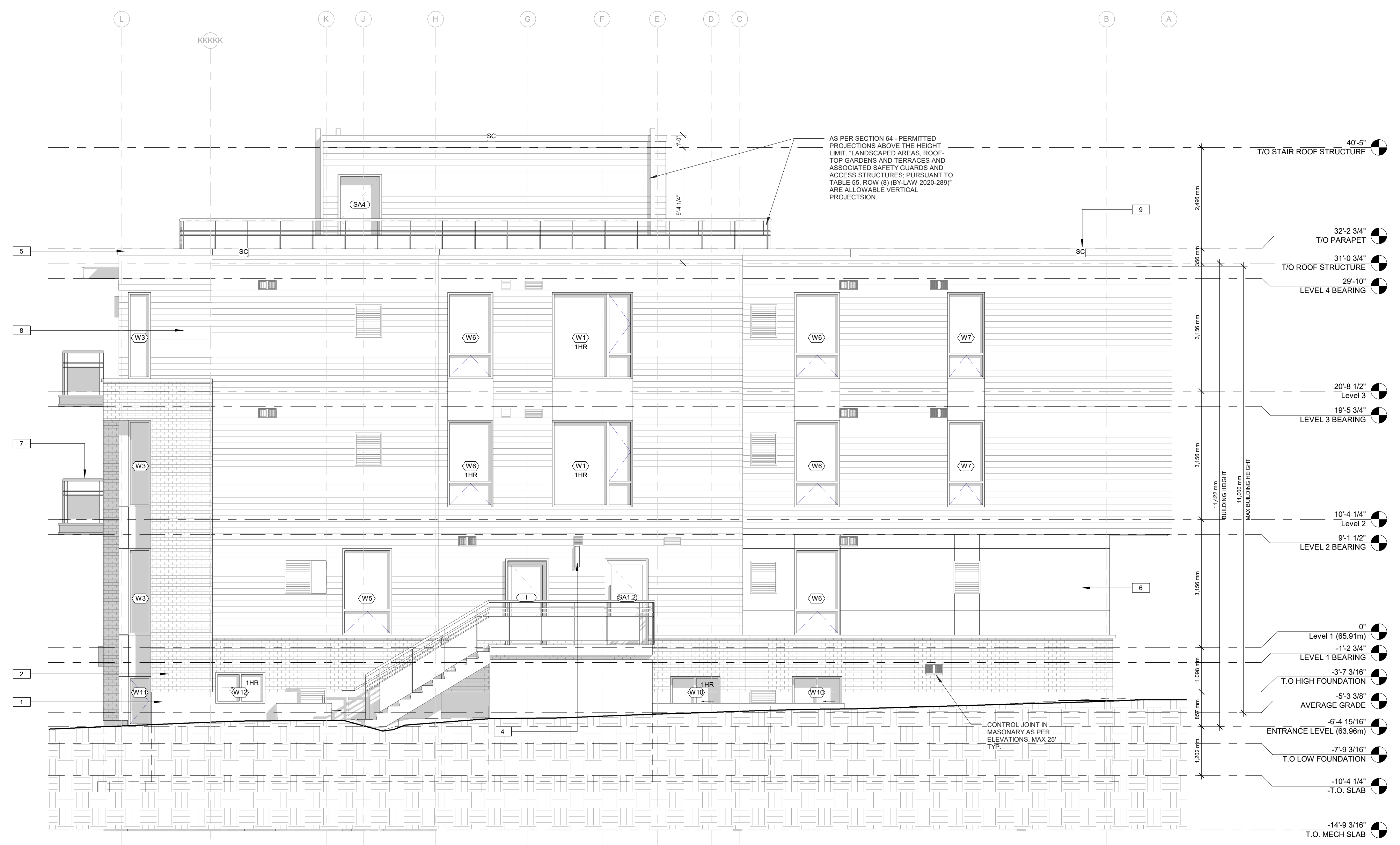
2
A4.1
 SOUTH ELEVATION LIMITING DISTANCE CALCS
 SCALE 1 : 200



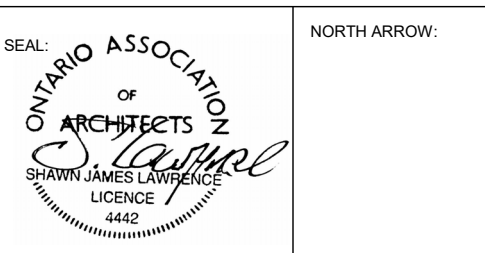
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KEYNOTES-ELEVATION

NOTE NUMBER	NOTE TEXT
1	CEMENT PARKING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
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6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
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8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



1 NORTH ELEVATION
 SCALE 1:65



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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY:
 D.T. CHECKED BY:
 B.L. S.J.L.

PLOT DATE:
 2023-07-17 10:44:01 AM

JOB NUMBER:
 SL-1077-22 SCALE:
 As Indicated

A4.2

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
15	1.58	2
25	9	9.64
25.04	9	9.63872
30	9	9.48

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.58	2
9	9.64	13
9.63872	12.992	
9.48	12	

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
15	1.58	2
15	10	11.12
18.53	10	10.8941
20	10	10.8

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.51	2
9	9.06	12
8.711	8.771	11.711
8	8.06	11

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.51	2
9	9.06	12
8.953	9.013	11.953
8	8	8.06

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.51	2
12	12.18	21
10	12.18	21
10	12	21

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.51	2
12	12.18	21
10	12.18	21
10	12	21

1.58m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 26.55m² EXPOSED BUILDING FACE
 8.86% PROPOSED UNPROTECTED OPENING
 9.63% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

1.77m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 25.04m² EXPOSED BUILDING FACE
 9.50% PROPOSED UNPROTECTED OPENING
 9.63% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

1.58m BUILDING SETBACK
 1.95m² UNPROTECTED OPENING
 18.53m² EXPOSED BUILDING FACE
 10.22% PROPOSED UNPROTECTED OPENING
 10.89% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

1.51m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 30.47m² EXPOSED BUILDING FACE
 7.81% PROPOSED UNPROTECTED OPENING
 9.01% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

1.58m BUILDING SETBACK
 0.9m² UNPROTECTED OPENING
 3.20m² EXPOSED BUILDING FACE
 0% PROPOSED UNPROTECTED OPENING
 12.18% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

1.89m BUILDING SETBACK
 0.9m² UNPROTECTED OPENING
 8.4m² EXPOSED BUILDING FACE
 10.71% PROPOSED UNPROTECTED OPENING
 12.18% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.51	2
10	12	12.18
10	12	12.18
10	12	12.18

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.51	2
10	12	12.18
10	12	12.18
10	12	12.18

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.51	2
10	12	12.18
10	12	12.18
10	12	12.18

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
1.5	1.51	2
10	12	12.18
10	12	12.18
10	12	12.18

2 NORTH ELEVATION LIMITING DISTANCE CALCS
 SCALE 1:200

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1 Spring Equinox 9am
 SS.1 SCALE 1: 1000



2 Summer Solstice 9am
 SS.1 SCALE 1: 1000



3 Fall Equinox 9am
 SS.1 SCALE 1: 1000



4 Winter Solstice 9am
 SS.1 SCALE 1: 1000



5 Spring Equinox 12pm
 SS.1 SCALE 1: 1000



6 Summer Solstice 12pm
 SS.1 SCALE 1: 1000



7 Fall Equinox 12pm
 SS.1 SCALE 1: 1000



8 Winter Solstice 12pm
 SS.1 SCALE 1: 1000



9 Spring Equinox 4pm
 SS.1 SCALE 1: 1000



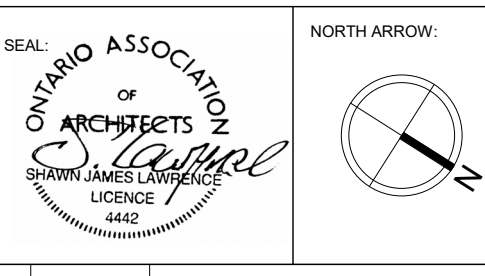
10 Summer Solstice 4pm
 SS.1 SCALE 1: 1000



11 Fall Equinox 4pm
 SS.1 SCALE 1: 1000



12 Winter Solstice 4pm
 SS.1 SCALE 1: 1000



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 T: (613) 739 7770 F: (613) 739 7703


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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
SUN STUDY

DRAWN BY:
 D.T.
 CHECKED BY:
 B.L. S.J.L.
 PLOT DATE:
 2023-07-17 10:44:09 AM
 JOB NUMBER:
 SL-1077-22
 SCALE:
 1: 1000