

BDP. Quadrangle

Quadrangle Architects Limited
The Well, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S8
t 416 598 1240 www.bdpquadrangle.com

1299 Richmond Road, Ottawa



for
Brigil

Project No. 22026
Date 2023-06-01
Issued for Zoning By-Law Amendment & Site Plan Approval

ARCHITECTURAL DRAWINGS

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LANDSCAPE

Steform Inc. Landscape Architecture
Ottawa ON K1S 3G8
613 796 4537

TOPOGRAPHICAL PLAN OF SURVEY OF
PART OF LOTS 1 and 2
REGISTERED PLAN 408456
CITY OF OTTAWA
Surveyed by Arnis, O'Sullivan, Vollebek Ltd.
REVISION NOTE: Plan updated to show
topographical features on Assaly Road
April 12, 2023

Notes & Legend

○ MH-T	Maintenance Hole (Traffic)	T/G	Top of Grate
○ MH-H	Maintenance Hole (Hydro)	GV	Gas Valve
○ MH-F	Fire Hydrant	GM	Gas Meter
○ MH-W	Water Valve	AC	Air Conditioner
○ MH-V	Valve Chamber (Watermain)	WW	Wooden Retaining Wall
○ MH-S	Traffic Signal Post	BRW	Brick Retaining Wall
○ MH-C	Handhole	CRW	Concrete Retaining Wall
○ MH-O	Overhead Wires	○	Diameter
○ MH-CR	Cut Cross	○	Location of Elevation
○ MH-W	Witness	○	Top of Curb / Wall Elevations
○ MH-M	Measured	○	Centeline
○ MH-A	Arnis, O'Sullivan, Vollebek Ltd.	○	Deciduous Tree
○ MH-R	Registered Plan 408456		
○ MH-P	(AOG) Plan May 16, 2007		
○ MH-S	(1287) Plan May 13, 1994		
○ MH-T	Maintenance Hole (Storm Sewer)		
○ MH-S	Maintenance Hole (Sanitary)		

SITE AREA = 4142.3 m²

ELEVATION NOTES

- Elevations shown are geodetic, derived from the Vertical Control Monument 2015-0135 having an elevation of 68.405 metres and are referred to the CGD0208 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating, etc.

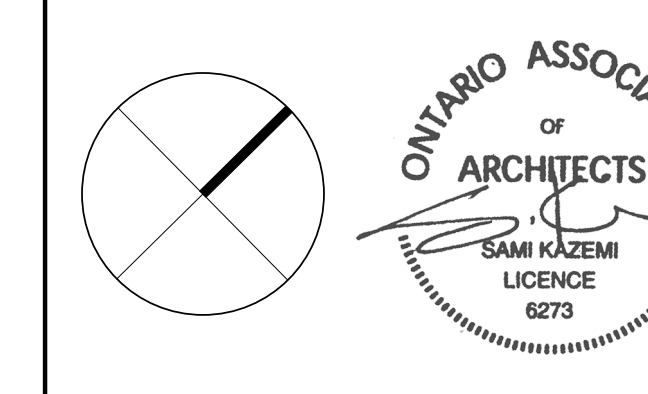


SITE PLAN LEGEND

---	PROPERTY LINE
---	LINE OF UNDERGROUND GARAGE BELOW
→	MAIN BUILDING ENTRANCE
→	PETAL ENTRANCE
→	EXIT
→	VEHICLE / LOADING ENTRANCE / EXIT
○	FIRE HYDRANT
○	GAS METER CONNECTION
○	MANHOLE COVER
○	AREA DRAIN
○	FLOOR DRAIN (PARKING SLAB)
○	FLOOR DRAIN (INTERIOR)
○	EXISTING LIGHT
○	TYPICAL PARKING SPACE
○	TYPICAL B.P. PARKING SPACE
○	FINISH FLOOR ELEVATION
○	EXISTING ELEVATION
○	PROPOSED ELEVATION
○	TOP OF ROOF
○	BUILDING ENVELOPE
○	GREEN ROOF
○	TERRACE PAVERS

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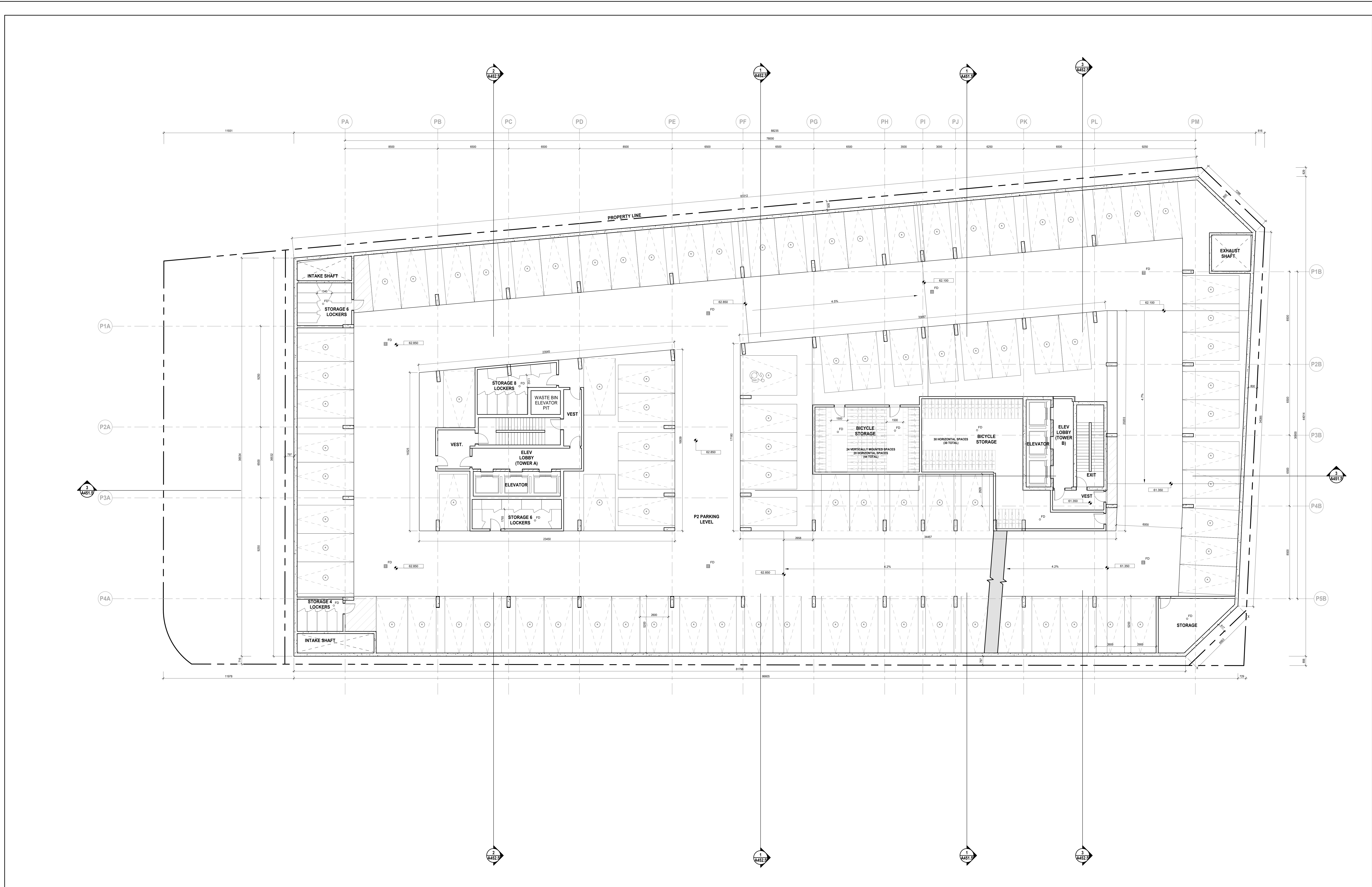
for Brigid

22026 1:100 BS, GZ RL
PROJECT SCALE DRAWN REVIEWED

Site Plan

A102.S

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- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2500mm WIDE X 5200mm LONG
 - 3000mm WIDE X 5200mm LONG (ACCESSIBLE)
 2. MAINTAIN MINIMUM DRIVEWAY WIDTH OF 8000mm UNLESS OTHERWISE NOTED.
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.
- PARKING LEGEND:**
- AUTO SHARE PARKING SPACE
 - RESIDENTIAL OCCUPANT PARKING SPACE
 - SHARED VISITOR/COMMERCIAL PARKING SPACE
 - BIKE LOCKER
 - BIKE PARKING (STACKED)
 - BIKE PARKING (VERTICAL)
 - CONVEX MIRROR
 - ELECTRIC VEHICLE
 - AD, FD, DB DRAIN, AREA DRAIN, FLOOR DRAIN, CATCH BASIN
 - PAINTED LINES
 - FIRE RATED BULKHEAD
 - TYPICAL SMALL CAR ACCESSIBLE
 - DESIGN OF PUBLIC SPACES - ACCESSIBLE VISITOR - TYPE A
 - DESIGN OF PUBLIC SPACES - ACCESSIBLE VISITOR - TYPE B

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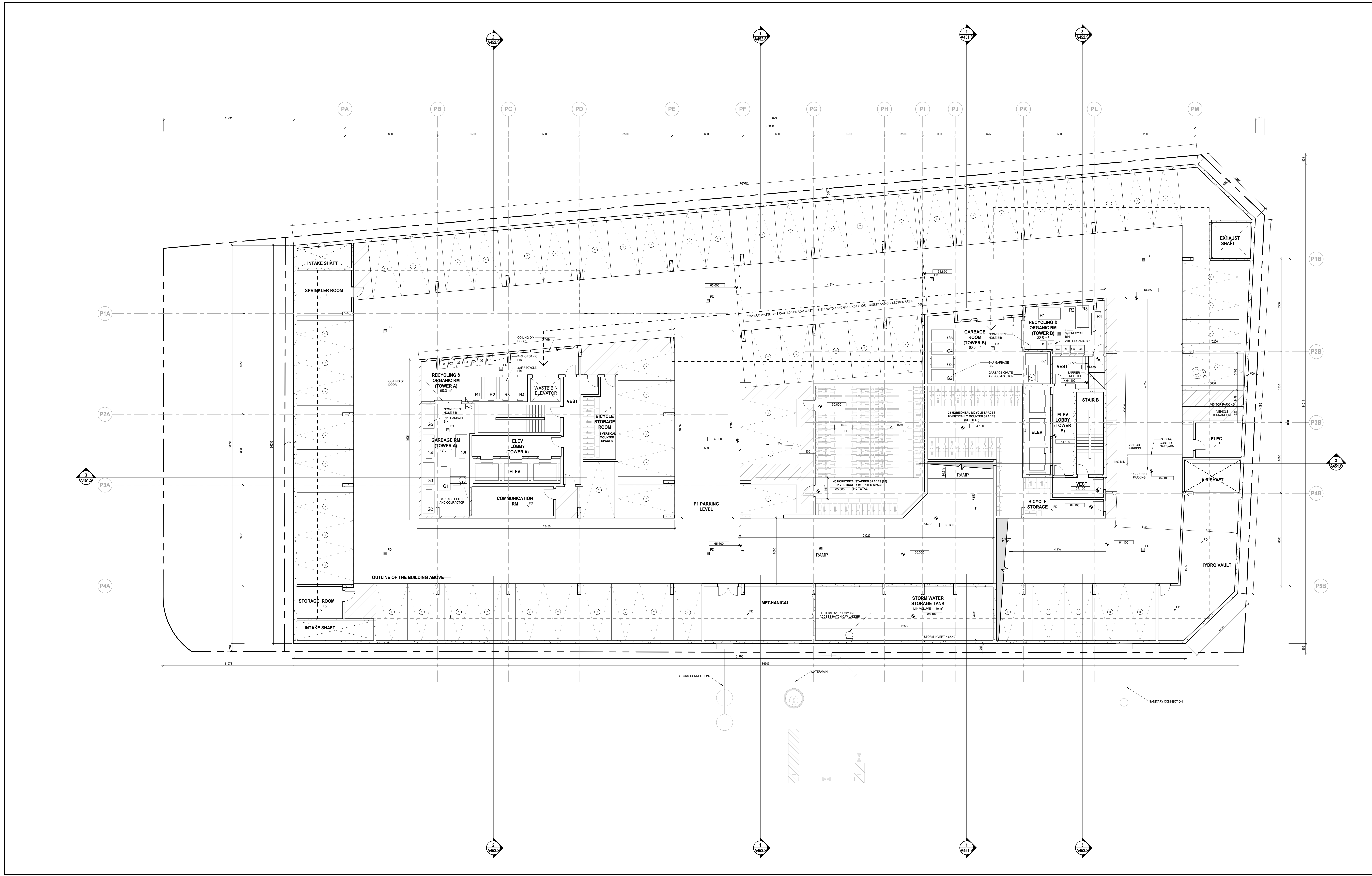
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 PROJECT SCALE DRAWN REVISED

P2 Underground Level

A151.S

1 A151.S P2 Underground Level

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- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2500mm WIDE X 5200mm LONG
 - 3000mm WIDE X 5200mm LONG (ACCESSIBLE)
 2. MAINTAIN MINIMUM DRIVEABLE WIDTH OF 8000mm (UNLESS OTHERWISE NOTED)
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT
- PARKING LEGEND:**
- (Symbol) AUTO SHARE PARKING SPACE
 - (Symbol) RESIDENTIAL OCCUPANT PARKING SPACE
 - (Symbol) SHARED VISITOR/COMMERCIAL PARKING SPACE
 - (Symbol) BIKE LOCKER
 - (Symbol) BIKE PARKING (STACKED)
 - (Symbol) BIKE PARKING (VERTICAL)
 - (Symbol) CONVEX MIRROR
 - (Symbol) ELECTRIC VEHICLE
 - (Symbol) AD, FD, LB DRAIN, AREA DRAIN, FLOOR DRAIN, CATCH BASIN
 - (Symbol) PAINTED LINES
 - (Symbol) FIRE-RATED BULKHEAD
 - (Symbol) TYPICAL SMALL CAR ACCESSIBLE
 - (Symbol) DESIGN OF PUBLIC SPACES - ACCESSIBLE VISITOR - TYPE A
 - (Symbol) DESIGN OF PUBLIC SPACES - ACCESSIBLE VISITOR - TYPE B

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 PROJECT SCALE DRAWN REVIEWED

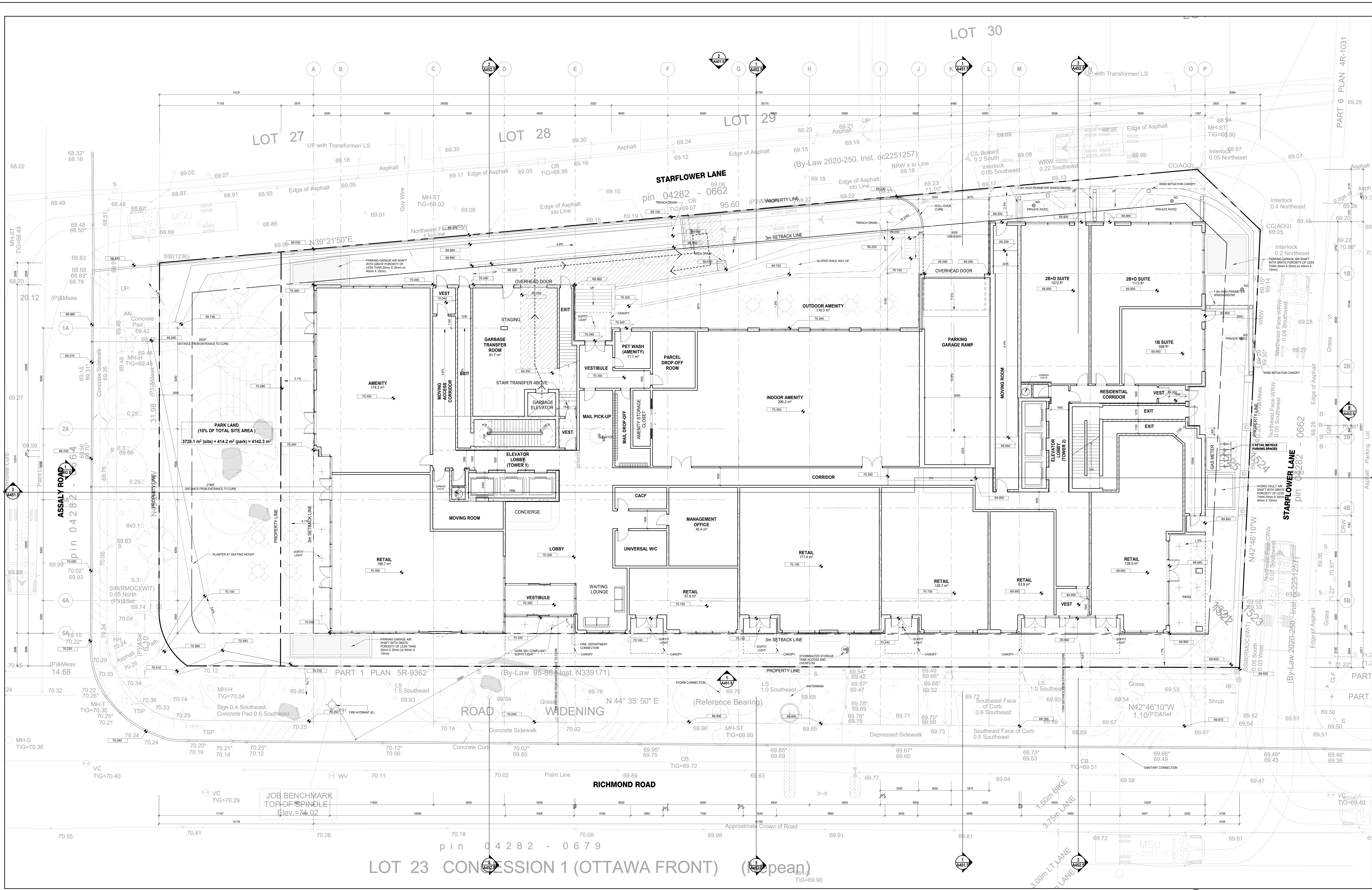
P1 Underground Level

A152.S

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1 A152.S P1 Underground Level

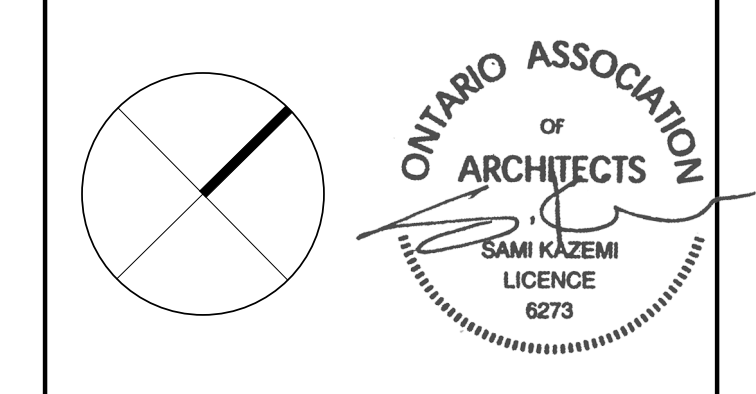
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LOT 23 CONCESSION 1 (OTTAWA FRONT) (Keegan)

1 GROUND FLOOR PLAN

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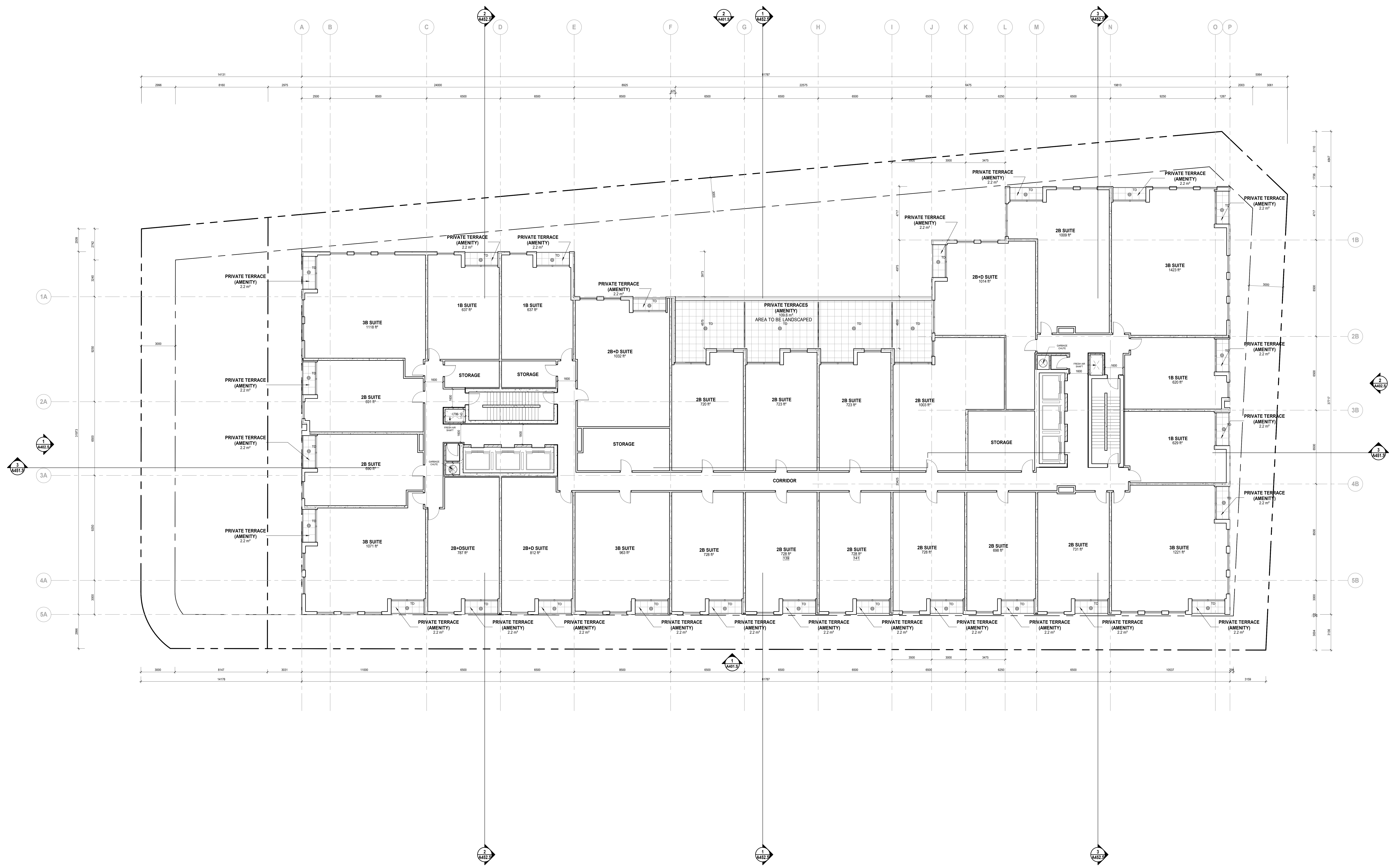
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 PROJECT SCALE DRAWN REVISED

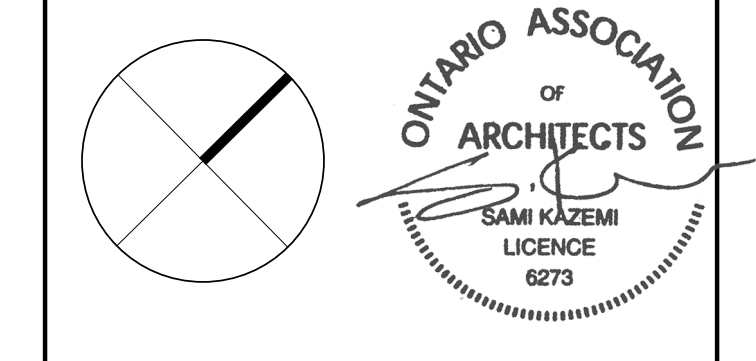
Ground Floor Plan
A201.S

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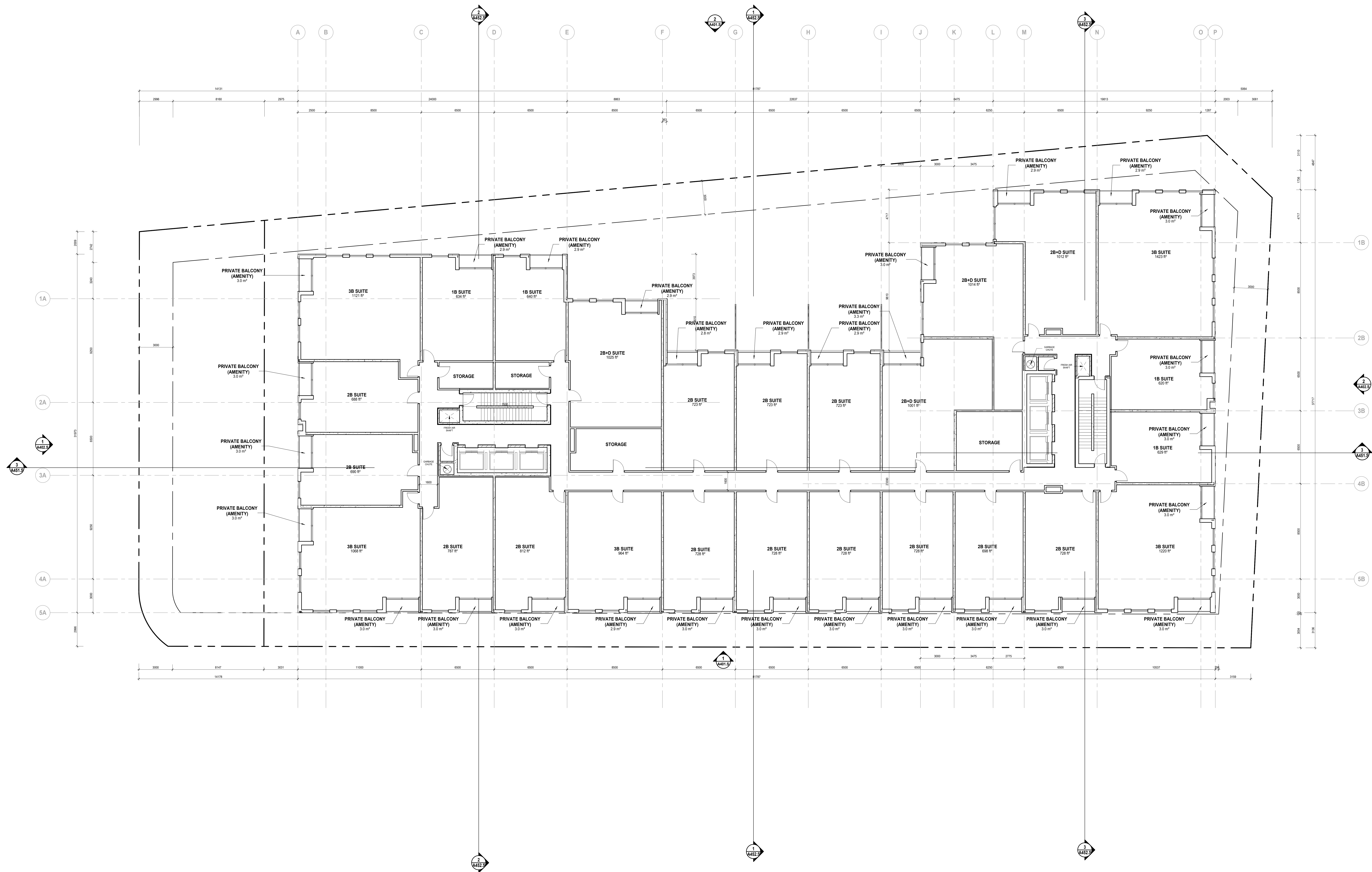
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 PROJECT SCALE DRAWN REVIEWED

2nd Floor Plan

A203.S

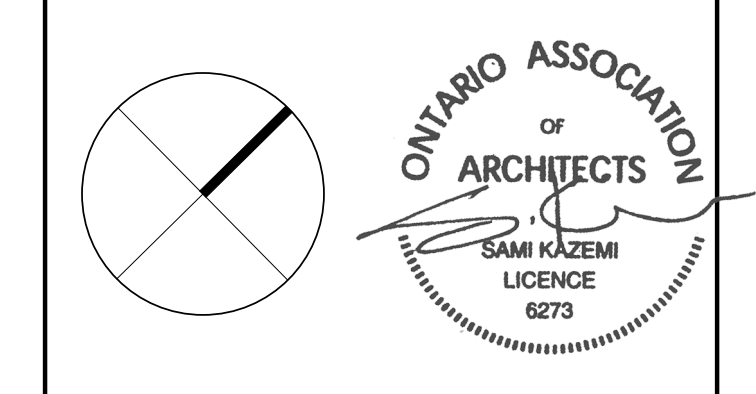
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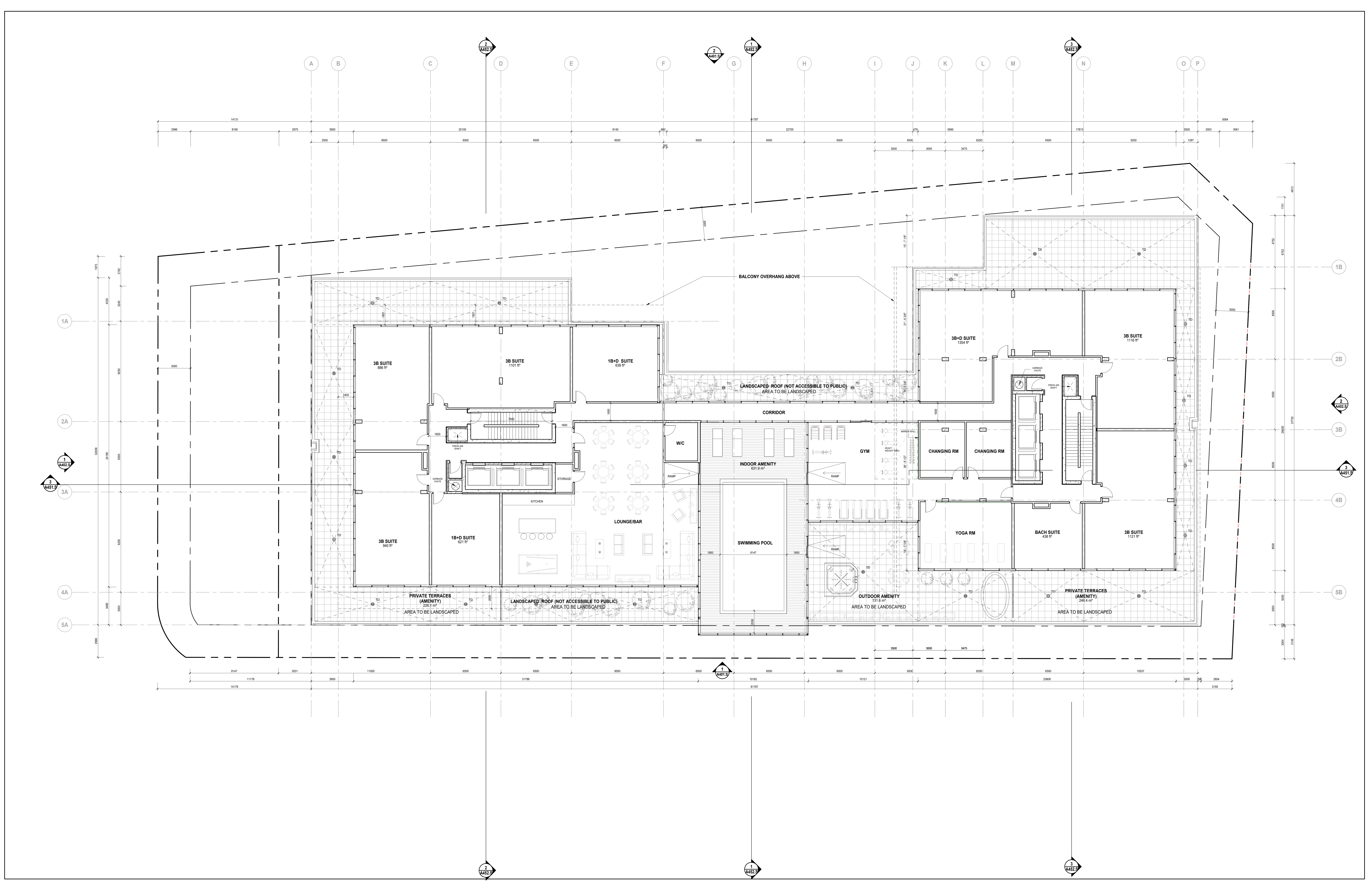
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PROJECT SCALE DRAWN REVIEWED

3rd - 4th Floor Plan

A204.S

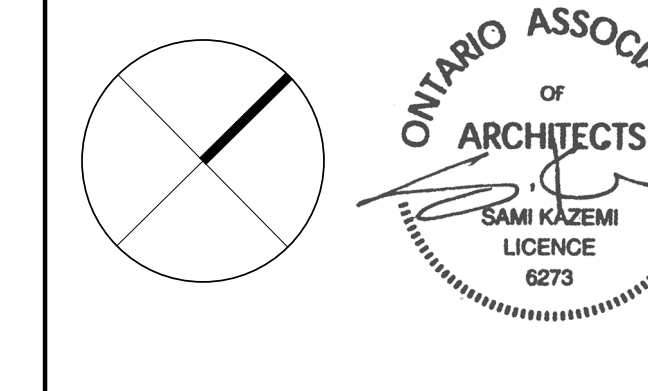
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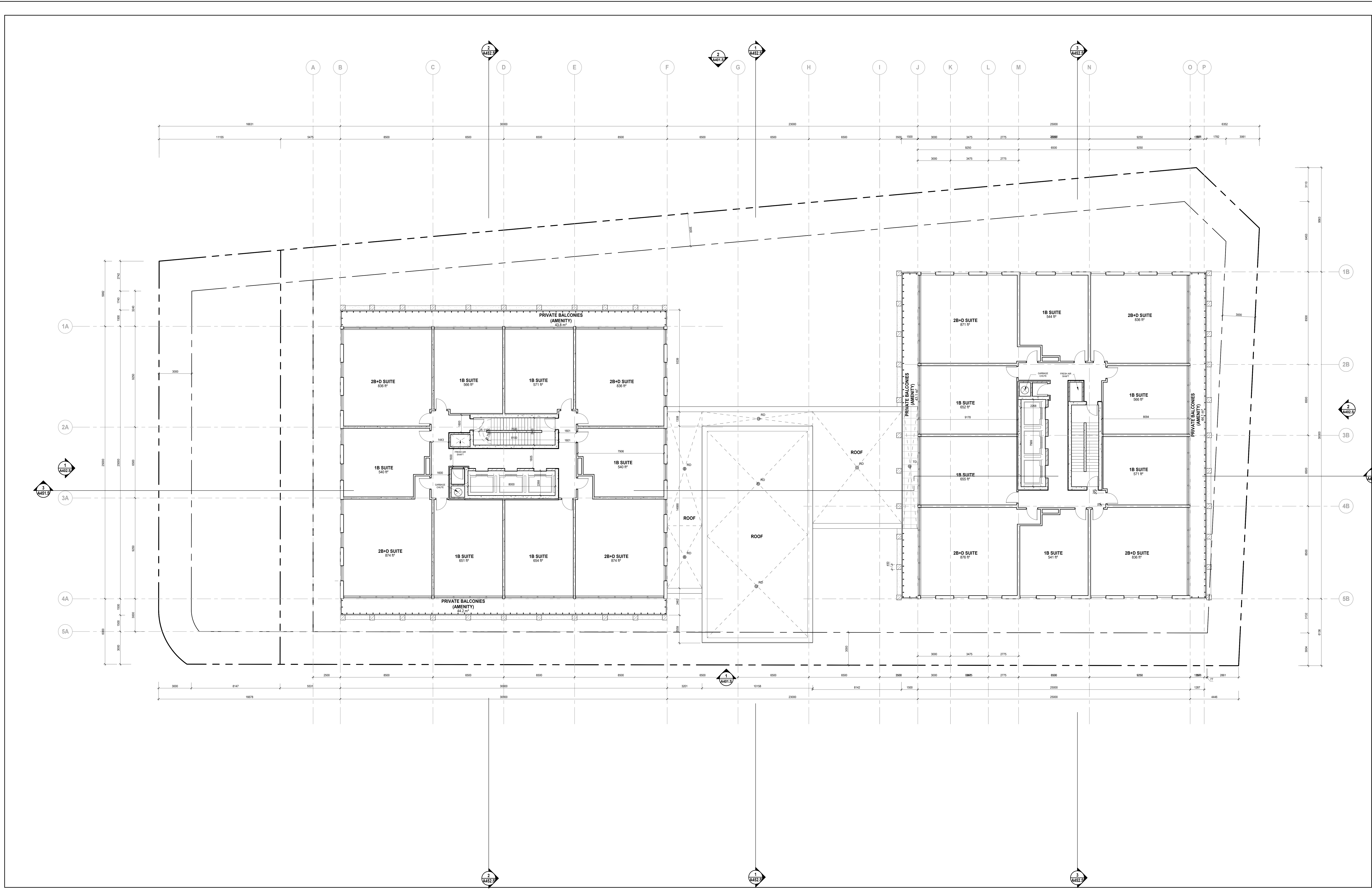
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PROJECT SCALE DRAWN REVISED

5th Floor Plan

A205.S

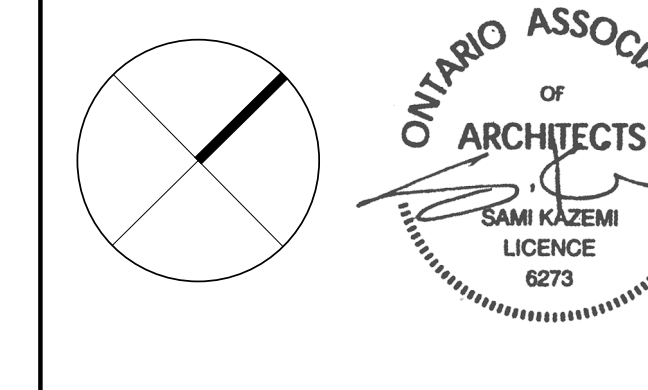
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22026 1:100 RJL RJL
PROJECT SCALE DRAWN REVIEWED

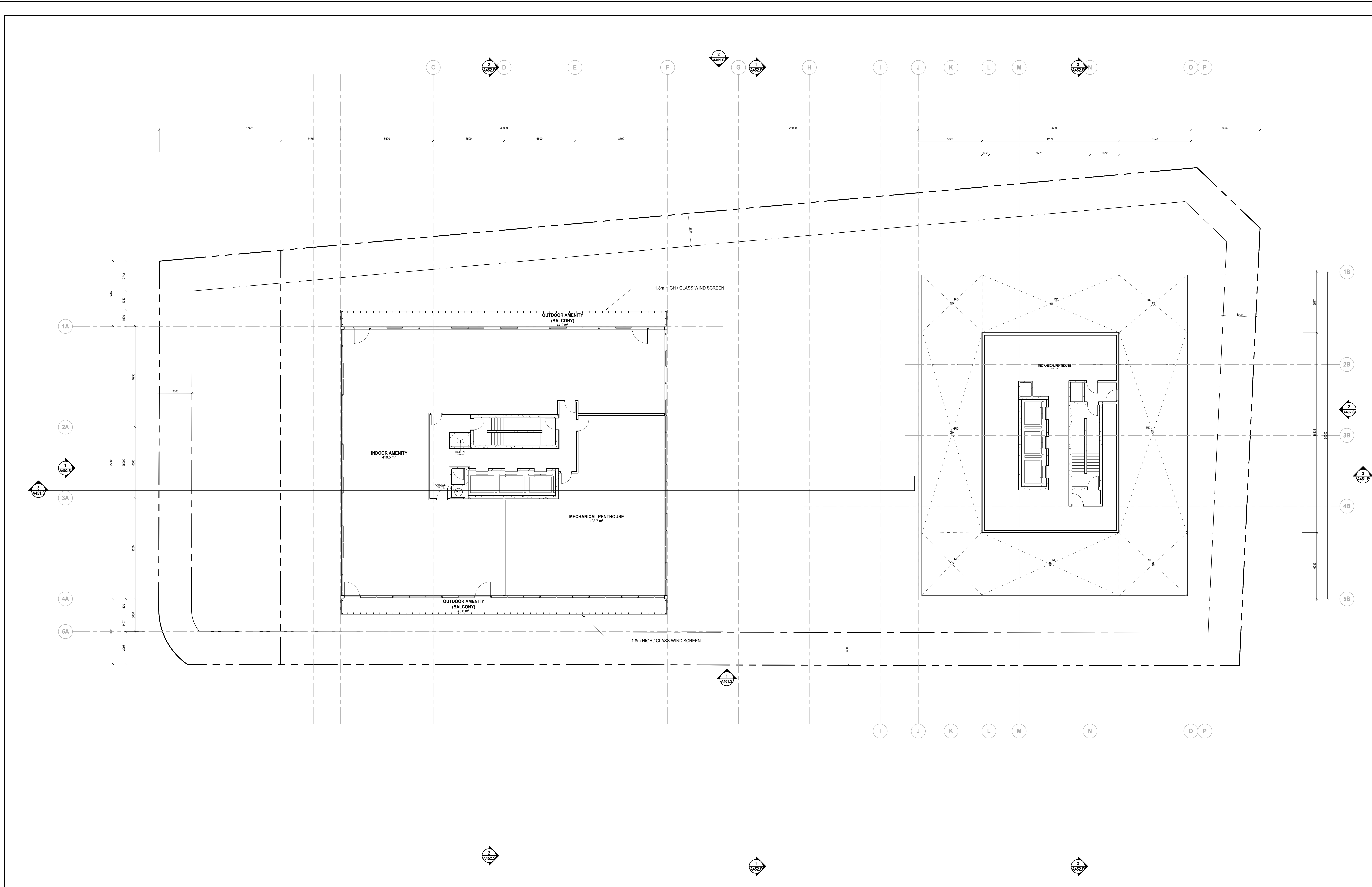
6th Floor Plan

A206.S

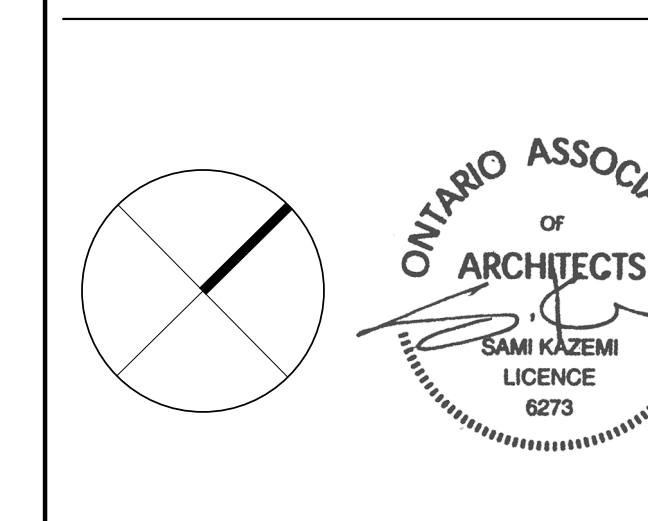
1/4462.S SIXTH FLOOR PLAN

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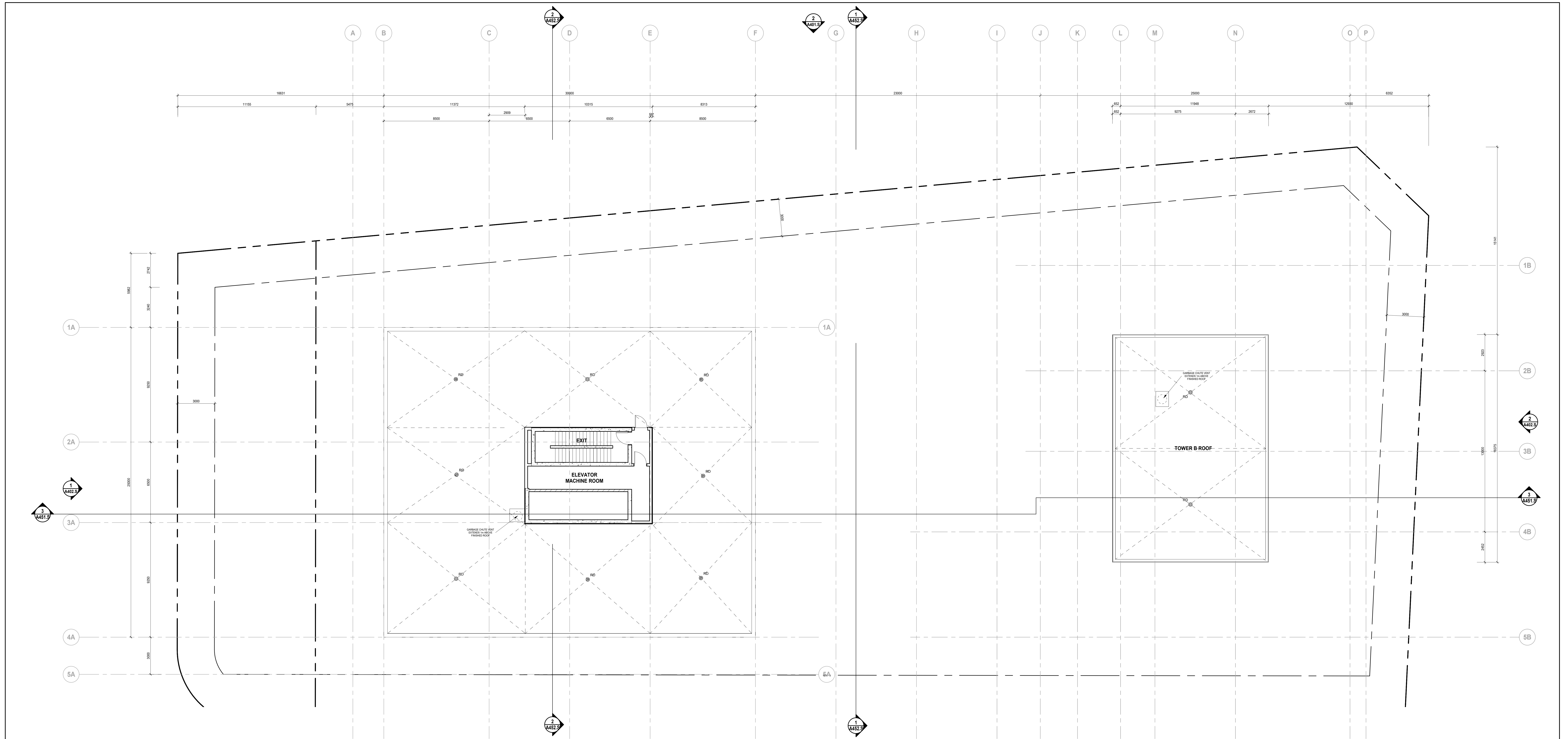
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PROJECT SCALE DRAWN REVIEWED

Mechanical Penthouse & Sky Lounge

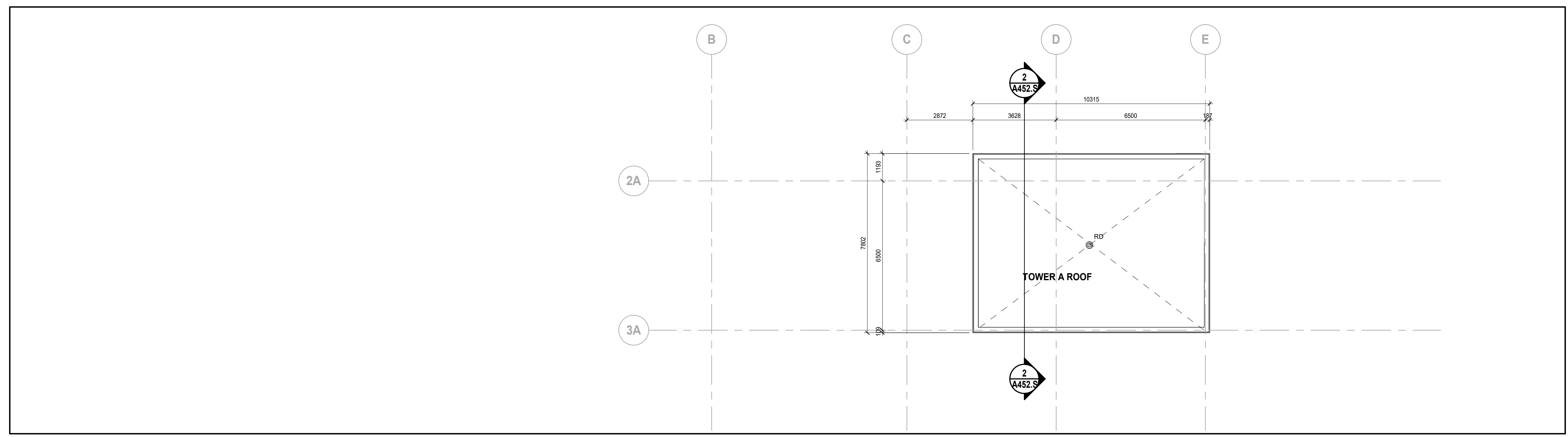
A233.S

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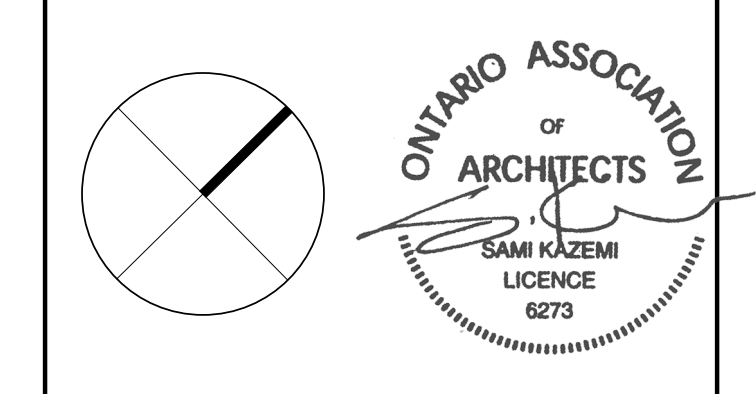


1
A234.S TOWER A ROOF PLAN



2
A234.S TOWER A ELEV MACHINE ROOM & TOWER B ROOF

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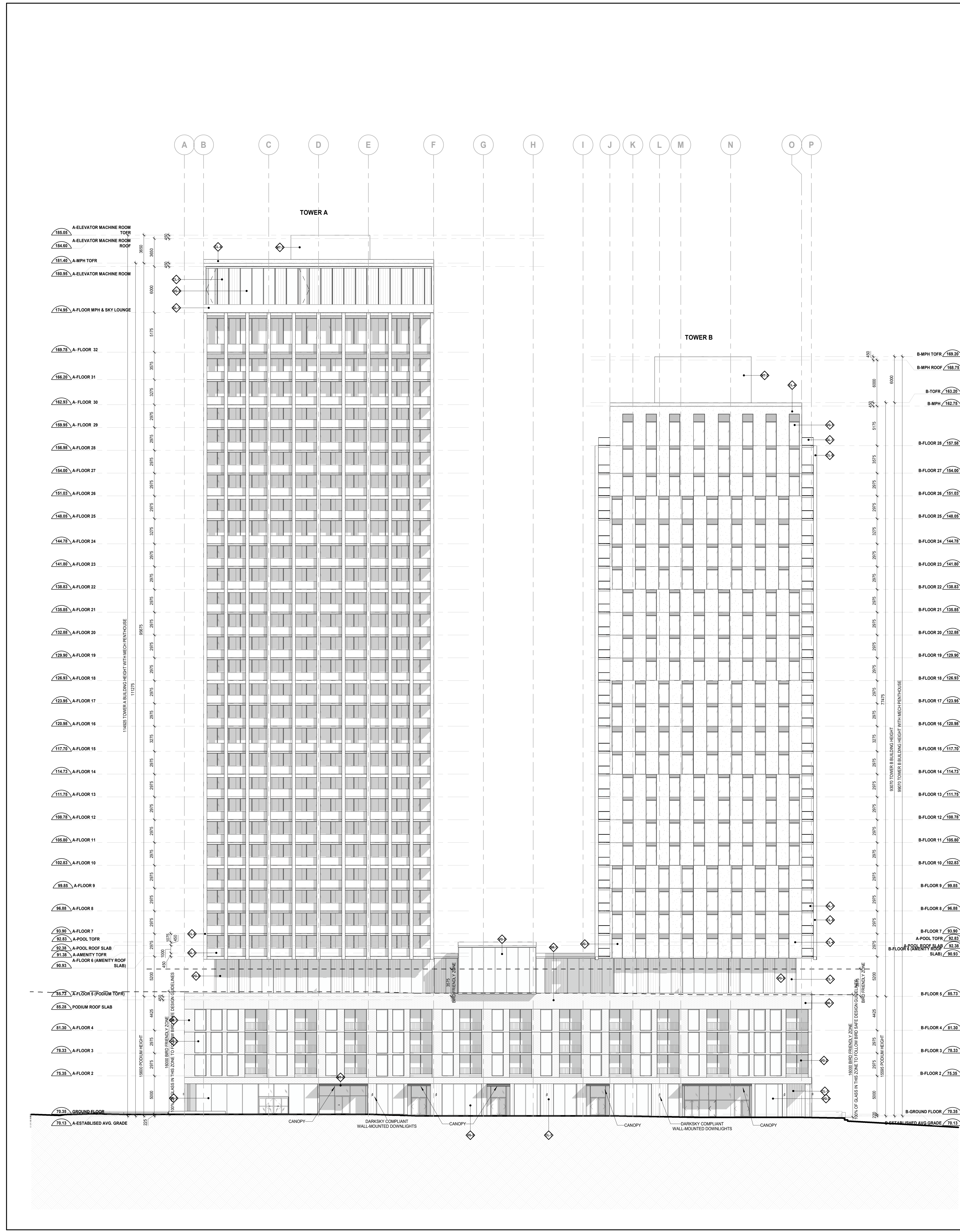
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 PROJECT SCALE DRAWN REVIEWED

Tower A Elevator Machine Room
 & Tower B Roof

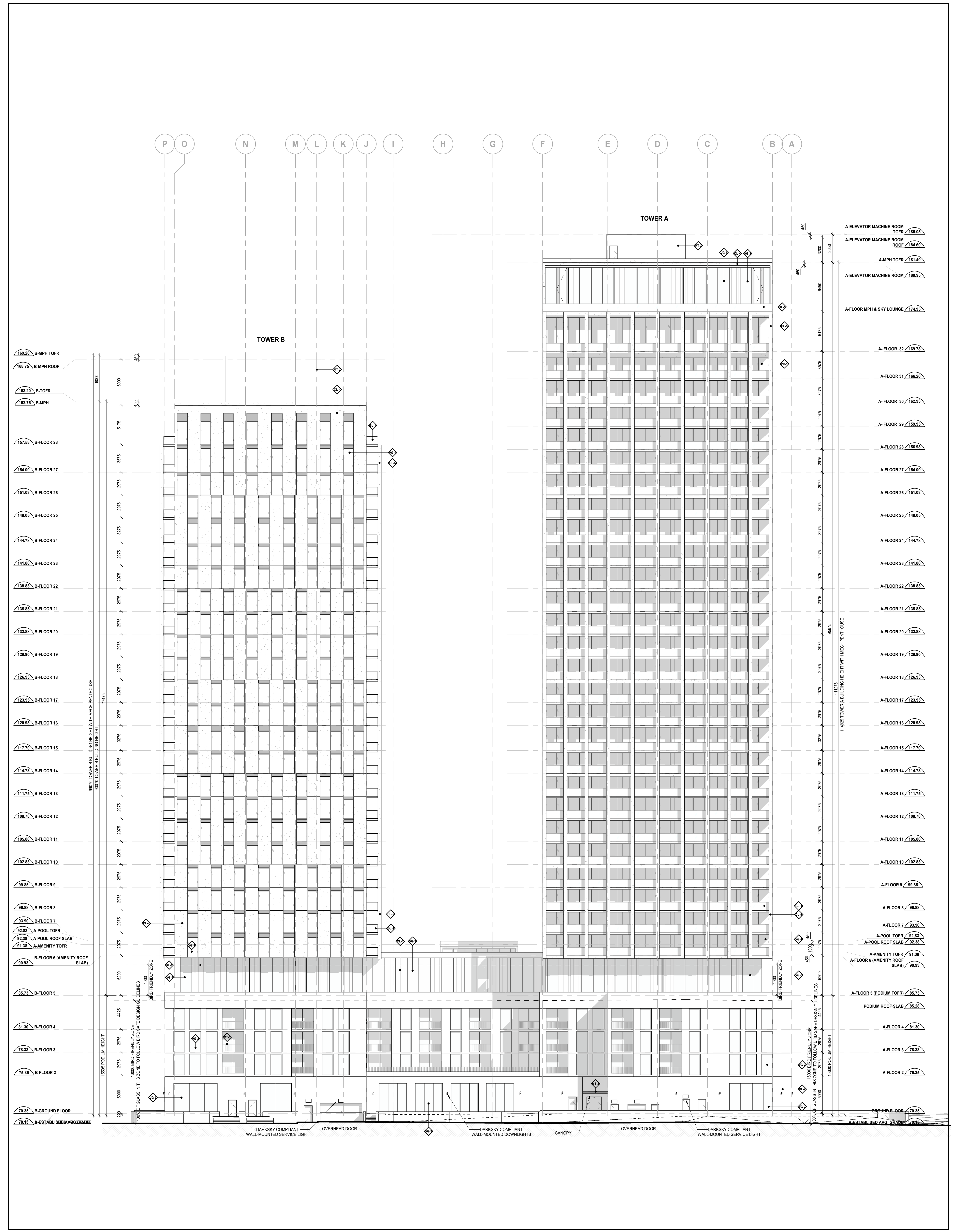
A234.S

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1 South Elevation



2 North Elevation

LEGEND:

- ◆ BRICK - COLOUR 1
- ◆ CLADDING TEXTURE COLOUR 5
- ◆ CLADDING TEXTURE COLOUR 5
- ◆ CLADDING TEXTURE COLOUR 5
- ◆ CLADDING TEXTURE COLOUR 5
- ◆ CLADDING TEXTURE COLOUR 5
- ◆ CLADDING TEXTURE COLOUR 5
- ◆ BALCONY AND TERRACE RAILING HANDRAILS AND FINISH SCREEN SUPPORT FELTS, HANDRAILS
- ◆ DARK GREY METAL
- ◆ SHEET STEEL CLADDING SYSTEM
- ◆ RESIDENTIAL VISION GLASS - 10U
- ◆ RESIDENTIAL VISION GLASS V-G WITH BRD FRIENDLY FRIT PATTERN
- ◆ RETAIL VISION GLASS WITH BRD FRIENDLY FRIT PATTERN
- ◆ RAILING GLASS
- ◆ RAILING GLASS WITH BRD FRIENDLY FRIT PATTERN
- ◆ PRIVACY SCREEN GLASS
- ◆ RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
- ◆ ARCHITECTURAL LOUVER
- ◆ ELASTOMERIC COATING AT BALCONY UNDERSIDE
- ◆ EXTERIOR YELLOW METAL DOOR AND FRAME PAINT COLOUR

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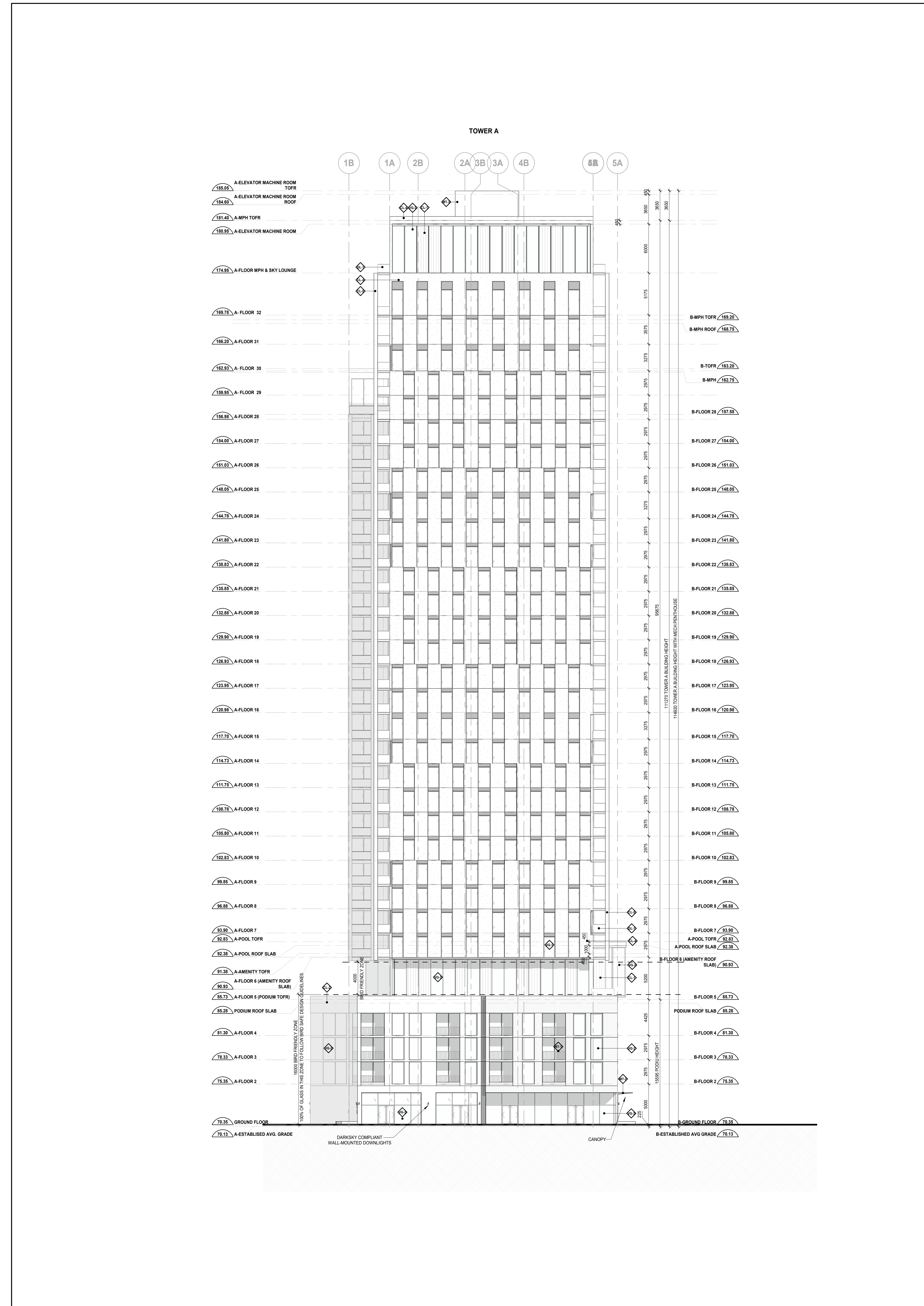
for Brigid

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 PROJECT SCALE DRAWN REVISED

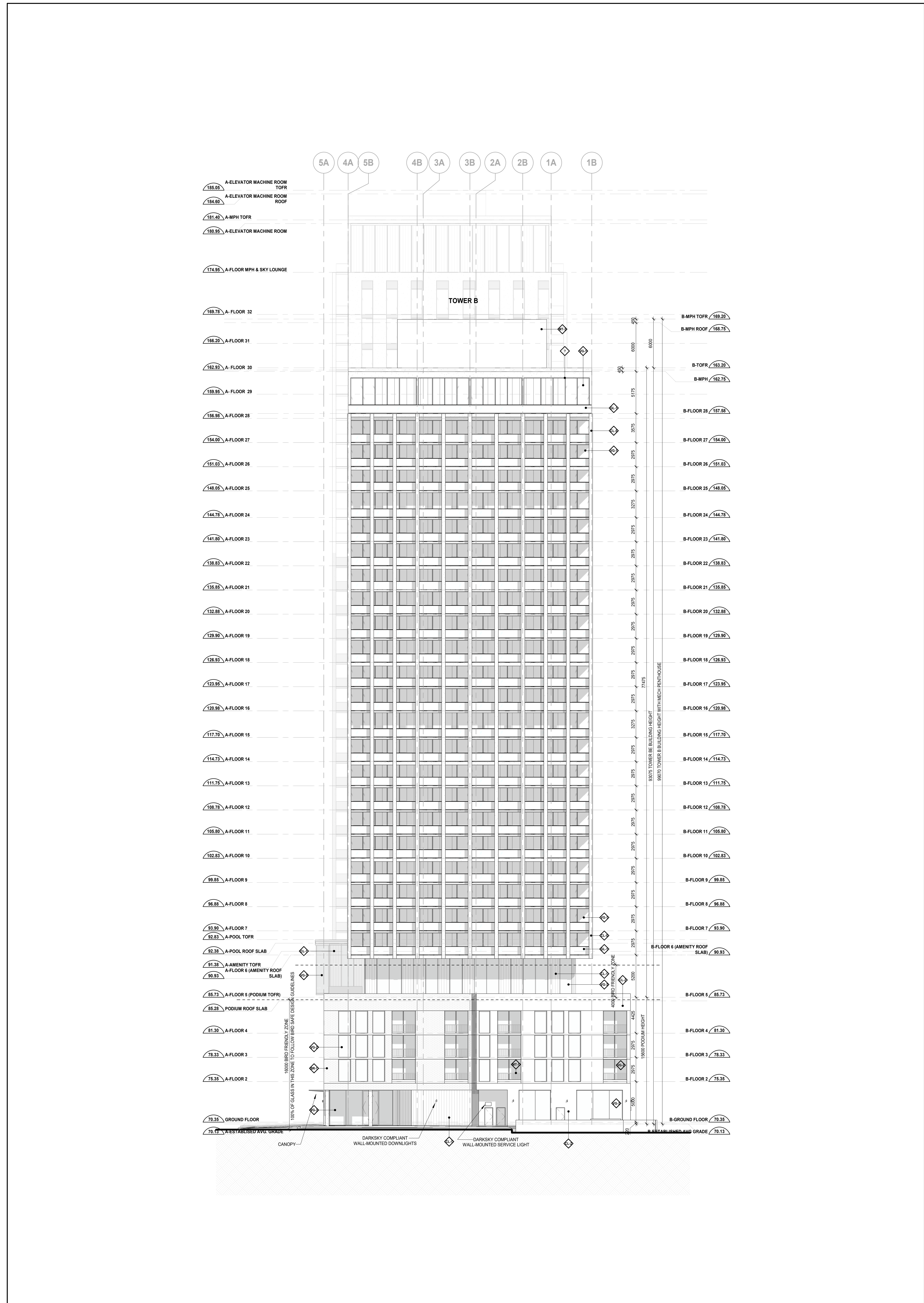
North & South Elevation

A401.S

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1 West Elevation
A402.5



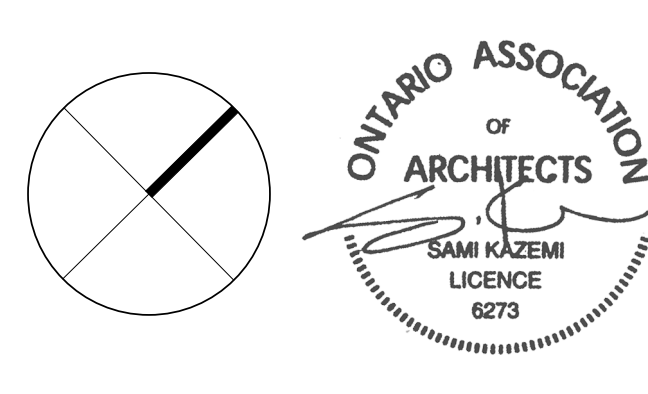
2 East Elevation
A402.5

- LEGEND:**
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 - ◊ CLADDING TEXTURE COLOUR 5
 - ◊ CLADDING TEXTURE COLOUR 5
 - ◊ CLADDING TEXTURE COLOUR 5
 - ◊ CLADDING TEXTURE COLOUR 5
 - ◊ CLADDING TEXTURE COLOUR 5
 - ◊ BALCONY AND TERRACE RAILING HANDRAILS AND PRIVACY SCREEN SUPPORT POSTS, HANDRAILS
 - ◊ DARK GREY METAL
 - ◊ SHEET STEEL CLADDING SYSTEM
 - ◊ RESIDENTIAL VISION GLASS - 10U
 - ◊ RESIDENTIAL VISION GLASS V6-1 WITH BIRD FRIENDLY FRIT PATTERN
 - ◊ RETAIL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
 - ◊ RAILING GLASS
 - ◊ RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
 - ◊ PRIVACY SCREEN GLASS
 - ◊ RESIDENTIAL AND STOREFRONT WINDOW SYSTEM GLASS
 - ◊ ARCHITECTURAL LOUVER
 - ◊ ELASTOMERIC COATING AT BALCONY LANDSCAPE
 - ◊ EXTERIOR HOLLOW METAL DOOR AND FRAME PAINT COLOUR

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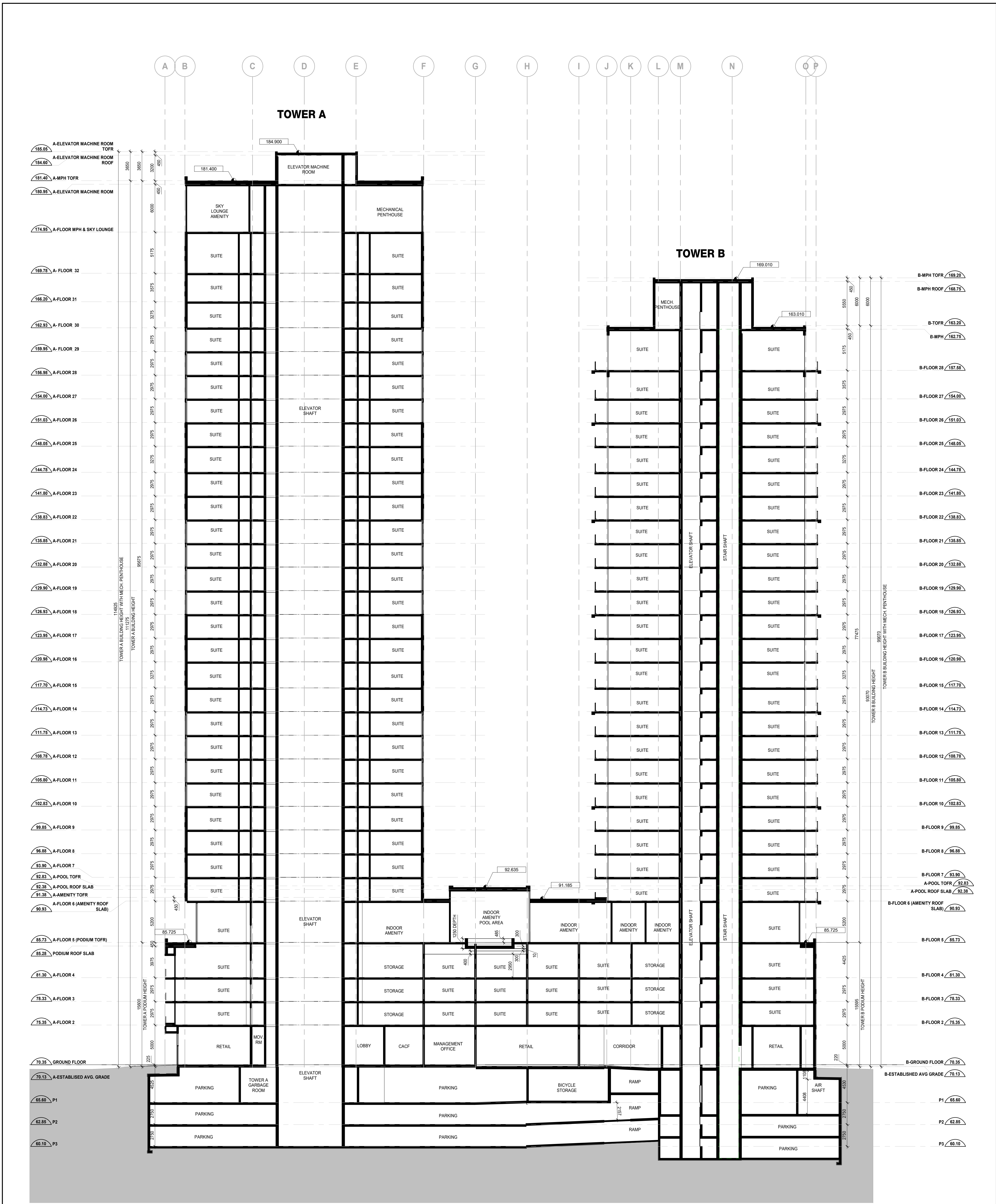
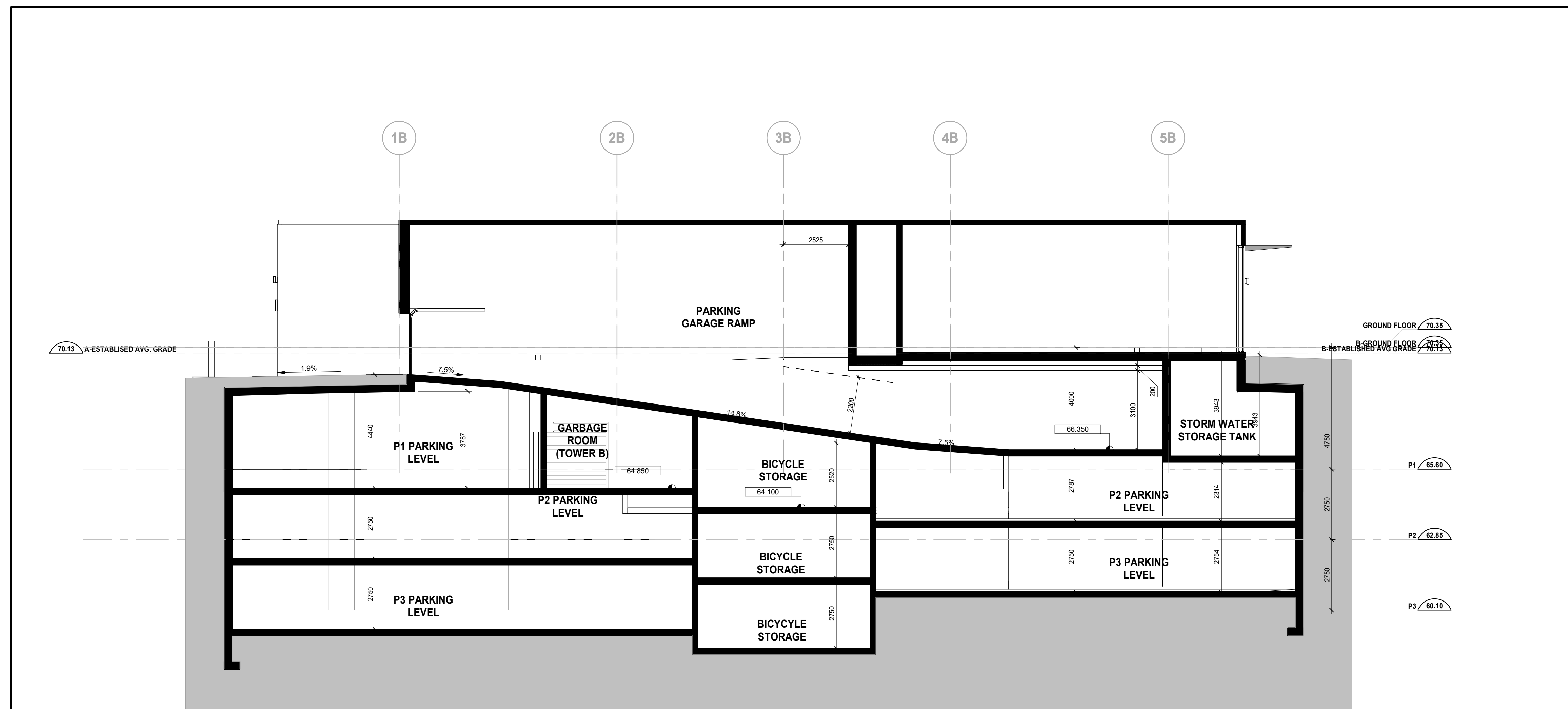
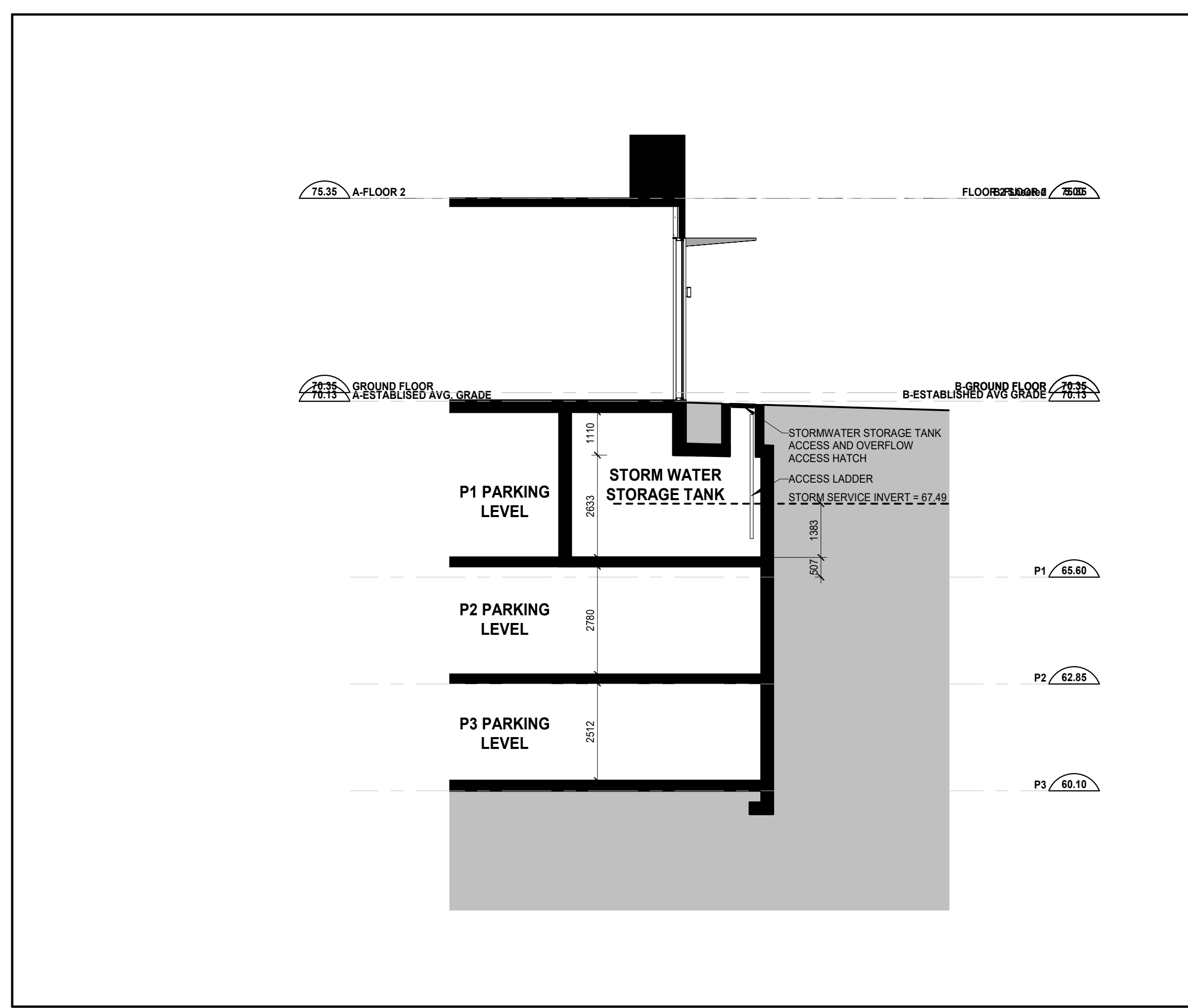
22026 1:200 GZ RJL
PROJECT SCALE DRAWN REVIEWED

East & West Elevations

A402.S

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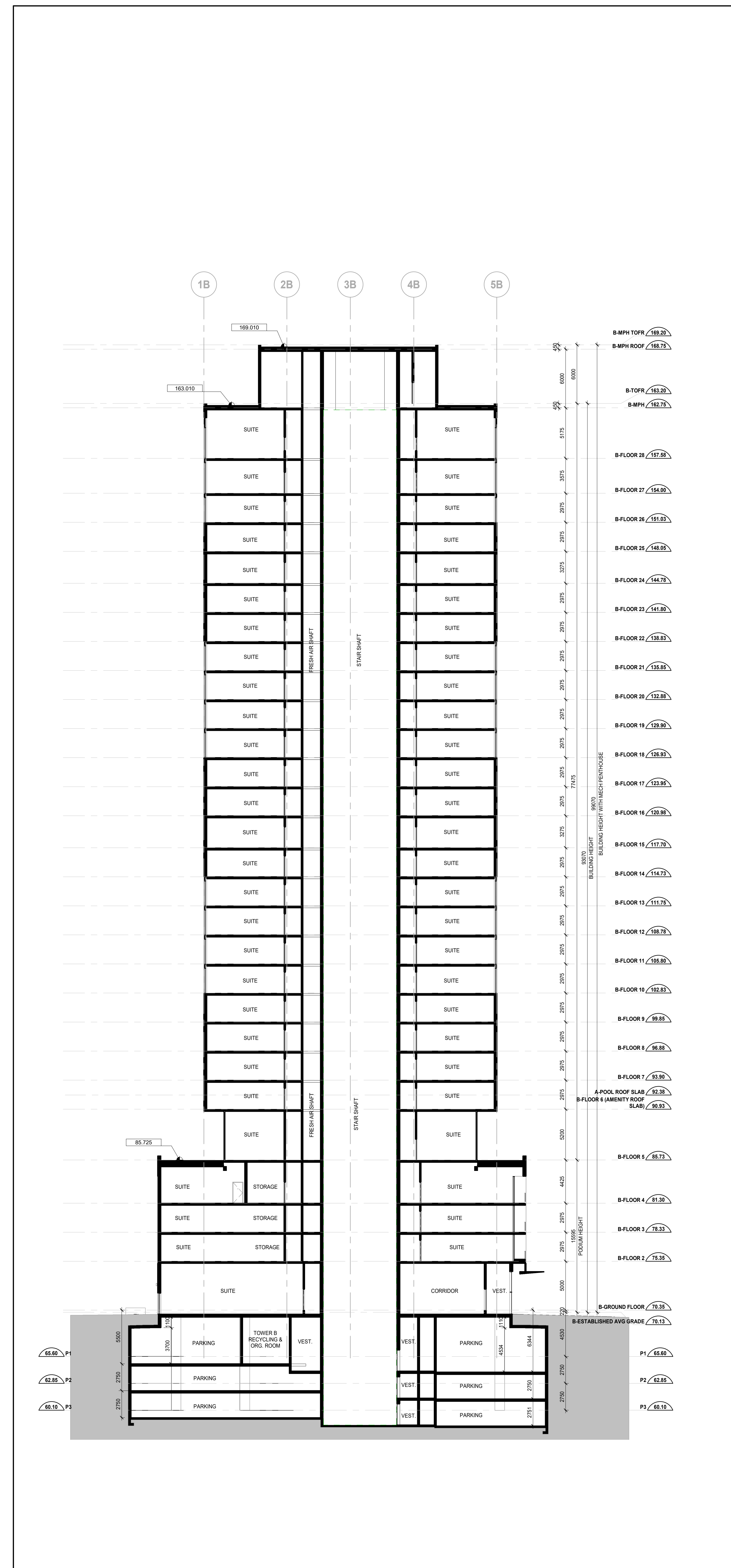
Quadrangle Architects Limited
1299 Richmond Road, Ottawa
for Brigid

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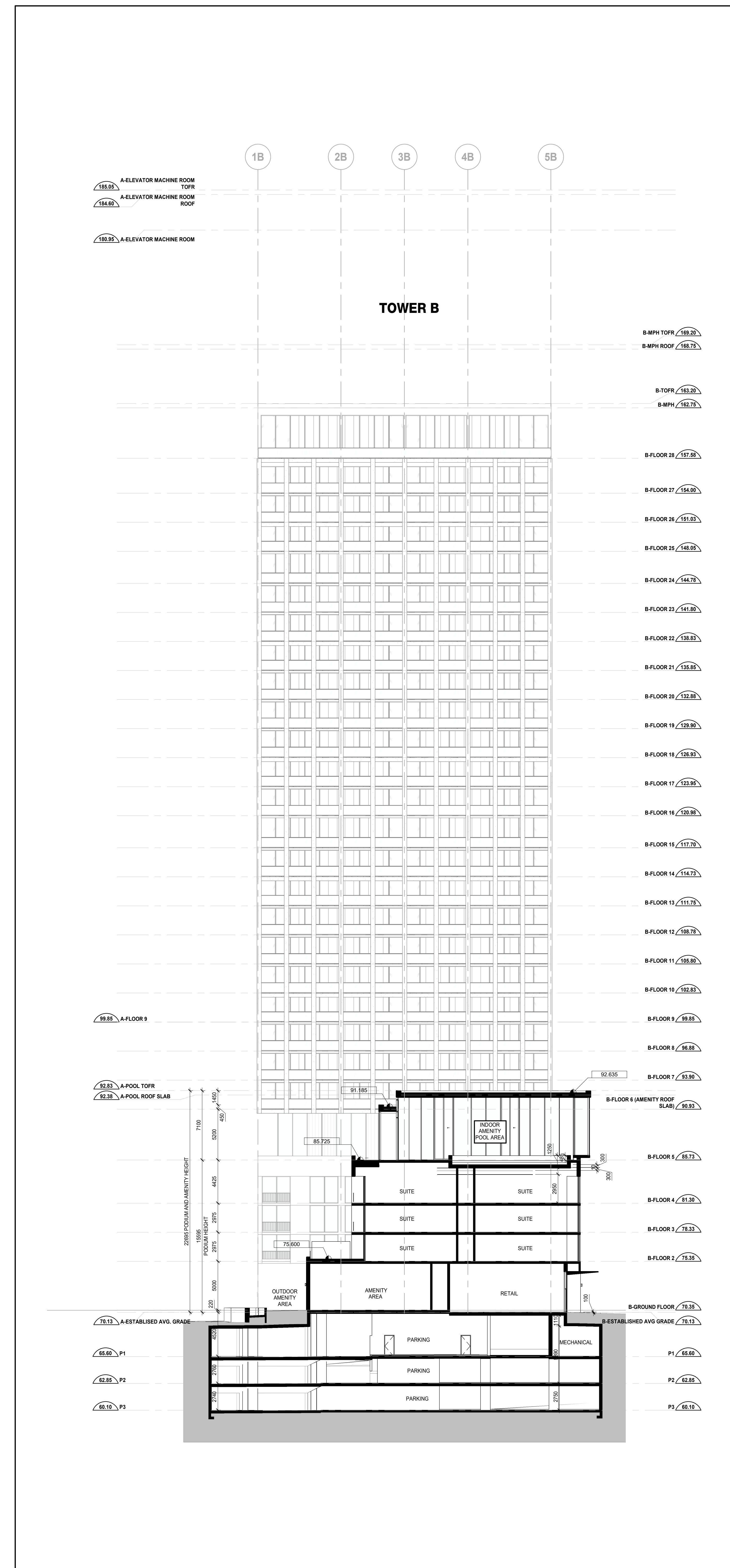
East-West Section, Parking and Storm Tank Section

A451.S

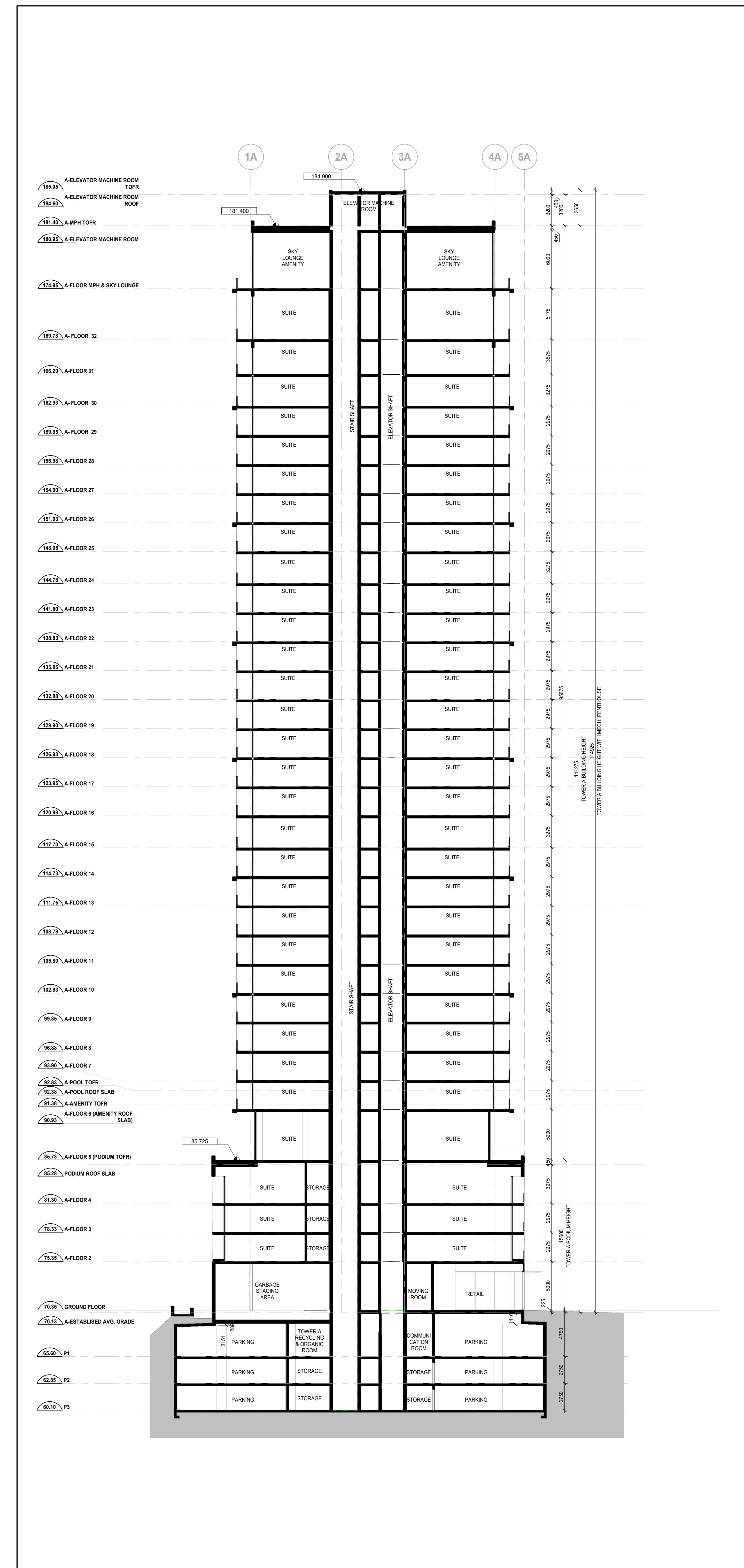
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3 Tower B - NS Section



1 Podium - NS Section



2 Tower A - NS Section

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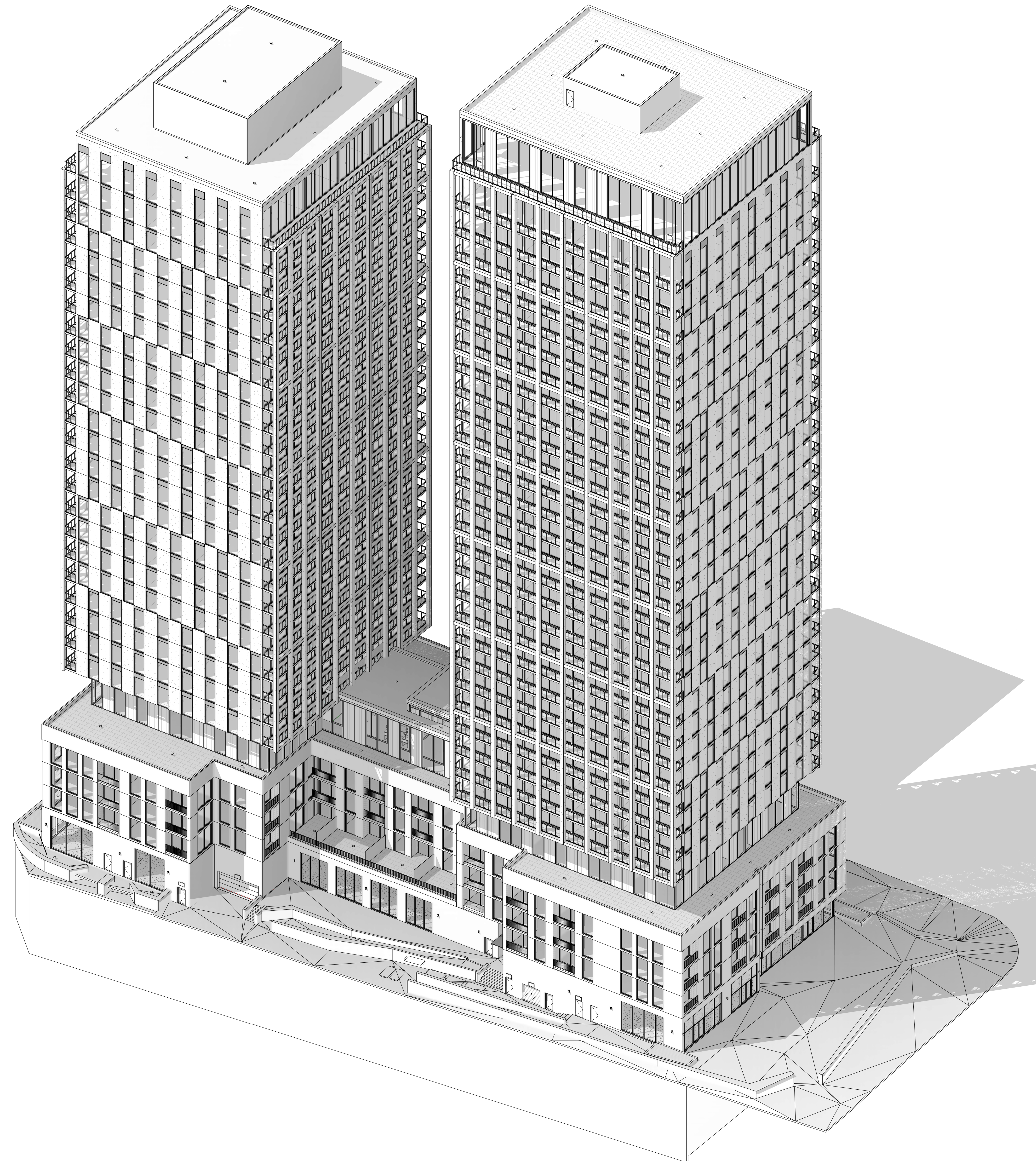
1299 Richmond Road, Ottawa

for Brigid
 22026 1:200 BS R.J.L.
 PROJECT SCALE DRAWN REVIEWED

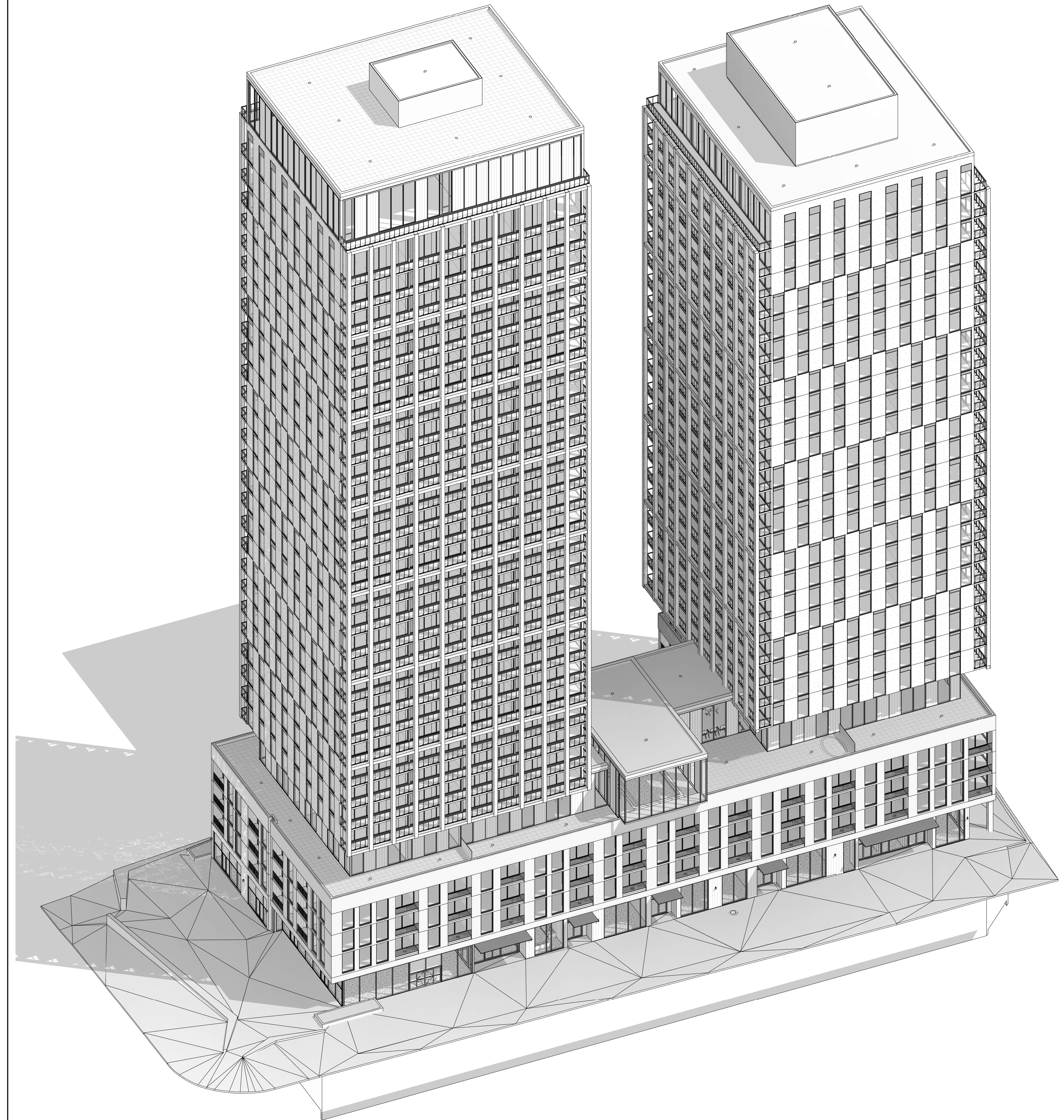
North-South Sections

A452.S

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1 North West View
A475.S



2 South West View
A475.S

Date No Description

REVISION RECORD

2023-06-01 Zoning By-Law Amendment & Site Plan Approval

ISSUE RECORD



BDP.
Quadrangle

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for
Brigil

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3D Views

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