

LEGAL DESCRIPTION:

PART 1 PLAN OF LOT 2 AND PART OF LOTS 1 AND 3 REGISTERED PLAN 183 CITY OF OTTAWA

REFERENCE SURVEY:

BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD. DATED AUGUST 25, 2022.

MUNICIPAL ADDRESS:

377 - 381 WINONA AVE. OTTAWA, ON

DEVELOPMENT INFORMATION:

SITE AREA	960 m ²
BUILDING AREA	787 m ²
GROSS FLOOR AREA	4,666 m ²
BUILDING HEIGHT	19.5m
ZONE	
SCHEDULE 1:	AREA B INNER URBAN
SCHEDULE 1A:	AREA Y INNER URBAN MAINSTREET
SCHEDULE 2:	FULLY WITHIN 600 m RADIUS

UNIT MIX:

TWO BEDROOM	18
ONE BEDROOM	18
STUDIO	24
TOTAL	60

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	No Minimum	29.9 m ²
MIN. LOT AREA	No Minimum	961 m ²
MAX. FRONT YARD SETBACK	2 m	0 m
MIN. REAR YARD SETBACK	No Minimum	0 m
MIN. INTERIOR YARD SETBACK	No Minimum	0 m

MAX. HEIGHT	20 m / 6 storeys Additional setback of 2 meters where building greater than 4 storeys	19.00 m Additional 2 m setback provided above 4 th storey
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AMENITY AREA	360 m ² (6 m ² per dwelling unit)	360 m ²
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PARKING QUEING + LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	13	13
VISITOR SPACES	5	5
ACCESSIBLE PARKING	1 - Type A & B	1 - Type A & B
BICYCLE PARKING	32	60

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- EXTENT OF OVERHANG ABOVE
- BUILDING SETBACK FLOOR 2 - 6
- BUILDING SETBACK FLOOR 5 + 6
- EXTENT OF STRUCTURE BELOW GRADE
- MAXIMUM 2% SLOPE AT TOP OF RAMP
- FIRE DEPARTMENT STANDPIPE CONNECTION
- COMMERCIAL GARBAGE ENCLOSURE
- HYDRO TRANSFORMER PAD
- CONCRETE PAD FOR NATURAL GAS METER
- AREA WELL FOR GARAGE VENTILATION
- PRIVATE YARD
- WOOD FENCE
- DROP CURB FOR DRIVEWAY AND GARBAGE

SITE PLAN LEGEND:

- EXISTING BUILDING
- ASPHALT PAVING
- NEW GRASS, REFER TO LANDSCAPING PLAN
- NEW PLANTING, REFER TO LANDSCAPING PLAN
- CLEAR STONE, REFER TO LANDSCAPING PLAN
- CONCRETE SIDEWALK
- PAVERS
- CONCRETE PAD
- VENTILATION GRILL
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- EMERGENCY EXIT
- PROPERTY LINE
- NEW FENCE
- OVERHEAD WIRES
- EDGE OF ASPHALT
- EXISTING EDGE OF ASPHALT TO BE REVISED
- ROAD CENTERLINE
- EXISTING DOMESTIC WATER
- EXISTING SANITARY
- EXISTING STORM
- EXISTING GAS
- EXISTING CATCH BASIN
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING MONITORING WELL
- NEW TREE
- EXISTING TREE
- BICYCLE PARKING
- STANDPIPE CONNECTION



STAMP

REV DATE	ISSUE
4 2023.03.28	ISSUED FOR SPC RESUBMISSION
2 2023.02.14	ISSUED FOR SPC RESUBMISSION
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NOTES

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AZURE

OTTAWA
ONTARIO, CANADA

PROJECT

**WINONA PH
DEVELOPMENT**

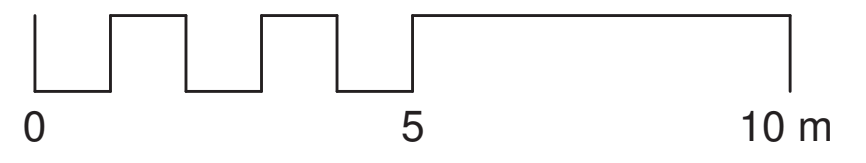
377 -381 WINONA AVE. OTTAWA,
ON

TITLE

SITE PLAN

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**GROUND AND
BASEMENT FLOOR
PLANS**

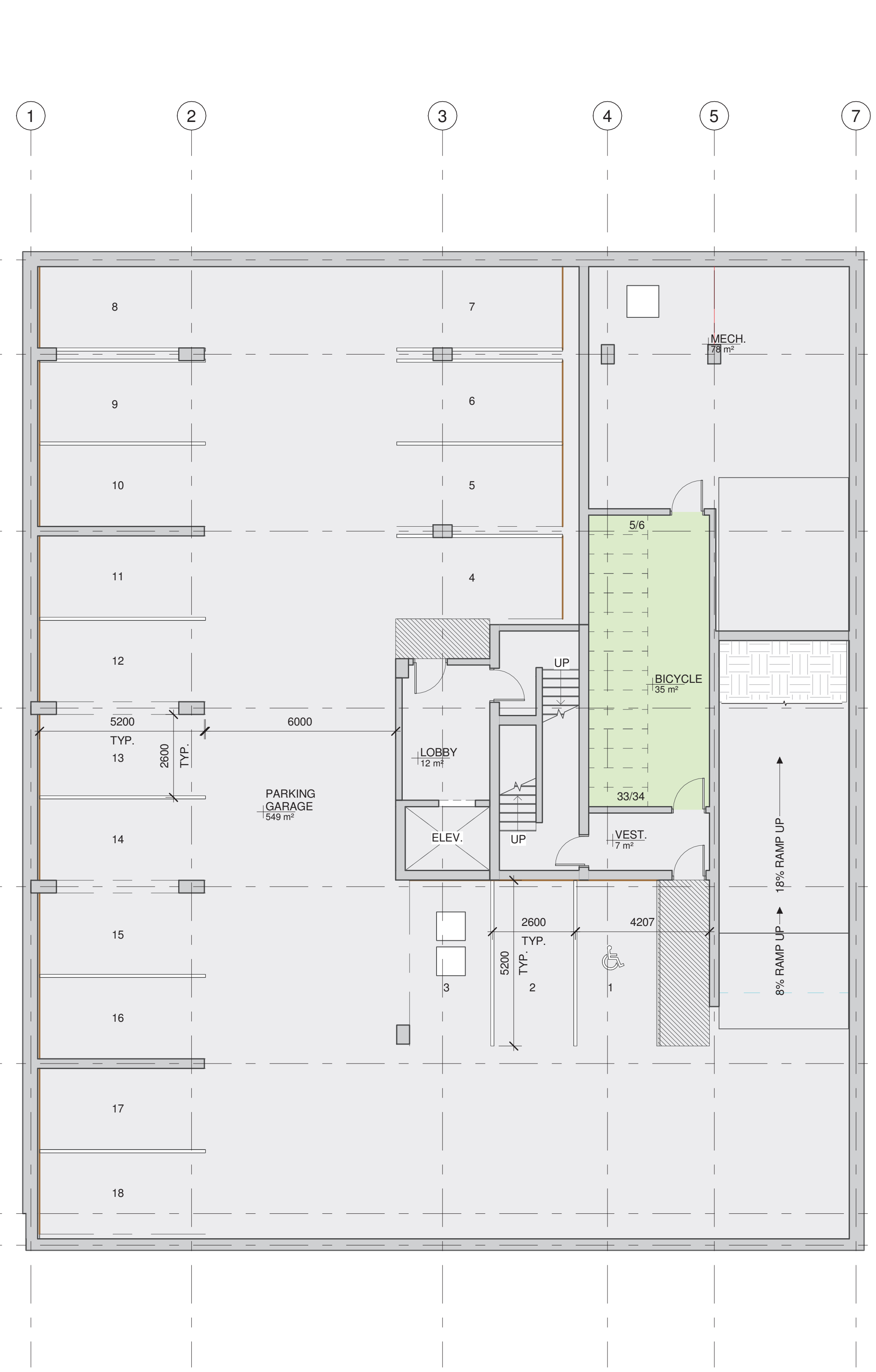
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2 GROUND FLOOR PLAN

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COLOR LEGEND

- AMENITY
- COMMERCIAL
- SERVICE SPACE
- STUDIO

1 BASEMENT FLOOR PLAN

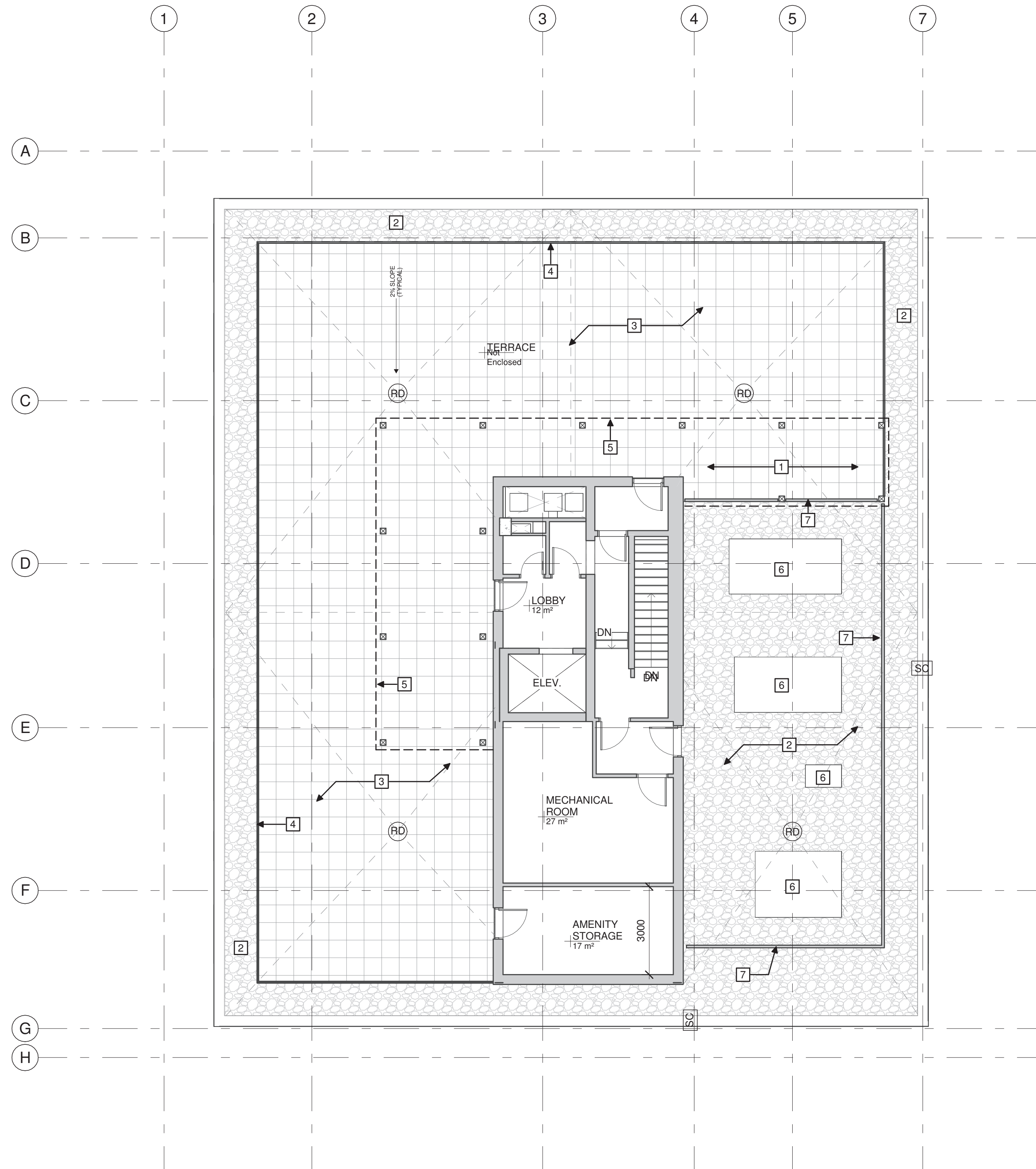
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KEYNOTES:

- 1 BBQ AREA
- 2 CLEAR STONE
- 3 PAVERS ON RAISED PEDISTAL SYSTEM
- 4 GLASS AND ALUMINUM GUARDRAIL
- 5 PERGOLA ABOVE
- 6 ROOFTOP MECHANICAL UNIT
- 7 MECHANICAL SCREEN

LEGEND:

- RD ROOF DRAIN
- SC OVERFLOW SCUPPER



1 ROOF PLAN
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ROOF PLAN

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