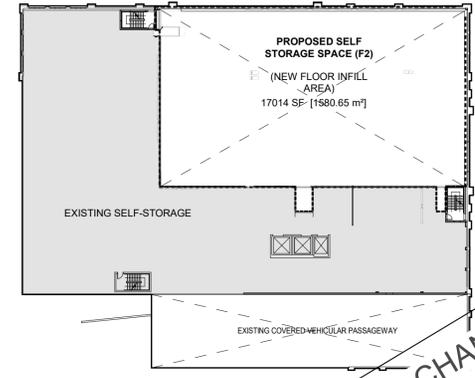


1 GROUND FLOOR KEYPLAN - SCOPE OF WORK
SCALE: 1" = 50'-0"



2 SECOND FLOOR KEYPLAN - SCOPE OF WORK
SCALE: 1" = 50'-0"

NO CHANGE

ARCHITECTURAL DRAWINGS - IFP AMENDMENT

NO.	DESCRIPTION	DATE
A000	COVER PAGE	PERMIT AMENDMENT
A200	GROUND AND SECOND FLOOR FIRE SEPARATION PLANS	PERMIT AMENDMENT
A205	GROUND FLR STORAGE & RECEPTION (DIMENSIONED)	PERMIT AMENDMENT
A206	GROUND FLR STORAGE & RECEPTION (ANNOTATED)	PERMIT AMENDMENT
A210	GROUND FLOOR CEILING PLAN	PERMIT AMENDMENT
A601	DOOR, WINDOW, & INTERIOR SCHEDULE	PERMIT AMENDMENT

STRUCTURAL DRAWINGS

NO.	DESCRIPTION	DATE

MECHANICAL DRAWINGS

NO.	DESCRIPTION	DATE
M-1	LEGENDS, SCHEDULES AND DETAILS	
M-4	PLUMBING PART PLAN AND SPECIFICATIONS	

SPRINKLER DRAWINGS

NO.	DESCRIPTION	DATE
546551-01	GROUND FLOOR FIRE PROTECTION DETAILS AND SCHEMATICS	

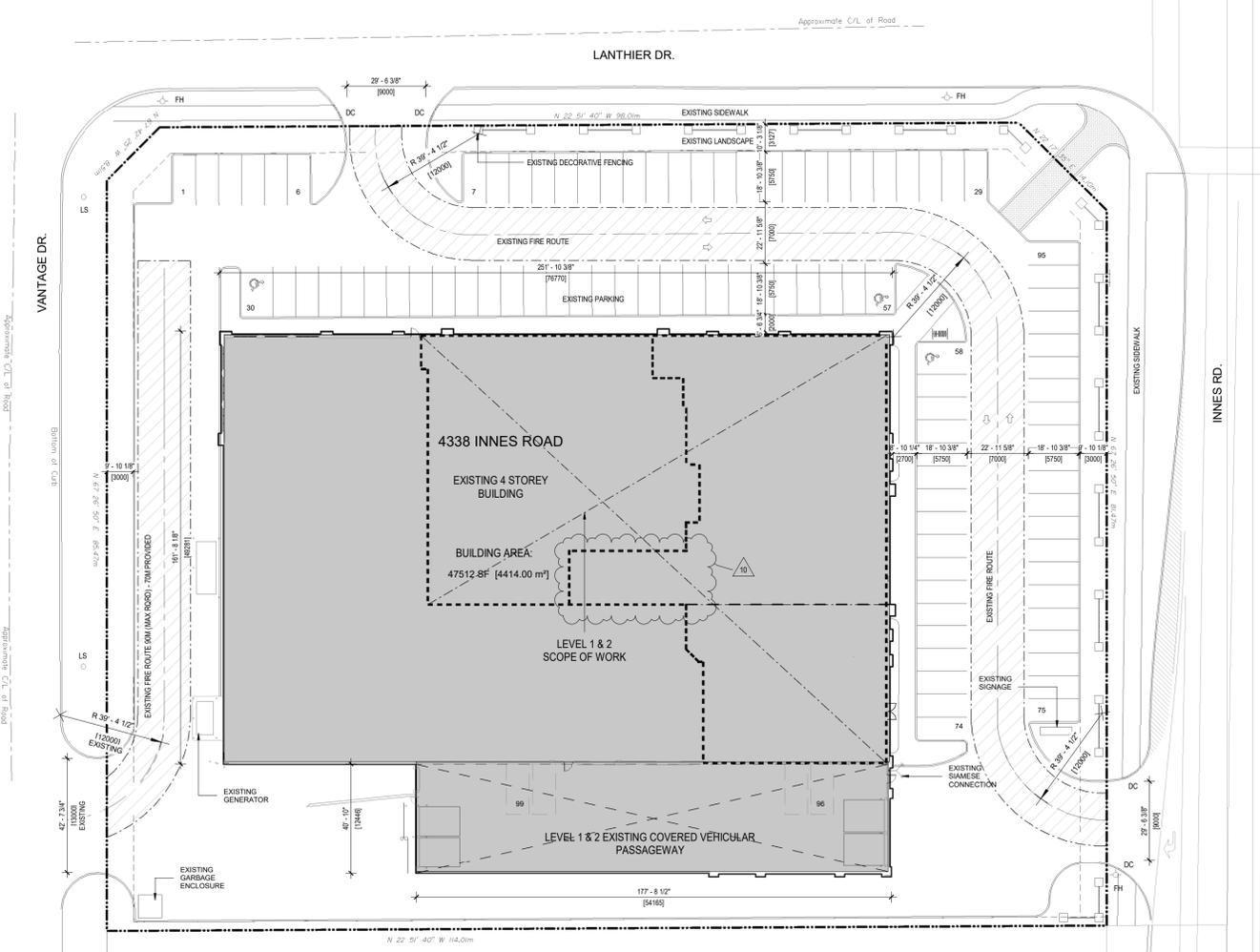
ELECTRICAL DRAWINGS

NO.	DESCRIPTION	DATE
E0.1	GENERAL NOTES & LEGEND	
E1.1	GROUND FLOOR LIGHTING	
E1.2	SECOND FLOOR LIGHTING	
E2.1	GROUND FLOOR & MEZZANINE POWER	
E3.1	GROUND FLOOR & MEZZANINE EMERGENCY	
E3.2	SECOND FLOOR EMERGENCY	
E4.1	SINGLE LINE DIAGRAM	

NEW FIT - UP - L1 + L2			
Name	Level	Area (Sq Ft)	Area (Sq M)
L1 DYMON RECEPTION - RENO	GRND FLR	11628 sq'	1080 m ²
L1 SELF-STORAGE - RENO	GRND FLR	9314 sq'	865 m ²
		20942 sq'	1946 m ²
NEW L2 SELF-STORAGE INFILL AREA	2ND FLR	17005 sq'	1580 m ²
		17005 sq'	1580 m ²
		37948 sq'	3525 m ²

GROSS - EXISTING LEVEL 1 - 4			
Name	Level	Area (Sq Ft)	Area (Sq M)
EXISTING L1 SELF-STORAGE	GRND FLR	18424 sq'	1712 m ²
EXISTING L2 SELF-STORAGE	2ND FLR	12188 sq'	1131 m ²
EXISTING L3 SELF-STORAGE	3RD FLR	46484 sq'	4319 m ²
EXISTING L4 SELF-STORAGE	4TH FLR	46484 sq'	4319 m ²
		136000 sq'	12412 m ²

GROSS - LEVEL 1 - 4			
Area Type	Area (Sq Ft)	Area (Sq M)	
Gross Building Area	171548 sq'	15937 m ²	



3 SITE PLAN
SCALE: 1/32" = 1'-0"

GENERAL SITE PLAN NOTES:

TOPOGRAPHICAL INFORMATION:
PART OF LOT 1
CONCESSION 11
GEOGRAPHIC TOWNSHIP OF CUMBERLAND
CITY OF OTTAWA
PREPARED BY: ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
FIELD WORK COMPLETED JANUARY 5, 2006.
SITE AREA = 10 360 sq m.
BOUNDARY INFORMATION COMPILED FROM PLAN 50R-5237

SITE AND BUILDING DATA:

SITE AREA	10,360m ²	
NEW BUILDING AREA	4,452.7m ²	NO CHANGE
BUILDING HEIGHT:	14.6m	
GROSS BUILDING AREA ¹	14,450m ²	(EXISTING)
GROSS BUILDING NEW (2ND FLOOR INFILL)	1,611m ²	(NEW)
GROSS TOTAL	16,051m ²	

GROSS BUILDING AREA:

- (ONTARIO BUILDING CODE DEFINITION): THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.
- GROSS FLOOR AREA (CITY OF OTTAWA ZONING BY-LAW DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS): GROSS LEASABLE FLOOR AREA MEANS THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS EXCLUDING FLOOR AREA OCCUPIED BY PARTY WALLS AND EXCLUDING:
- FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING, (BY-LAW 2008-326)
- COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS, STEPS AND LANDINGS, (BY-LAW 2008-326)
- BICYCLE PARKING, MOTOR VEHICLE PARKING OR LOADING FACILITIES, COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS.
- COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING, (BY-LAW 2008-326)
- COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPLE USE ON THE LOT, AND (BY-LAW 2008-326) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING

ZONING:

ZONING DESIGNATIONS (PART 10):
LC5 (1191) - LOCAL COMMERCIAL ZONE
LIGHT INDUSTRIAL USE
(FORMERLY MS1)

ZONING PROVISIONS
SETBACKS (SECTION 203):
CORNER SIDE YARD LOT LINE: NO CHANGE
REAR & SIDE YARD LOT LINE: NO CHANGE
(ABUTTING A RESIDENTIAL AREA)
REAR & SIDE YARD LOT LINE: NO CHANGE
(OTHER CASES NOT INCLUDING ABOVE)

ZONING EXCEPTION 1191

	REQUIRED	PROPOSED
1. MINIMUM CUMULATIVE TOTAL OF 40% OF THE GROUND FLOOR OF THE BUILDING:	3681 m ² x 0.4 = 1472 m ²	1473.95 m ² *
2. 80% OF THE WALL AREA FOR THE GROUND FLOOR FACING INNES ROAD AND	49.240 M x 0.8 = 39.392 M	43.106 M
3. 40% OF THE GROUND FLOOR FACING LANTHIER DRIVE, EXCLUDING ANY ENCLOSED LOADING SPACE.	76.770 M x 0.4 = 30.708 M	40.094 M

BUILDING HEIGHT

14.63M (NO CHANGE)

LANDSCAPING (SECTION 110):

ABUTTING A STREET / RES. / INST.: 3.0m MINIMUM
NOT ABUTTING A STREET: NO MINIMUM

VEHICLE PARKING (SECTION 101): N49 AREA C

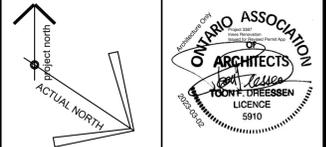
FORMER PARKING REQUIREMENTS SUBJECT TO RETAIL & INDUSTRIAL (NOW OMITTED & REPLACED WITH INDUSTRIAL):	95
LIGHT INDUSTRIAL (SELF-STORAGE) PARKING:	83 (REQUIRED)
REMOVED:	0
NEW:	0
TOTAL PROVIDED:	95

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3	ISSUED FOR REVIEW	2022-04-26
4	ISSUED FOR PERMIT UPDATE	2022-05-20
5	ISSUED FOR TENDER	2022-06-14
6	LIFT FINAL REVIEW	2022-08-16
7	ISSUE FOR CONSTRUCTION	2022-08-23
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9	ISSUED FOR RECORD	2022-10-21
10	PERMIT AMENDMENT	2023-03-02

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2-1830 WALKLEY ROAD, OTTAWA, ON

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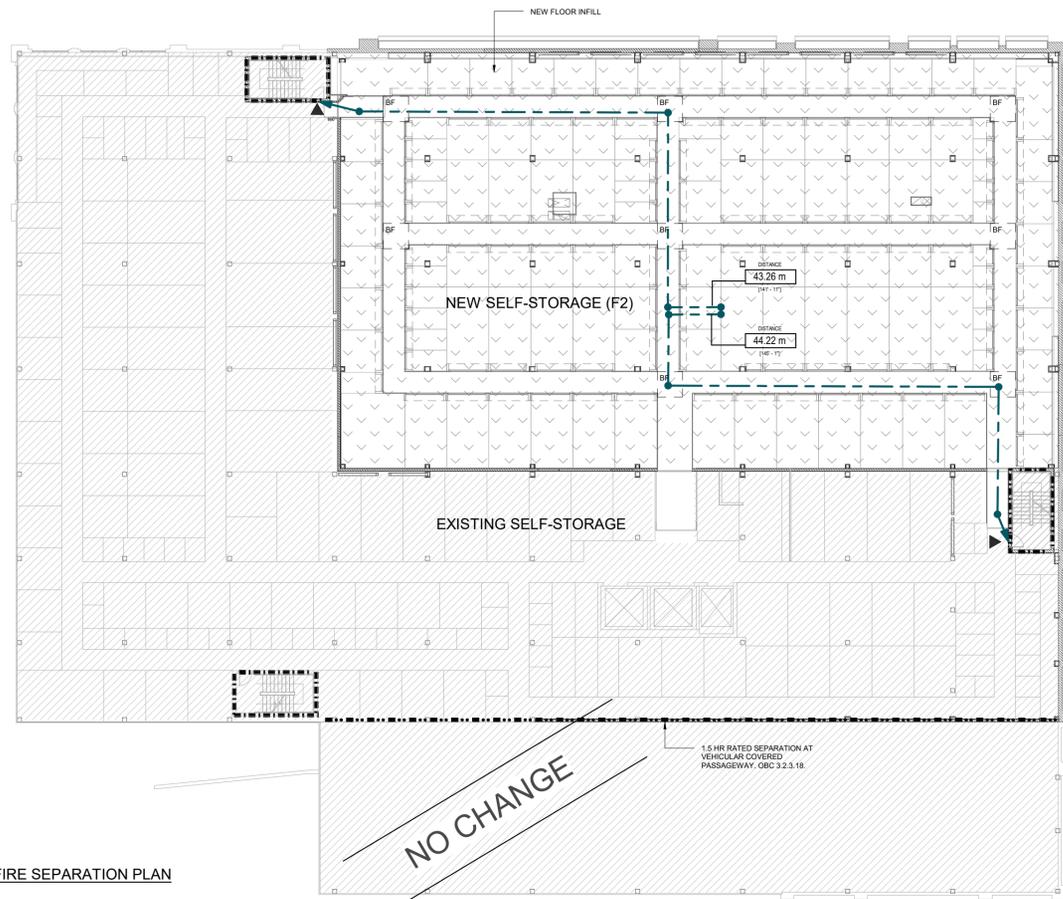
A GROUP OF ARCHITECTS
201-1339 WELLINGTON ST. W. OTTAWA ON K1Y 3B8
WWW.ARCHITECTSDCA.COM 613.725.2294

PROJECT TITLE
DYMON 4338 INNES ROAD FIT-UP & RENOVATION

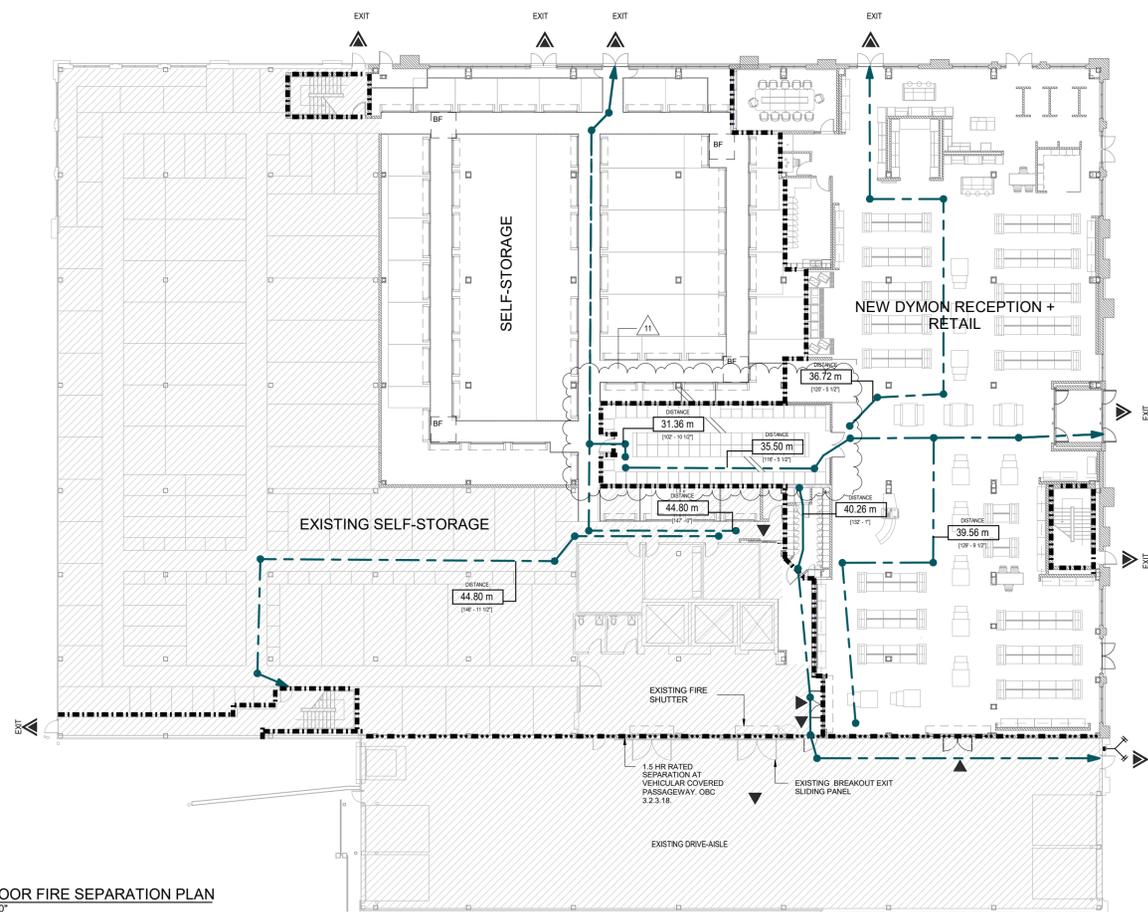
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DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A000
SCALE	REVIEWED		
As indicated	TD		

ARCHITECTURAL



2 SECOND FLOOR FIRE SEPARATION PLAN
A200 SCALE: 3/64" = 1'-0"



1 GROUND FLOOR FIRE SEPARATION PLAN
A200 SCALE: 3/64" = 1'-0"

FIRM NAME: ARCHITECTS DCA INC. CERTIFICATE OF PRACTICE NO.: 6062 1350 WELLINGTON STREET, OTTAWA, ON. K1Y 3C1 613-725-2294		NAME OF PROJECT: DYMON INNES ROAD SELF-STORAGE, RECEPTION + DYMON RETAIL LOCATION: 4338 INNES ROAD, OTTAWA ON	
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PARTS 3 OR 9	O.B.C REFERENCE	
References are to Division B unless noted [A] for Division A or [C] for Division C.			
1	PROJECT DESCRIPTION: NEW RETAIL LIGHT INDUSTRIAL BUILDING WAREHOUSE(S) w/ RECEPTION <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 11 11.1 TO 11.4	<input checked="" type="checkbox"/> PART 3 1.1.2[A] 9.10.1.3
2	MAJOR OCCUPANCY(S): GROUP F2	3.1.2.1.(1)	9.10.2
3	BUILDING AREA (m ²): EXISTING: 4 391 m ² NEW: 0 m ² TOTAL: 4 378 m ²	1.4.1.2[A]	1.4.1.2[A]
4	GROSS AREA (m ²): EXISTING: 14 357 m ² NEW: 1 580 m ² TOTAL: 15 937 m ²	1.4.1.2[A]	1.4.1.2[A]
5	NUMBER OF STOREYS: 4 ABOVE GRADE: 4 BELOW GRADE: 0	1.4.1.2.(A)&3.2.1.1	1.1.2.[A]
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 3	3.2.2.10 & 3.2.5	9.10.20
7	BUILDING CLASSIFICATION: 3.2.2.69 GROUP F, DIVISION 2, UP TO 4 STOREYS, SPRINKLERED	3.2.2.20-83	9.10.2
8	SPRINKLER SYSTEM PROPOSED: <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17 NA	9.10.8
9	STANDPIPE REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9	NA
10	FIRE ALARM REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4	9.10.10
11	WATER SERVICE / SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7	NA
12	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6	NA
13	PERMITTED CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE ACTUAL CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20-83 3.2.1.7	9.10.6
14	MEZZANINE(S) AREA (m ²): 0 m ²	3.2.1.1.(3)(B)	9.10.4.1
15	OCCUPANT LOAD BASED ON: <input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING OCCUPANCY F2 (SELF-STORAGE & DYMON RETAIL + RECEPTION) 18 PERSON VISIT PER DAY (INCLUDING STAFF)	3.1.17	9.9.1.3
16	TRAVEL DISTANCE (m): MORE THAN 2 EXITS REQUIRED & PROVIDED EXIT CAPACITY 19 x 6.1mm = 116mm (REQUIRED) - 9 x 915mm = 8 235 (PROVIDED) 2x EXIT = 45m (3.4.2.5 - F2 & OCCUPANCY w/SPRINKLERS)	3.3.1.5(1)(b) 3.4.2.2, 3.3.1.16 3.4.2.5(1)(c)	3.4.2.5(1)(c)
17	WASHROOM FIXTURE COUNT (INDUSTRIAL OCCUPANCY): WCS: LAVS: 8 FEMALE: 1 REQUIRED, 1 PROVIDED 1 REQUIRED, 1 PROVIDED 8 MALE: 1 REQUIRED, 1 PROVIDED 1 REQUIRED, 1 PROVIDED UNIVERSAL BARRIER FREE WR: 2 REQUIRED, 2 PROVIDED (EXISTING)	3.7.4.9 (1)	3.8.2.3 (2)
18	COMPARTMENTATION AND FIRE SEPARATION: EXIT STAIRWELLS: N/A SERVICE SHAFTS: N/A ELEVATOR SHAFTS/MACHINE ROOM: N/A MECHANICAL ROOM (W/ FUEL FIRED APPLIANCES): NONE REQUIRED, 1 HR. PROVIDED ELECTRICAL ROOM: NONE REQUIRED, 1 HR. PROVIDED JANITOR ROOM: N/A PUBLIC CORRIDOR: N/A SEPARATION OF SUITES: N/A	3.3.1.1 3.3.1.4 3.3.4.3 3.4.4.1 3.5.3 3.6.2 3.6.3	9.10.9 9.10.10 9.9.4.2 3.3.1.4 3.3.4.3 3.4.4.1 3.5.3 3.6.2 3.6.3
19	BARRIER-FREE DESIGN: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8	9.5.2
20	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19	9.10.1.3(4)
21	REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES (FRR (HOURS)): LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: 2 HOURS DECK & BEAMS cUL D798 & cUL N501 ROOF: NONE REQUIRED MEZZANINE: N/A FRR OF SUPPORTING MEMBERS: LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: N/A DECK & BEAMS cUL D798 & cUL N501 COLUMNS: cUL X771, cUL X772 & cUL X528 ROOF: NONE REQUIRED MEZZANINE: N/A	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9
22	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS - UNCHANGED	3.2.3	9.10.14

FIRE SEPARATION LEGEND

1 HOUR FIRE SEPARATION. REFER TO WALL ASSEMBLY SCHEDULE.

1.5 HOUR FIRE SEPARATION. REFER TO WALL ASSEMBLY SCHEDULE.

2HR FIRE RATED FLOOR. PROVIDE CEMENTITIOUS FIRE SPRAY MATERIALS ON STEEL STRUCTURE AND DECK TESTED IN ACCORDANCE WITH ULC S315 FLOOR ASSEMBLY TO COMPLY WITH: STRUCTURE: cUL D795 - SEE SKA000-1.5 HEADWALL: HW-D-0252 - SEE SKA 001-1.3 DECK: cUL D798 - N854 - SEE SKA 002-1.2

2HR FIRE RATED FLOOR. PROVIDE CEMENTITIOUS FIRE SPRAY MATERIALS ON STEEL STRUCTURE AND DECK TESTED IN ACCORDANCE WITH ULC S315

EXIT TRAVEL DISTANCE LINE. MAX. TRAVEL DISTANCE REQUIRED 45M (OBC 3.4.2.5)

1.8x1.8M BARRIER FREE CLEARANCE. MAX DISTANCE 30M (OBC 3.8.1.3(4))

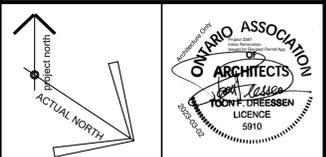
BUILDING ENTRANCE

BUILDING EXIT

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2	ISSUED FOR REVIEW	2022-03-23
3	ISSUED FOR PERMIT	2022-04-22
4	ISSUED FOR REVIEW	2022-04-25
5	ISSUED FOR PERMIT UPDATE	2022-05-20
6	I/T FINAL REVIEW	2022-08-16
7	ISSUE FOR CONSTRUCTION	2022-08-23
8	REISSUED FOR CONSTRUCTION	2022-09-08
9	ISSUED FOR RECORD	2022-10-21
10	ISSUED FOR COORDINATION	2022-12-01
11	PERMIT AMENDMENT	2023-03-02

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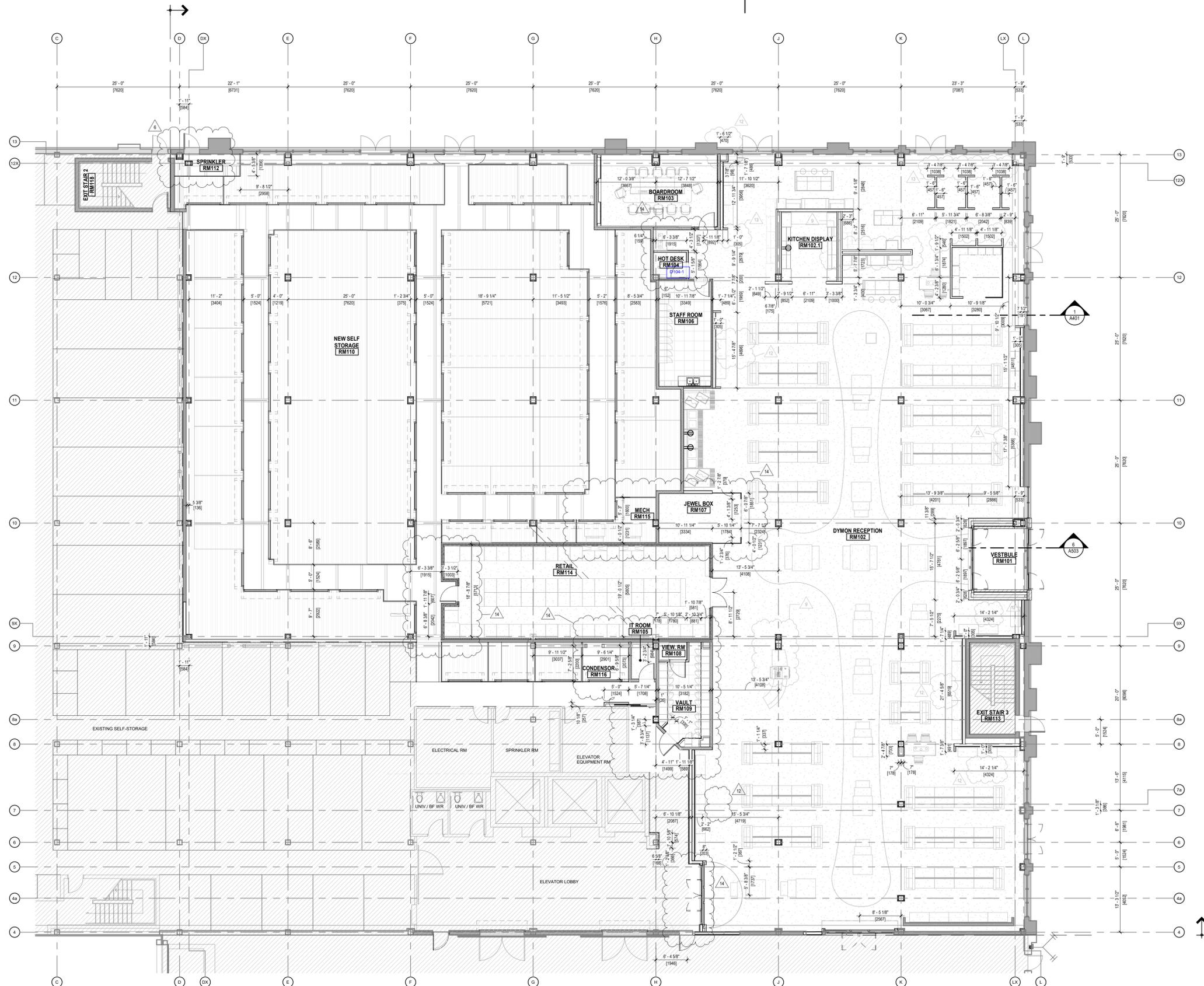
PROJECT TITLE
DYMON 4338 INNES ROAD
FIT-UP & RENOVATION

DRAWING TITLE
GROUND AND SECOND FLOOR
FIRE SEPARATION PLANS

DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A200
SCALE	REVIEWED		
As indicated	Checker		

ARCHITECTURAL

2
A401



LEGEND:

THIS DRAWING IS FOR DIMENSIONS ONLY. FOR WALL ASSEMBLIES AND ANNOTATION TAGS.

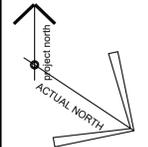
SEE DRAWING 1
A206

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5	IFT FINAL REVIEW	2022-08-16
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7	REISSUED FOR CONSTRUCTION	2022-09-08
8	ISSUED FOR RECORD	2022-10-21
9	ISSUED FOR COORDINATION	2022-12-01
10	ISSUED FOR COORDINATION	2022-12-20
11	WINE STORAGE COORDINATION	2022-12-20
12	SI-019	2023-01-10
13	SI-020	2023-01-18
14	PERMIT AMENDMENT	2023-03-02

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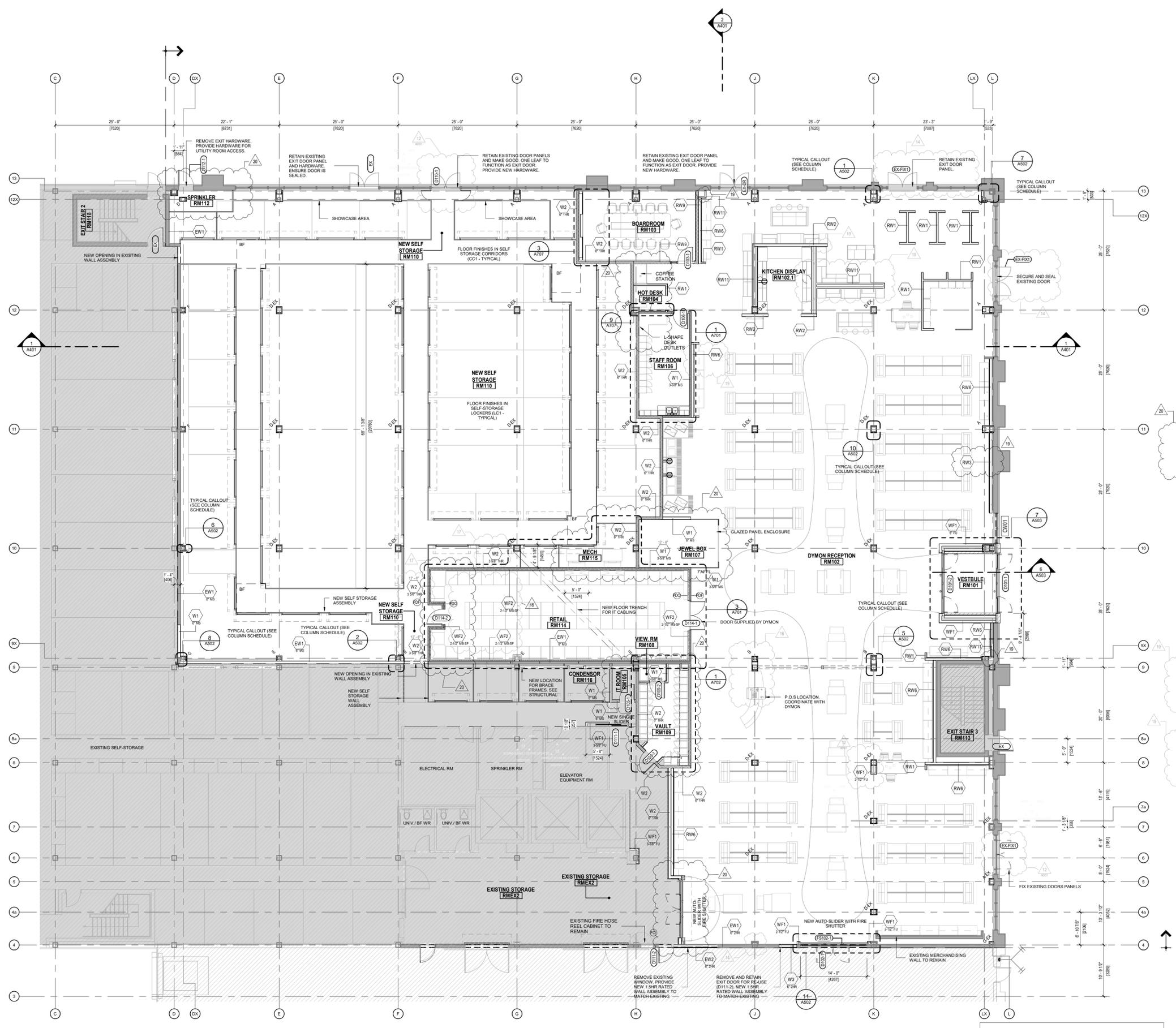
PROJECT TITLE
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FIT-UP & RENOVATION

DRAWING TITLE
GROUND FLR STORAGE & RECEPTION (DIMENSIONED)

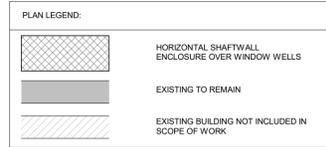
DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A205

ARCHITECTURAL

1
A205
GROUND FLOOR STORAGE & RETAIL PART PLAN (DIMENSIONED)
SCALE: 3/32" = 1'-0"



1 GROUND FLOOR STORAGE & RETAIL PART PLAN (ANNOTATED)
SCALE: 3/32" = 1'-0"



WALL ASSEMBLY SCHEDULE:

EW1 EXTERIOR WALL 1.5 HR FIRE RATED - EXISTING
 EXISTING EXTERIOR WALL ASSEMBLY
 EW2 EXTERIOR WALL @ DRIVE THRU 1.5 HR FIRE RATED
 EXISTING EXTERIOR WALL ASSEMBLY

INTERIOR WALL ASSEMBLIES:

W1 WALL TYPE ALL DOOR AND WINDOW DIMENSIONS ARE TO THE CENTRE LINE OF THE OPENING. COORDINATE ROUGH OPENINGS WITH SCHEDULES AND SHOPDRAWINGS.
 WALL STUD DEPTH (BL-DOUBLE) (CH-CHASE) (F1-FURRING) (STC-STC RATING REQUIRED) ALL WALLS ARE DIMENSIONED TO THE STEEL STUD FACE OF WALL CORE.

NOTES:

- ALL INTERIOR WALLS TO BE W1 UNLESS NOTED OTHERWISE. WHERE NOTED IN ASSEMBLY, ABSORPTIVE MATERIAL INCLUDES FIBRE PROCESSED FROM ROCK, SLAG, GLASS OR CELLULOSE AND MUST FILL AT LEAST 50% OF STUD CAVITY. FOR WALL FINISHES OTHER THAN PAINT, SEE FINISH PLANS.
- INTERIOR WALL w/ FIRE SEPARATION 1 HR, FRR
 ULC W463 - FROM T/O SLAB TO U/S DECK
 PAINT FINISH*
 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 3/8" (OR 6" IF NOTED) STEEL STUD FRAMING @ 16" o/c
 1 LAYER 5/8" GYPSUM BOARD
 PAINT FINISH*
 *OR 1/2" VERTICAL CORRUGATED METAL ON STORAGE UNIT SIDES
- INTERIOR WALL w/ FIRE SEPARATION 2 HR, FRR PROVIDED
 ULC W463 - FROM T/O SLAB TO U/S DECK
 PAINT FINISH*
 2 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 6" STEEL STUD FRAMING @ 16" o/c c/w FULL DEPTH, FIRE RESISTANT, BATT INSULATION
 2 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 PAINT FINISH*
 *OR 1/2" VERTICAL CORRUGATED METAL ON STORAGE UNIT SIDES
- INTERIOR STUD FURRING (NOT FIRE RATED)
 PAINT FINISH
 1 LAYER 5/8" GYPSUM BOARD
 3/8" (OR 6" IF NOTED) STEEL STUD FRAMING @ 16" o/c c/w FULL DEPTH, FIRE RESISTANT, BATT INSULATION
 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 PAINT FINISH*
- INTERIOR STUD FURRING (NOT FIRE RATED)
 UNFINISHED, TAPE
 1 LAYER 5/8" GYPSUM BOARD (MOULD RESISTANT)
 2-1/2" STEEL STUD FRAMING @ 16" o/c c/w FULL DEPTH, SPRAY FOAM POLYETHYLENE VAPOUR MEMBRANE
- INTERIOR SHAFT WALL 2 HR, FRR
 ULC W462 - SYSTEM B OR ULC W466 SYSTEM B (AT SERVICE SHAFTS)
 1" SHAF WALL LINER PANEL
 2-1/2" C-METAL STUDS @ 24" O.C.
 2 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 *NOTE: 1/2" VERTICAL CORRUGATED METAL ON STORAGE UNIT SIDES.

DYMON RECEPTION INTERIOR WALL TYPES - NOT RATED:

--- PLYWOOD BLOCKING FOR RETAIL DISPLAY UNITS. COORDINATE WITH DYMON.

RW1 INTERIOR STUD WALL (FOR PARTITION HEIGHT - SEE PLAN)
 1 LAYER 5/8" GYPSUM BOARD
 3/8" METAL STUD @ 16" O.C.
 1 LAYER 5/8" GYPSUM BOARD

RW2 INTERIOR STUD WALL (FOR PARTITION HEIGHT - SEE PLAN)
 1 LAYER 5/8" GYPSUM BOARD
 6" METAL STUD @ 16" O.C.
 1 LAYER 5/8" GYPSUM BOARD

RW3 INTERIOR STUD FURRING WALL (FOR PARTITION HEIGHT - SEE PLAN)
 1 LAYER 5/8" GYPSUM BOARD
 REFER TO FLOOR PLANS FOR 3/4" PLYWOOD BLOCKING LOCATIONS
 6" METAL STUD @ 16" O.C.

RW4 TO RW5 PLACE HOLDER

RW6 INTERIOR STUD WALL (7'-0" FULL HEIGHT - (T/O SLAB TO U/S DECK))
 TV NICHE DISPLAYS
 1 LAYER 5/8" GYPSUM BOARD
 (1 LAYER 3/4" PLYWOOD BLOCKING AS REQUIRED)
 6" METAL STUD @ 16" O.C.

RW7 TO RW8 PLACE HOLDER

RW9 INTERIOR STUD WALL (7'-0" FULL HEIGHT - (T/O SLAB TO U/S DECK))
 1 LAYER 5/8" GYPSUM BOARD TO 12" ABOVE MAIN RECEPTION CEILING
 6" METAL STUD @ 16" O.C.
 FULL DEPTH OF STUD WITH SOUND ATTENUATION BATT INSULATION TO 12" ABOVE MAIN RECEPTION CEILING IN SELECT WALLS AS SHOWN ON PLANS
 1 LAYER 5/8" GYPSUM BOARD TO 12" ABOVE MAIN RECEPTION CEILING

RW10 PLACE HOLDER

RW11 INTERIOR STUD FURRING - (FOR PARTITION HEIGHT - SEE PLAN)
 1 LAYER 5/8" GYPSUM BOARD
 3/8" STEEL STUD FRAMING @ 16" o/c c/w FULL DEPTH

COLUMN ENCLOSURE SCHEDULE (UL DES X528) - EX-EXISTING

A: 2-HR FIRE RATED COLUMN AT PERIMETER: SEE 1 / A502
 B: 2HR FIRE RATED NEW & EXISTING COLUMN @ GL-9X: SEE 5 / A502
 C: 2HR ENCLOSURE HSS COLUMN (GL 12X-C): SEE 7 / A502
 D: NEW ENCLOSURE ON EXISTING FIRE RATED COLUMN: SEE 10 / A502
 E: 2HR FIRE-RATED HSS NEW & EX COLUMN - GL-9X: SEE 2 / A502
 F: 2HR FIRE-RATED COLUMN @ GL-DX: SEE 6 / A502
 G: 2HR FIRE-RATED COLUMN @ GL-DX: SEE 8 / A502

GENERAL NOTES

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ISSUE RECORD

NO.	DESCRIPTION	DATE
1	ISSUE FOR REVIEW	2021-08-12
2	ISSUE FOR REVIEW	2021-09-14
3	ISSUE FOR REVIEW	2022-01-21
4	ISSUE FOR REVIEW	2022-01-28
5	ISSUE FOR REVIEW	2022-02-23
6	ISSUE FOR REVIEW	2022-03-03
7	ISSUED FOR REVIEW	2022-03-23
8	ISSUED FOR PERMIT	2022-04-22
9	ISSUED FOR REVIEW	2022-04-25
10	ISSUED FOR PERMIT UPDATE	2022-05-20
11	ISSUED FOR TENDER	2022-06-14
12	TENDER ADDENDUM 1	2022-06-24
13	ISSUE FOR CONSTRUCTION	2022-08-23
14	REISSUED FOR CONSTRUCTION	2022-09-08
15	ISSUED FOR RECORD	2022-10-21
16	ISSUED FOR COORDINATION	2022-12-01
17	ISSUED FOR COORDINATION	2022-12-20
18	WINE STORAGE COORDINATION	2022-12-20
19	SI-019	2023-01-10
20	PERMIT AMENDMENT	2023-03-02

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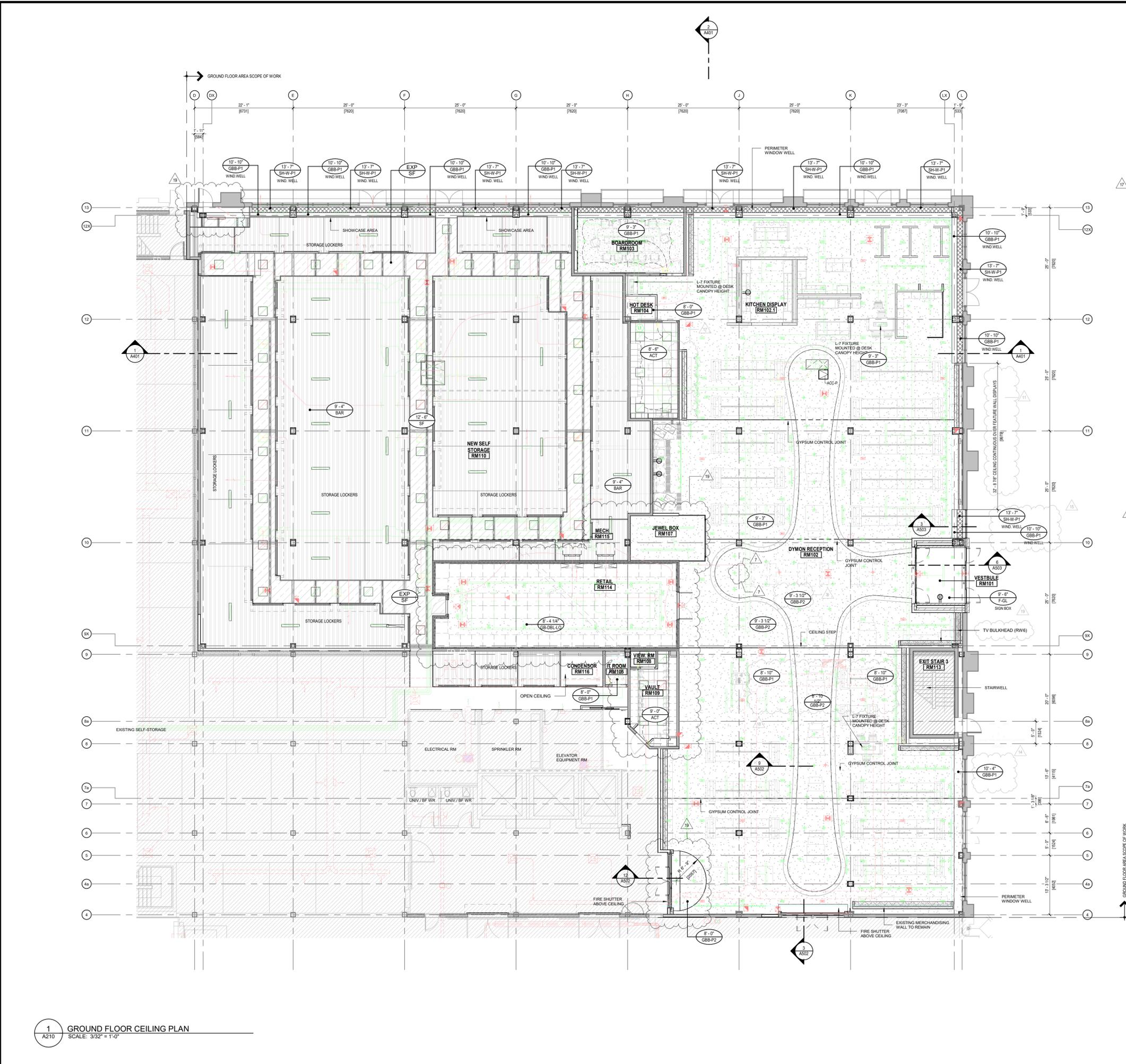
PROJECT TITLE
DYMON 4338 INNES ROAD
FIT-UP & RENOVATION

DRAWING TITLE
GROUND FLR STORAGE & RECEPTION (ANNOTATED)

DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A206

SCALE As indicated REVIEWED TD

ARCHITECTURAL



REFLECTED CEILING PLAN LEGEND:

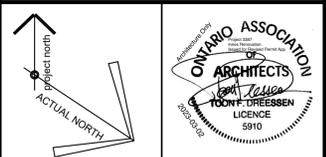
- EXISTING BUILDING NOT INCLUDED IN SCOPE OF WORK
- EXISTING TO REMAIN
- CEILING TYPE AND HEIGHT AFFL
- SF: EXPOSED STRUCTURAL STEEL DECK CW SPRAYED-ON FIRE PROOFING
- EXISTING SIA AND RIA DUCTS FROM ROOF (T.B.C.)
- LIGHT - SEE ELECTRICAL
- ACC-P: CEILING ACCESS PANEL (COORDINATE WITH ELECTRICAL AND MECHANICAL)
- (ACT) 2'X2' ACOUSTIC CEILING TILE. SEE SPECIFICATIONS.
- (GBB) PAINTED GYPSUM CEILING BULKHEAD. SEE SPECIFICATIONS
- (GBB-DBL) 2-LEVEL GYPSUM CEILING WITH SPRAYFOAM.
- SEE - (A)705
- (BAR) 1 1/2" METAL HAT CHANNELS @ 8" O.C. OVER STORAGE UNITS
- PRE-FINISHED METAL CEILING SYSTEM IN ALL STORAGE AREA CORRIDORS & SHOWCASE ROOMS
- (SH-W) PERIMETER WELL SHAFT WALL
- GYPSUM CONTROL JOINT PROVIDE AS SUFFICIENT TO SUITE APPLICATION.
- PROVIDE 24"X24" TAPE IN ACCESS PANELS FOR ERM MAINTENANCE. COLOUR WHITE. FINAL LOCATION TO BE COORDINATED WITH MECHANICAL CONTRACTOR.

- CEILING NOTES:**
- DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND LOCATIONS.
 - AT GYPSUM BOARD CEILINGS, CONTROL JOINTS AT MAX 8'FT APART

- CEILING FINISH NOTES:**
- P-1 - PAINTED FIELD CEILING. SEE FINISHES
 - P-2 - PAINTED 'POWER AISLE' AND HALF-MOON CEILING. SEE FINISHES
 - P-3 - MOLD RESISTANT GYPSUM BOARD
 - F-GL - SIGN BOX GLAZING BY SIGNAGE SUPPLIER.

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PROJECT TITLE:
DYMON 4338 INNES ROAD
FIT-UP & RENOVATION

DRAWING TITLE:
GROUND FLOOR CEILING
PLAN

DATE NOV 2022	DRAWN GL	JOB NO. 3387	DRAWING NO. A210
SCALE As indicated	REVIEWED Checker		

ARCHITECTURAL

1 GROUND FLOOR CEILING PLAN
SCALE: 3/32" = 1'-0"

