



CARRUTHERS AVENUE DEVELOPMENT

266-268 CARRUTHERS AVENUE, OTTAWA, ON

ISSUED FOR REISSUED FOR ZONING AND SPC

2023-03-24 11:36:21 AM

ARCHITECTURAL
DRAWINGS



S.J. LAWRENCE ARCHITECT INC.
18 DEAKIN ST. SUITE 205
OTTAWA, ONTARIO K2E 8B7
(P) 613 739 7770
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MECHANICAL /
ELECTRICAL DRAWINGS



QUADRANT ENGINEERING LIMITED,
CONSULTING ENGINEERS
107 PRETORIA AVE.
OTTAWA, ONTARIO, K1S 1W8
(P) 613 567-1487
(F) 613 567-1493

PLANNER / LANDSCAPER

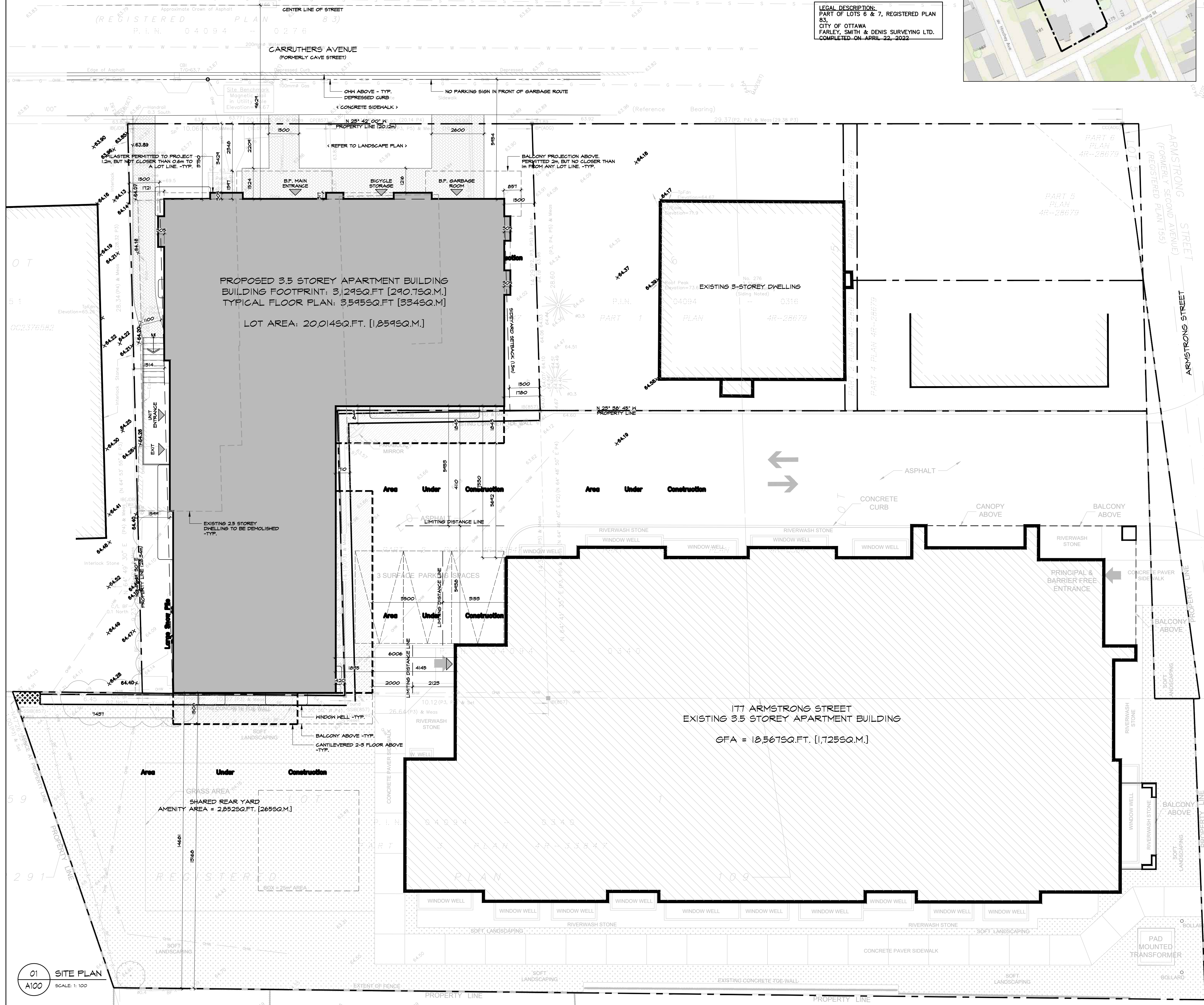
JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS

JAMES LENNOX ASSOCIATES INC
3332 CARLING AVE.
OTTAWA, ONTARIO, K2H 5A8
(P) (613) 722-5168
(F) 1 (866) 343-3942

LEGEND	
	NEW OVERHEAD DOOR
	NEW DOOR / ENTRANCE
	PROPOSED RIVERSTONE MULCH
	EXISTING VEGETATION REFER TO LANDSCAPE DWGS
	BICYCLE PARKING SPACE (1.8Mx0.6M)
	NO PARKING LINES
	PROPOSED PRECAST CONCRETE PAVERS
	PROPOSED SOD - REFER TO LANDSCAPE DWGS
	NEW SAWCUT CONCRETE SIDEWALK
	PARKING STALL COUNT PER ROW
	NEW SIGN, REFER TO SIGN LEGEND
	STREET LIGHT
	HYDRO POST
	DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
	V VISITOR PARKING
	TWO WAY TRAFFIC
	DEPRESSED CURB (DC)
	PROPERTY LINE
	EXISTING FENCE
	MINIMUM SETBACKS (ZONING)
	NEW CONSTRUCTION
	EXISTING BUILDINGS
	BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
	*REFER TO LANDSCAPE DWGS



LEGAL DESCRIPTION:
PART OF LOTS 6 & 7, REGISTERED PLAN 83,
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD.
COMPLETED ON APRIL 22, 2022



ZONING MECHANISM	R4UB PROVISION (PUD)	PROPOSED	COMPLIANCE
MINIMUM LOT WIDTH	N/A	20.12m	
MINIMUM LOT AREA	1,400m ²	1,859m ²	
MAXIMUM BUILDING HEIGHT	11m	11.08m	
MINIMUM FRONT YARD SETBACK (SEC. 144)	3.91m (MEASURED FOR 276 CARRUTHERS)	3.75m	X
MINIMUM CORNER SIDE YARD SETBACK	1.5m	3m	
MINIMUM REAR YARD SETBACK (SECTION 144)	25% OF LOT DEPTH & NEED NOT EXCEED 7.5m	13.1m (FROM EXISTING CONC. WALL CANTILEVER)	
MINIMUM INTERIOR SIDE YARD SETBACK	FOR THE FIRST 18M BACK FROM THE STREET: 1.5m FOR THE REMAINDER: 25% OF THE LOT DEPTH TO A MAXIMUM OF 7.5m	NORTH: 1.5m SOUTH: 1.5m	
MAXIMUM NUMBER OF UNITS FOR A LOW-RISE APARTMENT IN R4UB	12 UNITS	18 UNITS	X
LOW-RISE APARTMENT DWELLINGS IN R4UB ZONE	NO MOTOR VEHICLE PARKING IS PERMITTED ON A LOT LESS THAN 450m ² IN THE CASE OF A LOT OF 450m ² OR GREATER: A) AT LEAST 25% OF DWELLING UNITS MUST HAVE AT LEAST 2 BEDROOMS	N/A 28%	N/A
PRINCIPAL ENTRANCE	1 ENTRANCE	1 PRINCIPAL ENTRANCE, BICYCLE STORAGE ENTRANCE, 1 BARRIER-FREE ENTRANCE	
FRONT FACADE	25% WINDOWS	42% WINDOWS	
FRONT YARD FIXTURES	THE FRONT YARD MUST BE EQUIPPED WITH SOLID, PERMANENT FIXTURES TO PREVENT MOTOR VEHICLE PARKING	TREES ARE PROVIDED WITHIN THE FRONT YARD TO PREVENT VEHICLE PARKING	
BALCONY	1 BALCONY OR PORCH FOR EVERY UNIT THAT FACES A PUBLIC STREET AT OR ABOVE THE FIRST STOREY, AND TOTAL BALCONY AREA OF 2m ² MINIMUM	1 BALCONY FOR EACH UNIT FACING THE STREET ON THE SECOND AND THIRD STOREYS ALL BALCONIES > 2m ² AREA: UNIT 12: 7.6m ² UNIT 13: 8.6m ² UNIT 17: 7.6m ² UNIT 18: 6.6m ²	
LANDSCAPED AREA (TOTAL LOT AREA) (SECTION 161)	30%	38.5% (823.29m ²)	
LANDSCAPED AREA, REAR YARD (SECTION 161)	A) ANY PART OF THE REAR YARD NOT OCCUPIED MUST BE SOFTLY LANDSCAPED B) THE MINIMUM AREA OF SOFT LANDSCAPING PER (A) MUST BE AT LEAST 50 SQUARE METERS	REAR YARD IS PROPOSED TO BE SOFTLY LANDSCAPED 285m ²	
LANDSCAPED AREA, FRONT YARD (SECTION 161)	40% = 30m ²	61% = 46m ²	
MINIMUM WIDTH OF A PRIVATE WAY	6m	5.7m	X
MINIMUM SETBACK FOR ANY WALL OF RESIDENTIAL USE BUILDING TO A PRIVATE WAY (SECTION 131)	1.8m	0m (THE BUILDING CANTILEVERS OVER THE PRIVATE WAY)	X
MINIMUM SEPARATION DISTANCE BETWEEN BUILDINGS (SECTION 131)	WHERE THE HEIGHT OF ABUTTING BUILDINGS WITHIN THE PUD IS EQUAL TO OR LESS THAN 14.5m: 1.2m	4.1m	
AMENITY AREA (SECTION 137)	R4UB ZONE NOT REQUIRED TO HAVE AMENITY SPACE	PRIVATE: 40m ² COMMUNAL: 437m ²	
URBAN EXCEPTION 2701			
MAXIMUM NUMBER OF DWELLING UNITS	33	NO CHANGE	EXCEPTION TO REMAIN
RESIDENTIAL PARKING	NOT REQUIRED	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM PARKING SPACE WIDTH	2.4m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM PARKING SPACE DEPTH	4.6m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM ROOFTOP ACCESS SETBACK FROM THE FRONT WALL FOR A MAXIMUM OF 6.5m	0m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM ROOFTOP ACCESS AREA	46.3m ²	NO CHANGE	EXCEPTION TO REMAIN
PRINCIPAL ENTRANCE	ONLY ONE PRINCIPAL ENTRANCE IS REQUIRED	NO CHANGE	EXCEPTION TO REMAIN
MAXIMUM LOT AREA	1,430m ²	1,859m ²	EXCEPTION TO BE REMOVED
URBAN EXCEPTION 2702			
MAXIMUM LOT AREA	1,430m ²	1,859m ²	EXCEPTION TO BE REMOVED
PARKING REQUIREMENTS (SECTION 101, 102, 111)			
MINIMUM PARKING RATES AREA X OF SCHEDULE 1A (SECTION 101, 102)	DWELLING, LOW-RISE: 0.5 SPACES/UNIT (AFTER THE FIRST 12 UNITS) + 3 SPACES VISITOR: 1.1 SPACES/UNIT (AFTER THE FIRST 12 UNITS AND UP TO A MAXIMUM OF 30 SPACES PER BUILDING) = 1 SPACE TOTAL: 4 SPACES	0 SPACES	X
MINIMUM PARKING RATES NEAR RAPID TRANSIT	AREA B SCHEDULE 1: 1.75 SPACES/UNIT (TOTAL RESIDENT + VISITOR)	0 SPACES	
LOCATED WITHIN 600m OF TUNNEY'S PASTURE (SECTION 103)			
PARKING SPACE PROVISIONS (SECTION 106)	MAXIMUM: 2.6m x 5.2m MAXIMUM: 3.1m x 5.2m PARALLEL PARKING LENGTH: 6.7m	N/A - NO PARKING IS PROPOSED	EXISTING ZONING EXCEPTION TO BE CARRIED FORWARD FOR EXISTING PARKING SPACES
AISES AND DRIVEWAYS (SECTION 107)	DRIVEWAYS: MINIMUM WIDTH: 2.6m	DRIVEWAYS: 5.7m	
PARKING NOT LOCATED IN A PARKING LOT OR PARKING GARAGE 71-90 DEGREE ANGLE OF PARKING	AISES: MINIMUM WIDTH: 6.7m		
BICYCLE PARKING SPACES (SECTION 111)	0.5 SPACES / DWELLING UNIT = 9 SPACES	18 SPACES	
BICYCLE PARKING SPACE PROVISIONS (SECTION 111)	HORIZONTAL: 0.6m x 1.8m (MINIMUM 50% OF SPACES) VERTICAL: 0.5m x 1.5m STACKED: 0.36m x 1.8m ACCESS AISLE: 1.5m	4 VERTICAL SPACES (0.5m x 1.5m) 14 STACKED SPACES (0.6m x 1.8m) ACCESS AISLE: 1.5m	
BUILDING AREAS			
LOWER LEVEL	287 sq.m	3,090 sq.ft	
GROUND FLOOR LEVEL	288.5 sq.m	3,106 sq.ft	
SECOND FLOOR LEVEL	318.8 sq.m	3,432 sq.ft	
THIRD FLOOR LEVEL	318.8 sq.m	3,432 sq.ft	
TOTAL	926.1 sq.m	9,970 sq.ft	

CLIENT NAME: THE BERG HOMES

NOTES:
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BUILDING FLOOR STATISTICS				
LOWER LEVEL	SUITES	2 BED	1 BED	STUDIO
GROUND FLOOR	4	N/A	2	1
SECOND FLOOR	5	2	3	N/A
THIRD FLOOR	5	2	3	N/A
	18	5	11	2
		28%	61%	11%

SEAL: [Signature]

NORTH ARROW: [North Arrow]

No.	DATE	REVISION
08	2023.03.24	REISSUED FOR ZONING & SPC
07	2023.02.24	ISSUED FOR COORDINATION
06	2023.02.13	ISSUED FOR REVIEW
05	2023.01.09	ISSUED FOR OPEN HOUSE
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.04	ISSUED FOR COORDINATION
02	2022.08.15	ISSUED FOR COORDINATION
01	2022.07.27	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
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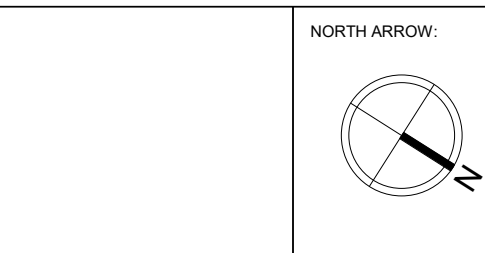
PROJECT: CARRUTHERS DEVELOPMENT
266 CARRUTHERS, OTTAWA, ON

SHEET TITLE: PRELIMINARY SITE PLAN

DRAWN BY: B.J.L. CHECKED BY: S.J.L.
PLOT DATE: 2023.03.24 PROJECT DATE: 2022.06.08
JOB NUMBER: SL-1077-22 SCALE: AS SHOWN
SHEET NUMBER: A1.0

Area Schedule (Gross Building)		
UNUN	Area	Level
1 BED		
UNIT 3	465 R ²	BASEMENT
UNIT 4	584 R ²	BASEMENT
UNIT 6	577 R ²	LEVEL 1
UNIT 7	496 R ²	LEVEL 1
UNIT 8	572 R ²	LEVEL 1
UNIT 9	527 R ²	LEVEL 2
UNIT 11	556 R ²	LEVEL 2
UNIT 12	571 R ²	LEVEL 2
UNIT 14	527 R ²	LEVEL 3
UNIT 16	556 R ²	LEVEL 3
UNIT 17	551 R ²	LEVEL 3
2 BED		
UNIT 1	687 R ²	BASEMENT
UNIT 10	850 R ²	LEVEL 2
UNIT 13	676 R ²	LEVEL 2
UNIT 15	850 R ²	LEVEL 3
UNIT 18	661 R ²	LEVEL 3
BACHELOR		
UNIT 2	339 R ²	BASEMENT
UNIT 5	340 R ²	LEVEL 1

- NOTES:
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No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEARON STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
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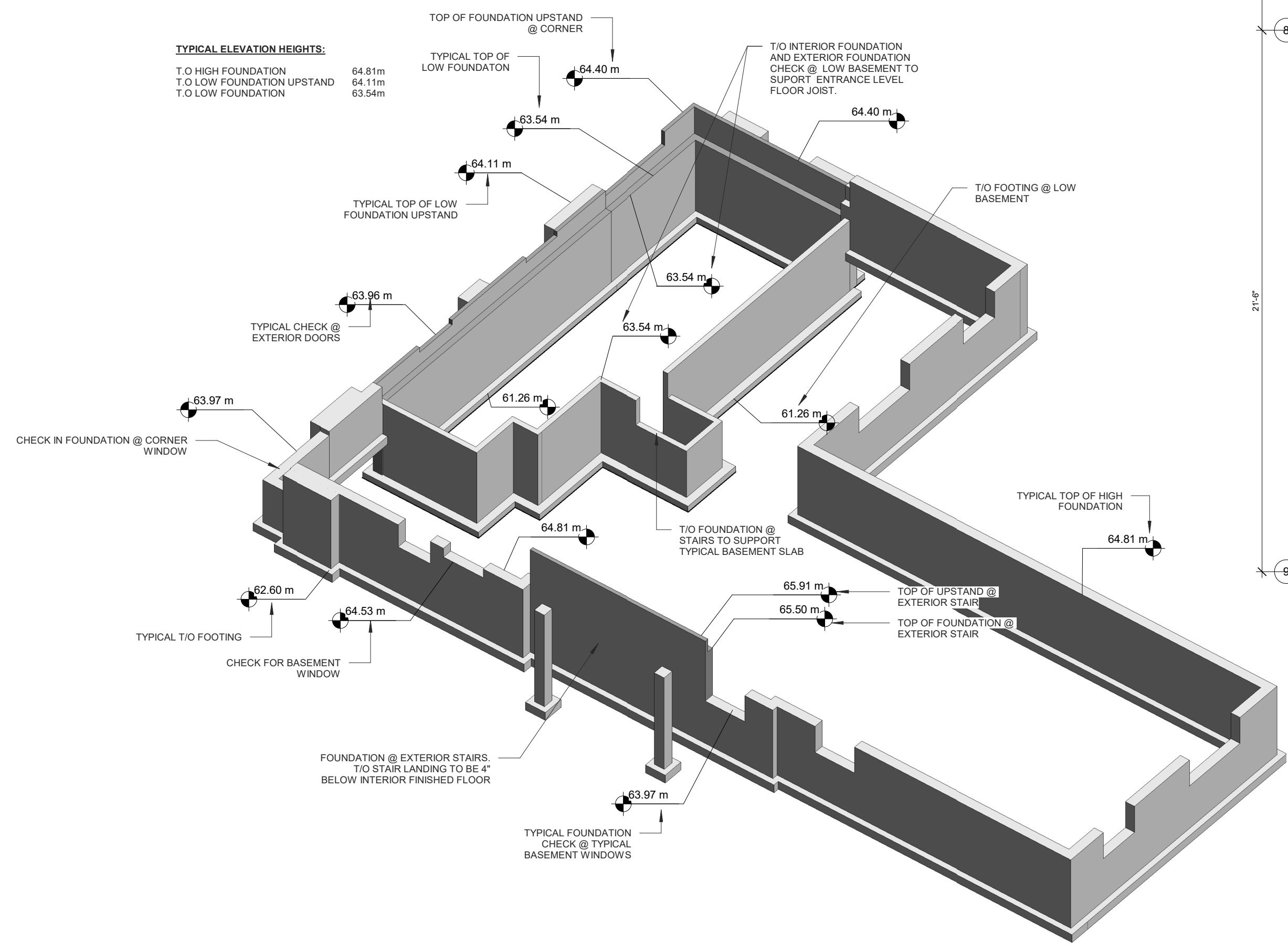
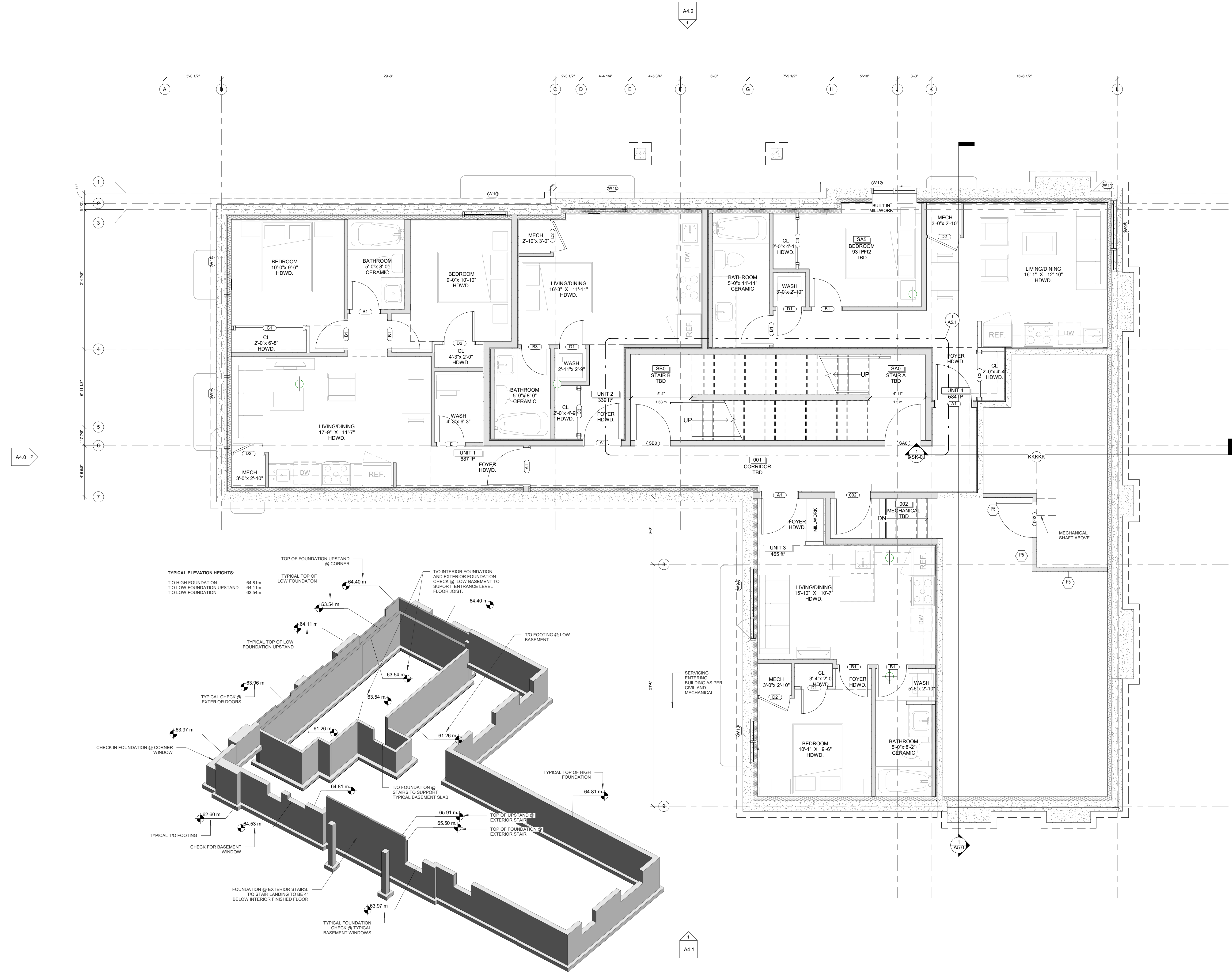
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
BASEMENT PLAN

DRAWN BY:
 D.T. CHECKED BY:
 B.L. S.J.L.

PLOT DATE:
 2023-03-24 11:36:28 AM
 JOB NUMBER:
 SL-1077-22 SCALE:
 1/4" = 1'-0"

A2.0



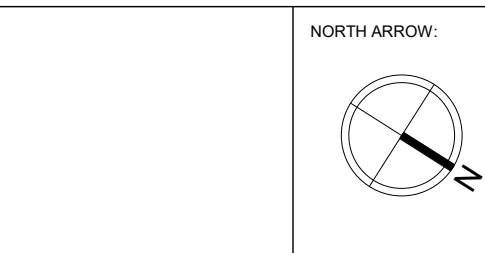
1 -T.O. Slab
 A2.0 SCALE 1/4" = 1'-0"

3 3D FOUNDATION
 A2.0 SCALE

A4.1

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UNIT 12	571 R ²	LEVEL 2
UNIT 14	527 R ²	LEVEL 3
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UNIT 17	551 R ²	LEVEL 3
2 BED		
UNIT 1	687 R ²	BASEMENT
UNIT 10	850 R ²	LEVEL 2
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BACHELOR		
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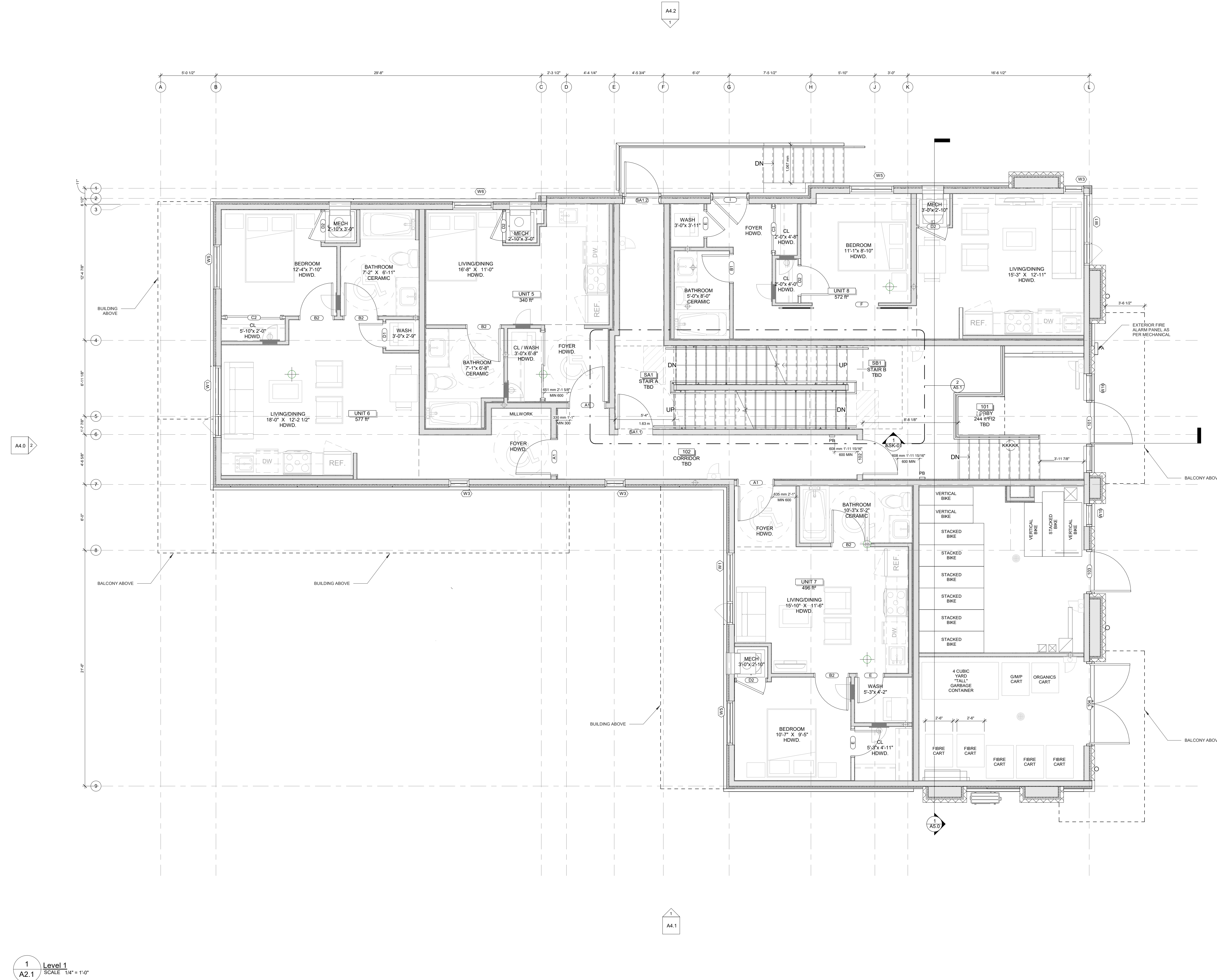
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
GROUND FLOOR PLAN

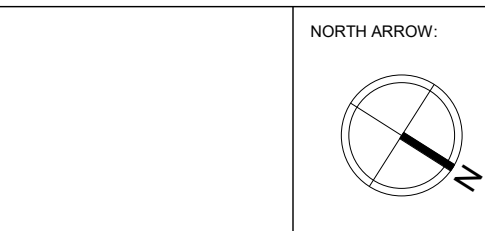
DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-03-24 11:36:32 AM
 JOB NUMBER: SL-1077-22 SCALE: 1/4" = 1'-0"



1
A2.1 Level 1
 SCALE 1/4" = 1'-0"

NOTES:
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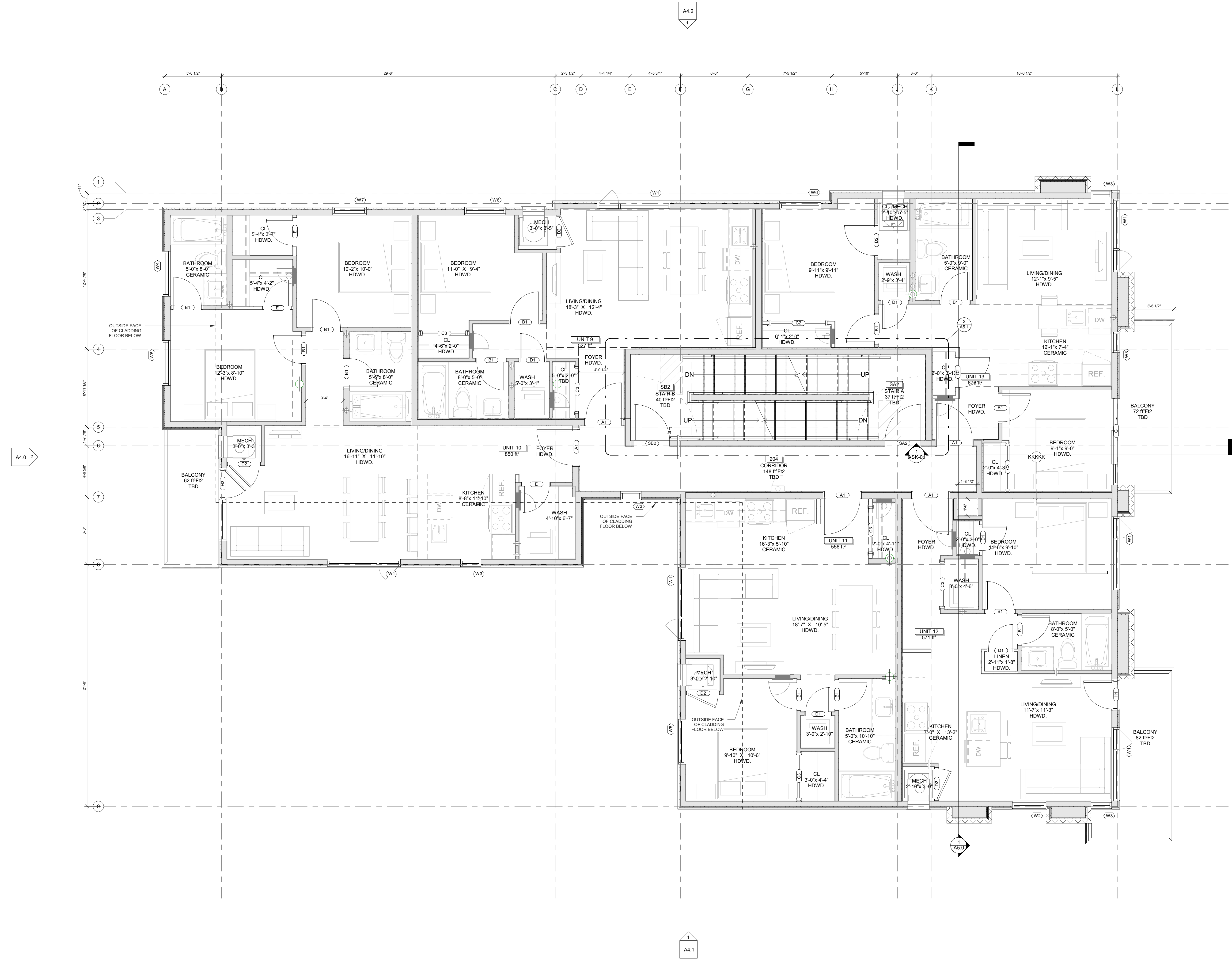
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
SECOND FLOOR PLAN

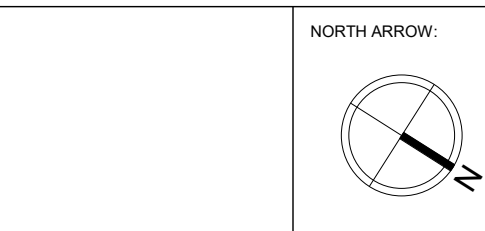
DRAWN BY:
 D.T.
 CHECKED BY:
 B.L. S.J.L.
 PLOT DATE:
 2023-03-24 11:36:34 AM
 JOB NUMBER:
 SL-1077-22
 SCALE:
 1/4" = 1'-0"



1
A2.2 Level 2
 SCALE 1/4" = 1'-0"

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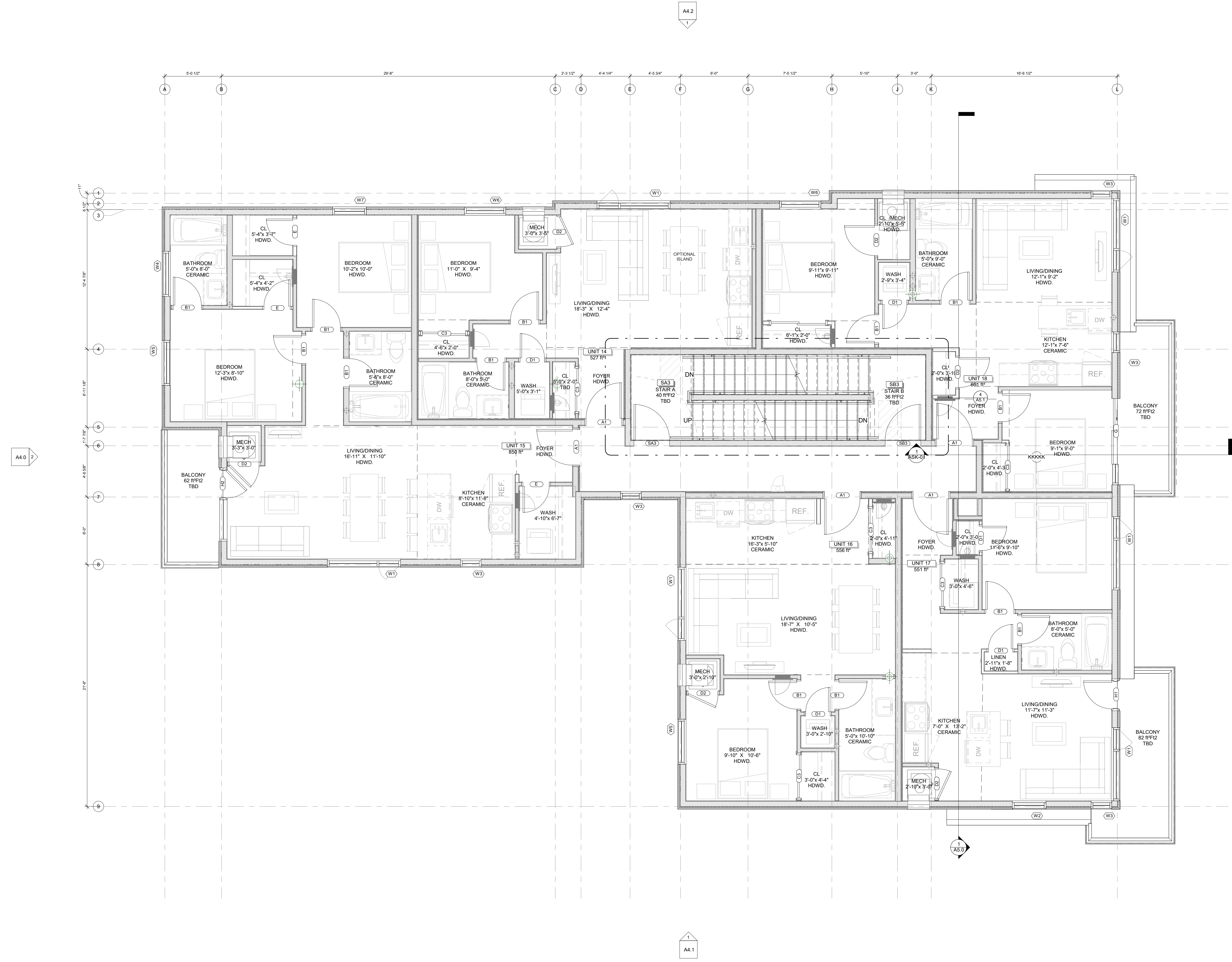
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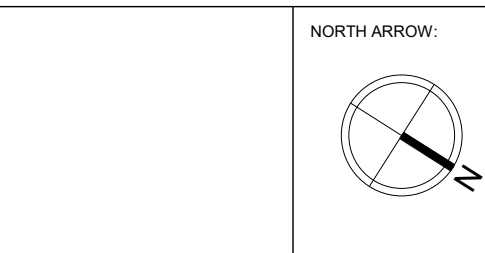

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CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
THIRD FLOOR PLAN

DRAWN: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-03-24 11:36:36 AM
 JOB NUMBER: SL-1077-22 SCALE: 1/4" = 1'-0"



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04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEARIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
 T: (613) 739 7770 F: (613) 739 7703
 sl@sjarchitect.com



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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ROOF PLAN

DRAWN BY:
 D.T.

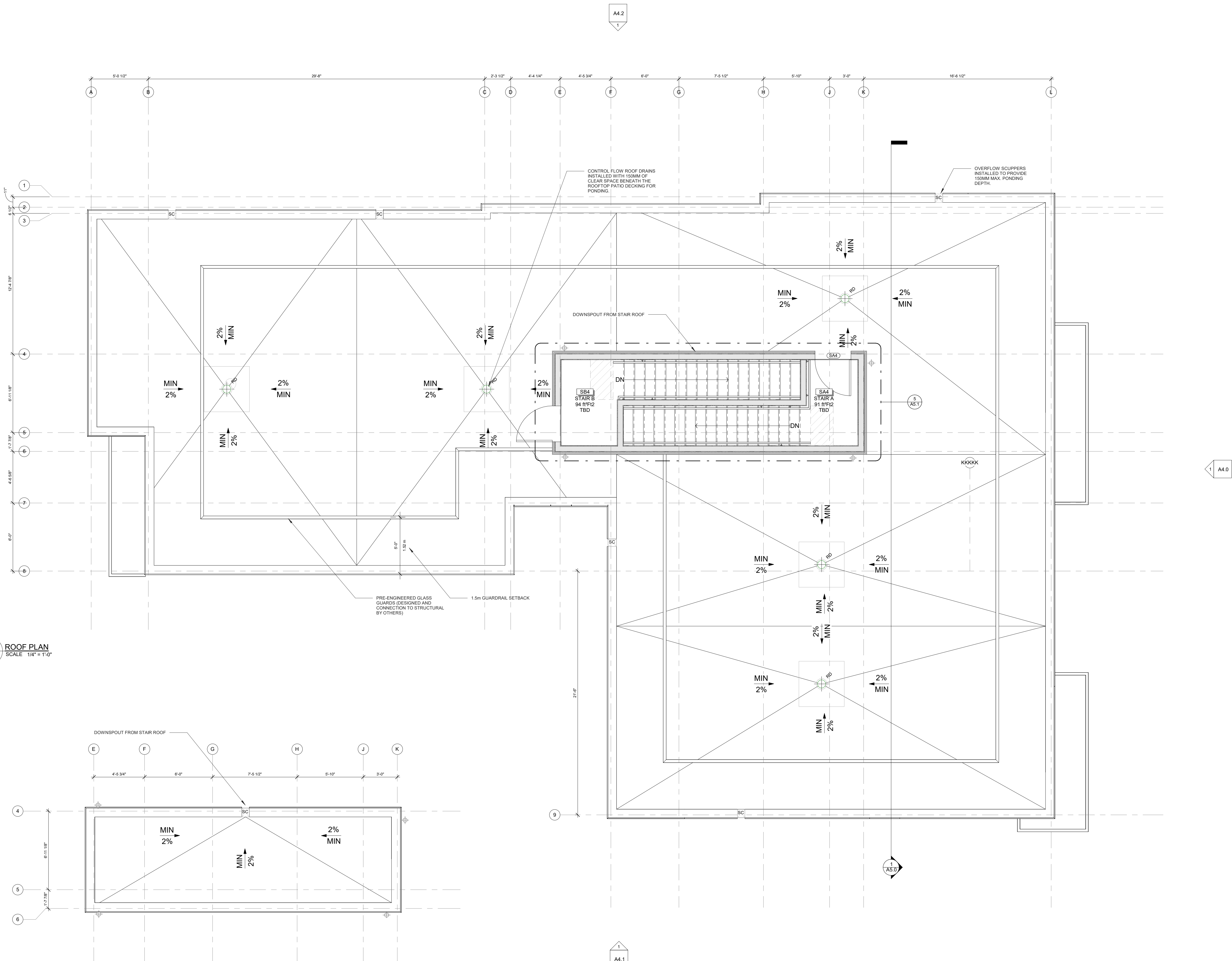
CHECKED BY:
 B.L. S.J.L.

PLOT DATE:
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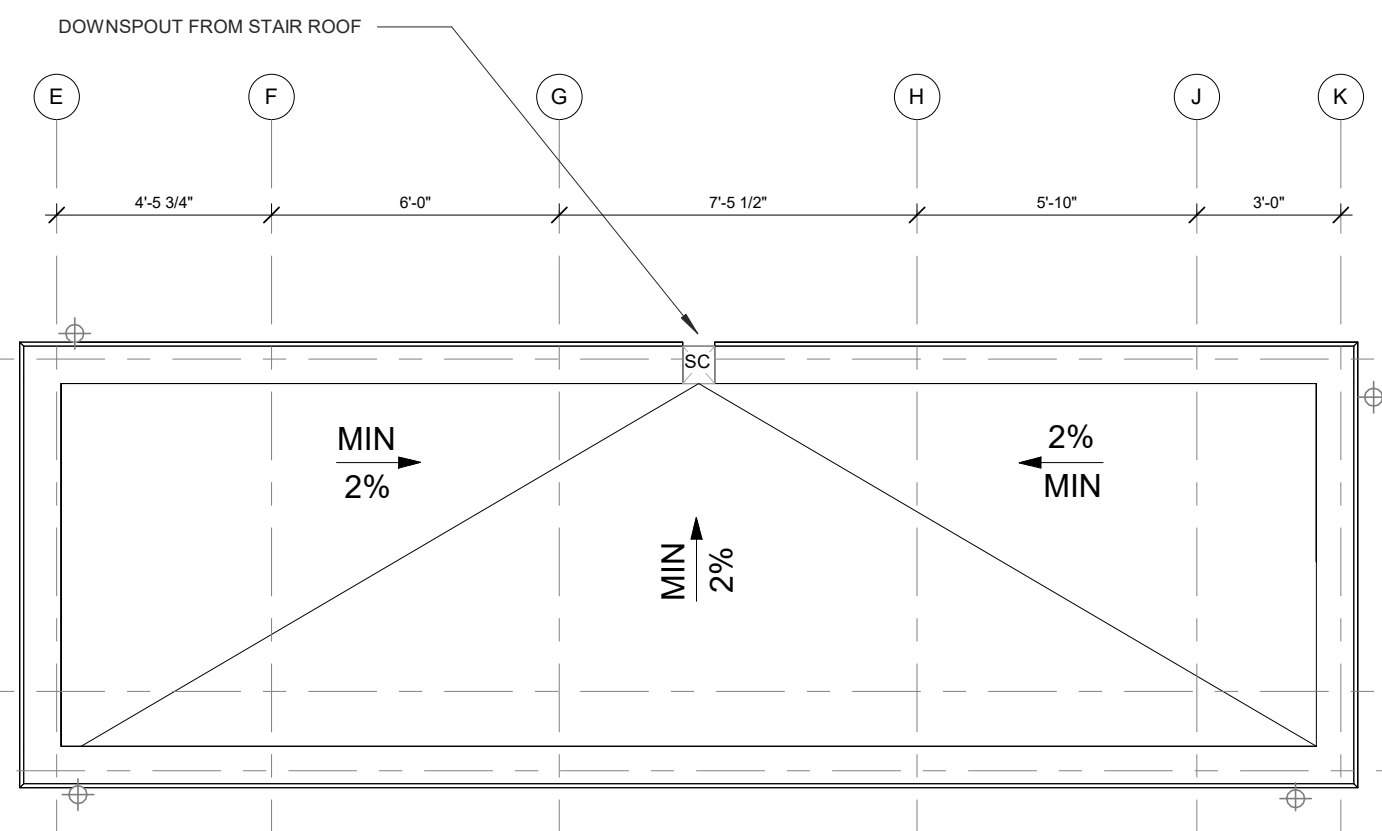
JOB NUMBER:
 SL-1077-22

SCALE:
 1/4" = 1'-0"

A2.4



1
ROOF PLAN
 SCALE 1/4" = 1'-0"



2
T/O STAIR ROOF STRUCTURE
 SCALE 1/4" = 1'-0"

A4.2

A4.0

A4.0

A4.1

A5.0

NOTES:
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL CODES, REGULATIONS AND BY-LAWS.
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME REGARDING INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 3) DO NOT SCALE DRAWINGS.
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
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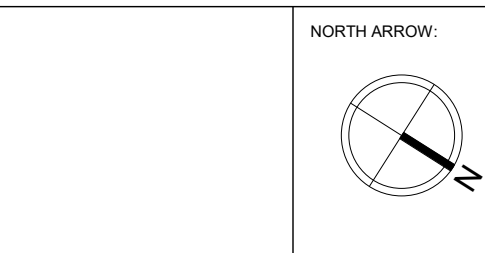
1 -T.O. Slab FRR
 A2.5 SCALE 1/8" = 1'-0"

2 Level 1 FRR
 A2.5 SCALE 1/8" = 1'-0"



3 Level 2 FRR
 A2.5 SCALE 1/8" = 1'-0"

4 Level 3 FRR
 A2.5 SCALE 1/8" = 1'-0"



No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
FRR PLANS

DRAWN BY:
 D.T.
 CHECKED BY:
 B.L. S.J.L.

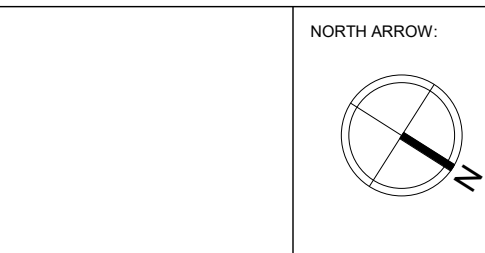
PLOT DATE:
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 JOB NUMBER:
 SL-1077-22
 SCALE:
 1/8" = 1'-0"

A2.5

NOTES:
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CEILING LEGEND

	BULKHEAD	REFER TO RCP FOR HEIGHT
	US OF ASSEMBLY	7'-0"
	US OF ASSEMBLY	13'-9"
	US OF ASSEMBLY	9'-0"



No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON




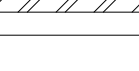
SHEET TITLE:
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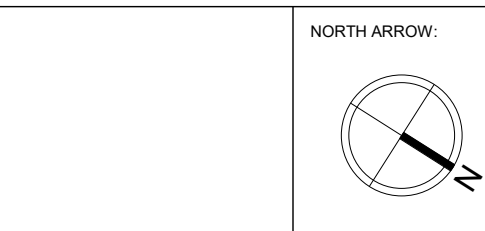
DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-03-24 11:36:45 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated

1 -T.O. Slab
 A3.0 SCALE 1/4" = 1'-0"

NOTES:
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CEILING LEGEND

	BULKHEAD	- REFER TO RCP FOR HEIGHT
	U/S OF ASSEMBLY	- 7'-0"
	U/S OF ASSEMBLY	- 13'-0"
	U/S OF ASSEMBLY	- 9'-0"



No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
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07	2023.01.19	ISSUED FOR OPEN HOUSE
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01	2022.07.05	ISSUED FOR REVIEW

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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON




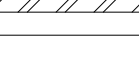
SHEET TITLE:
REFLECTED CEILING PLANS 1ST

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.

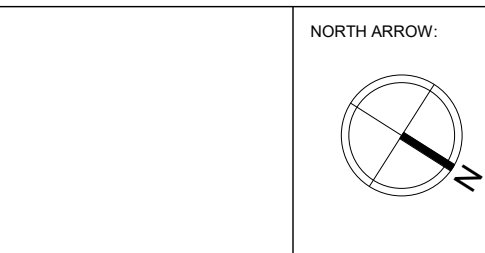
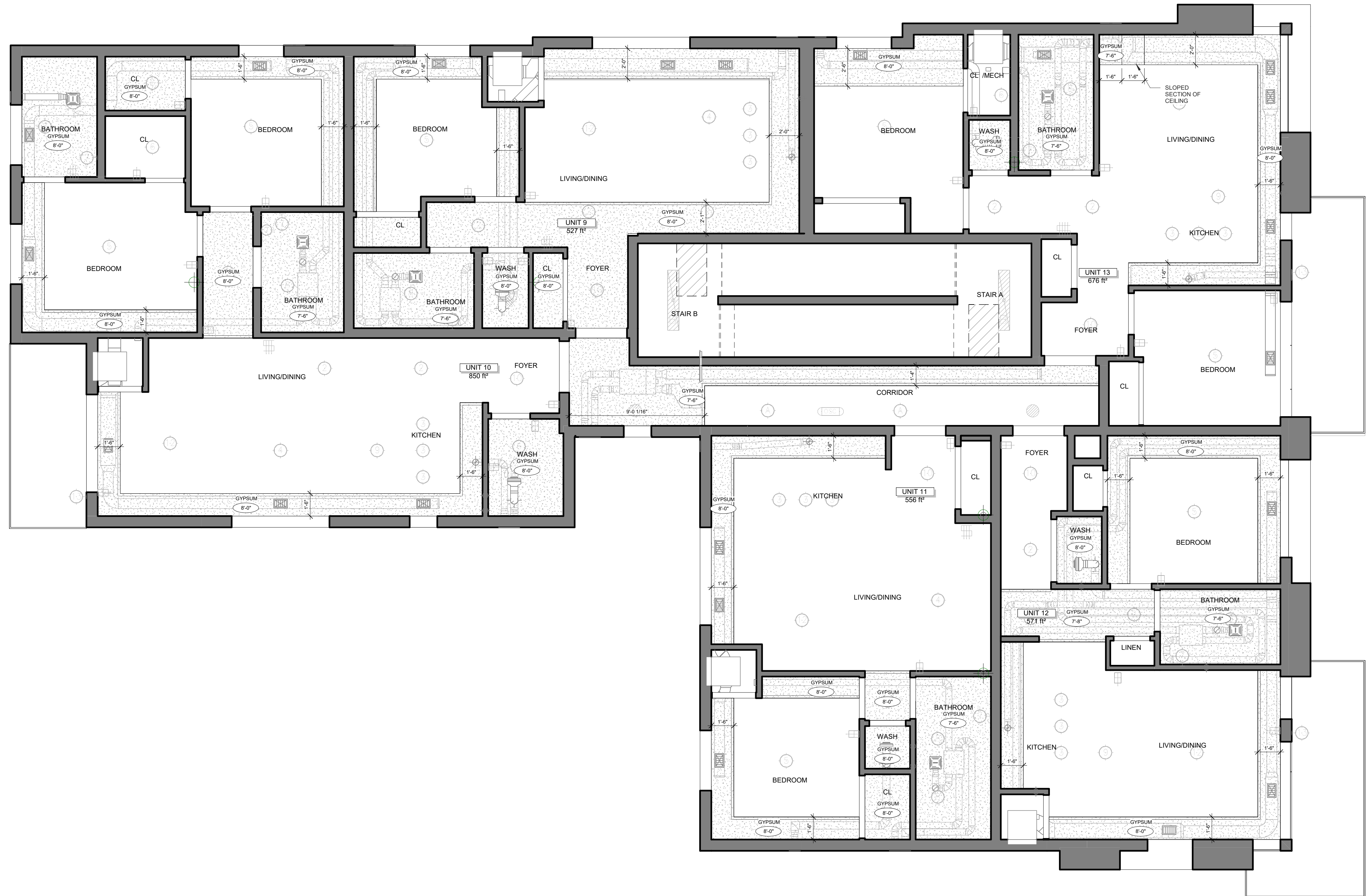
PLOT DATE:
 2023-03-24 11:36:49 AM

JOB NUMBER: SL-1077-22 SCALE: As indicated

CEILING LEGEND

	BULKHEAD	REFER TO RCP FOR HEIGHT
	U/S OF ASSEMBLY	7'-0"
	U/S OF ASSEMBLY	13'-9"
	U/S OF ASSEMBLY	9'-0"

- NOTES**
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL CODES, REGULATIONS AND BY-LAWS.
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No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
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03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
REFLECTED CEILING PLANS 2ND




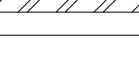
DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.

PLOT DATE:
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JOB NUMBER: SL-1077-22 SCALE: As indicated

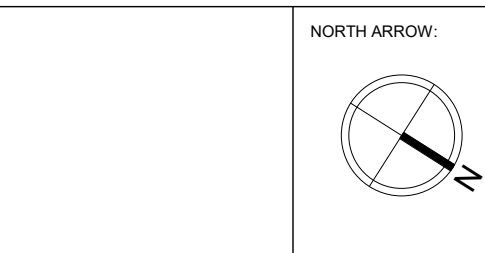
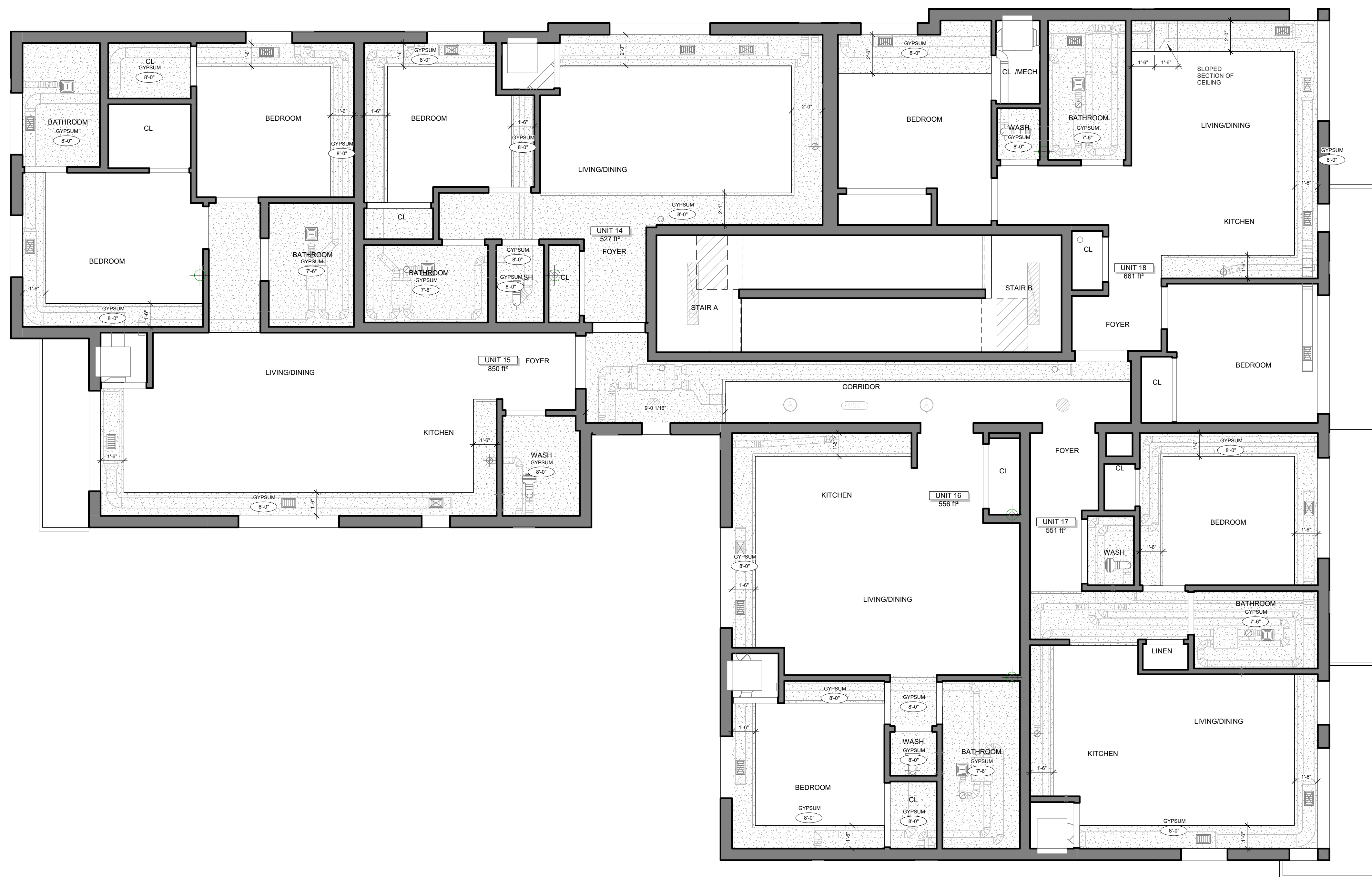
1 Level 2
 A3.2 SCALE 1/4" = 1'-0"

CEILING LEGEND

	BULKHEAD	REFER TO RCP FOR HEIGHT
	US OF ASSEMBLY	7'-0"
	US OF ASSEMBLY	13'-9"
	US OF ASSEMBLY	9'-0"

NOTES

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No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET
 SUITE 200
 OTTAWA, ONTARIO
 K2E 8B7
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 slj@sjarchitect.com



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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
REFLECTED CEILING PLANS 3RD

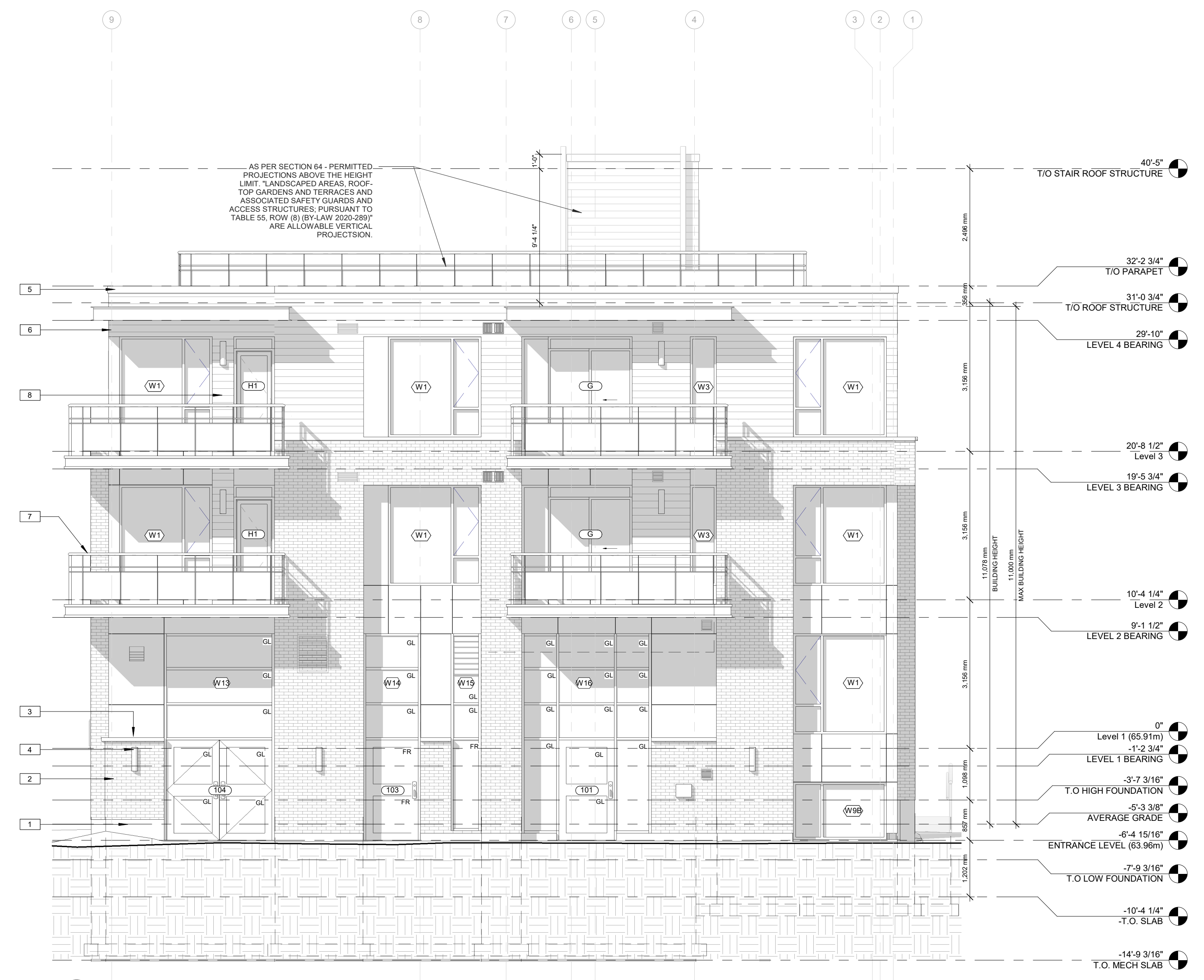
DRAWN: D.T. **CHECKED BY:** B.L. S.J.L.

PLOT DATE: 2023-03-24 11:36:59 AM

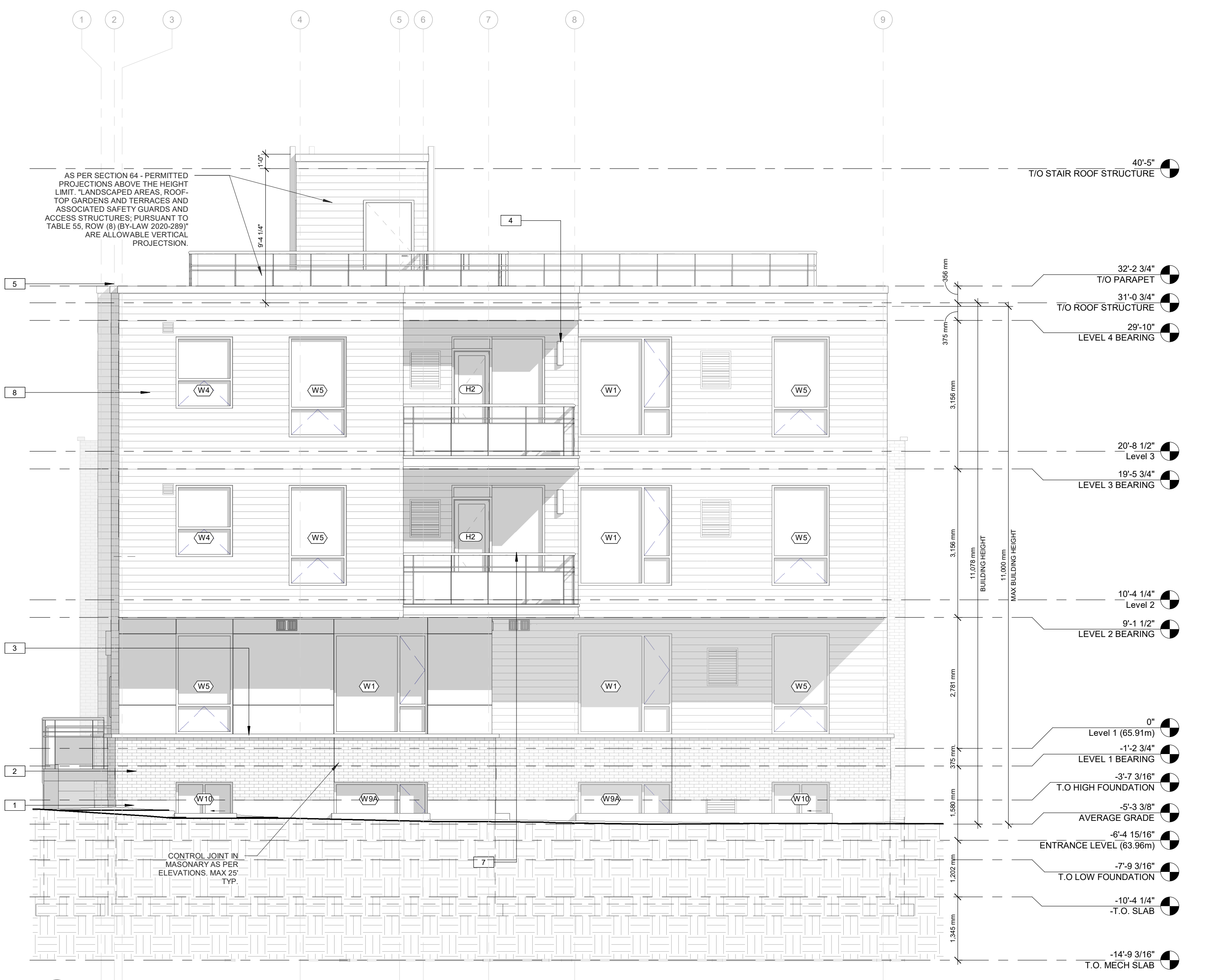
JOB NUMBER: SL-1077-22 **SCALE:** As Indicated

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL CODES, REGULATIONS AND BY-LAWS.
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KEYNOTES-ELEVATION	
NOTE NUMBER	NOTE TEXT
1	CEMENT PARPING ON ALL EXPOSED FOUNDATION TO 1" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SCOOCE
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN

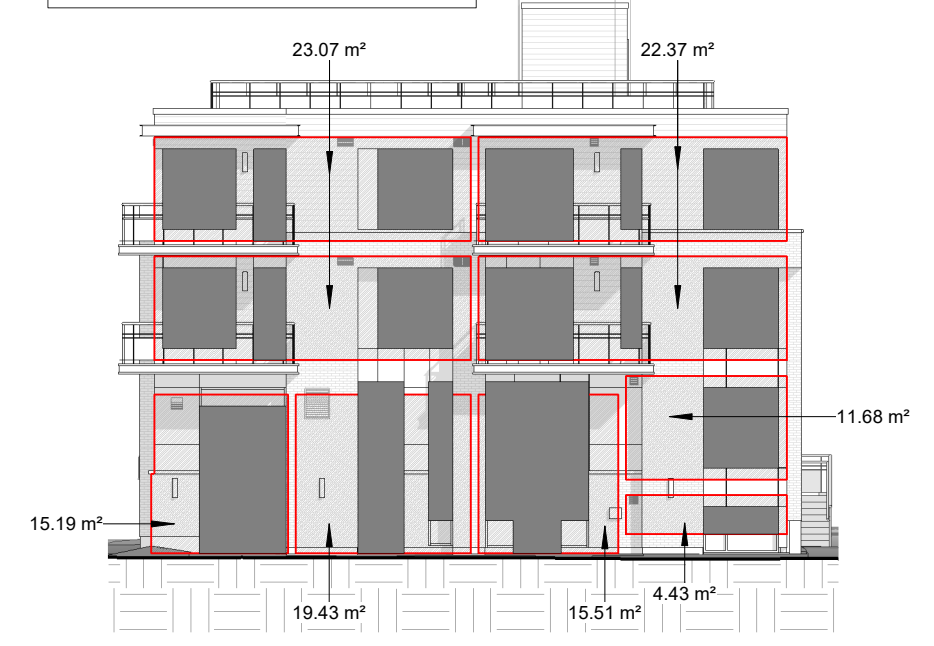


1 EAST ELEVATION
 SCALE 1:65

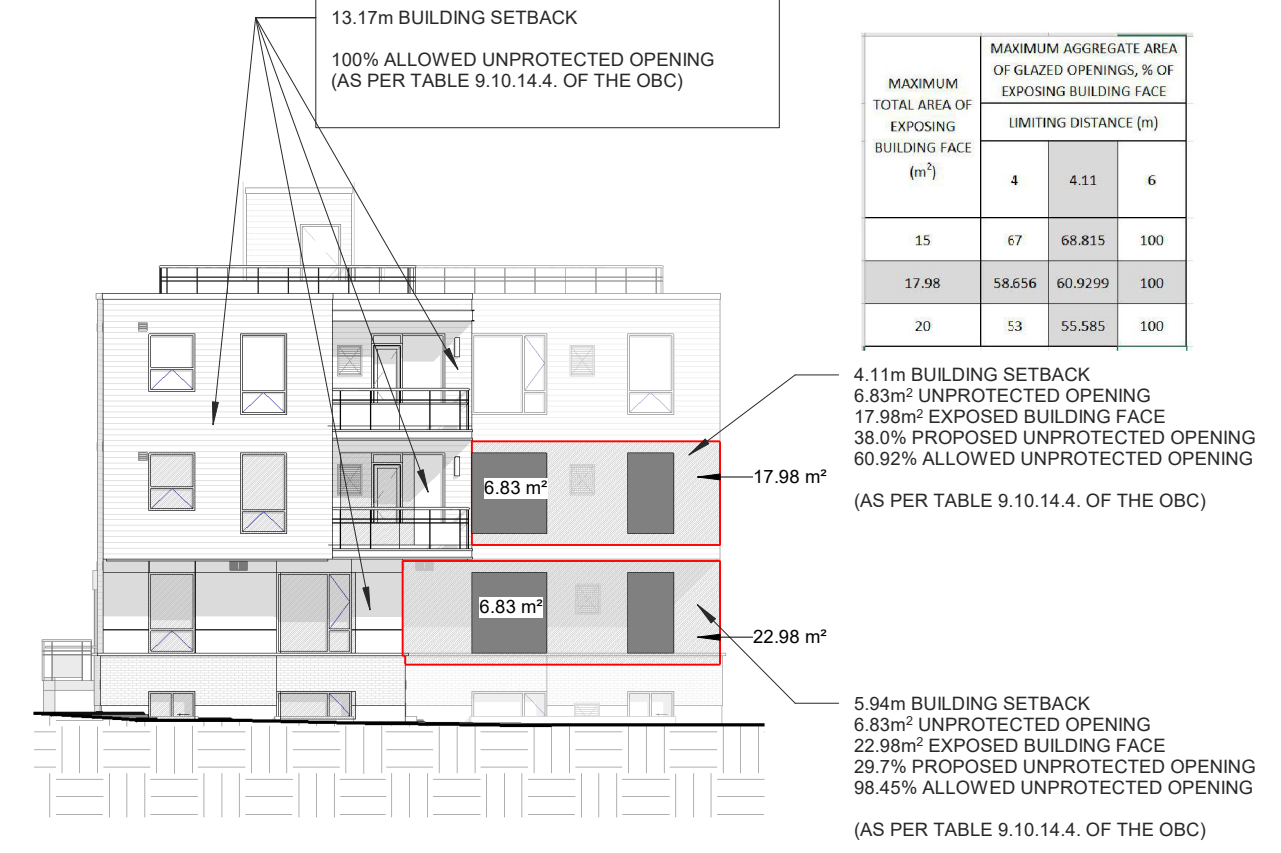


2 WEST ELEVATION
 SCALE 1:65

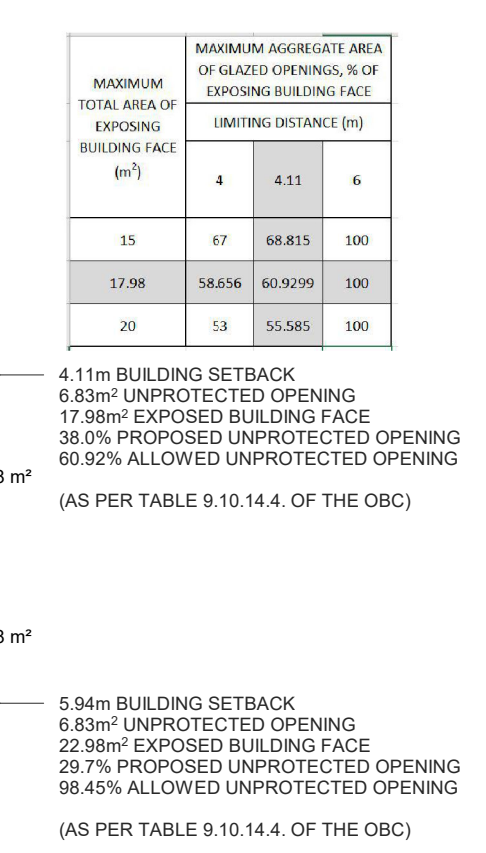
ENTIRE BUILDING FACE
 9.62m BUILDING SETBACK
 100% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)



3 EAST ELEVATION LIMITING DISTANCE CALCS
 SCALE 1:200



4 WEST ELEVATION LIMITING DISTANCE CALCS
 SCALE 1:200



NORTH ARROW

No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
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05	2022.12.07	ISSUED FOR COORDINATION
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03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 202 OTTAWA, ONTARIO K2E 8B7
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY:
 D.T.

CHECKED BY:
 B.L. S.J.L.

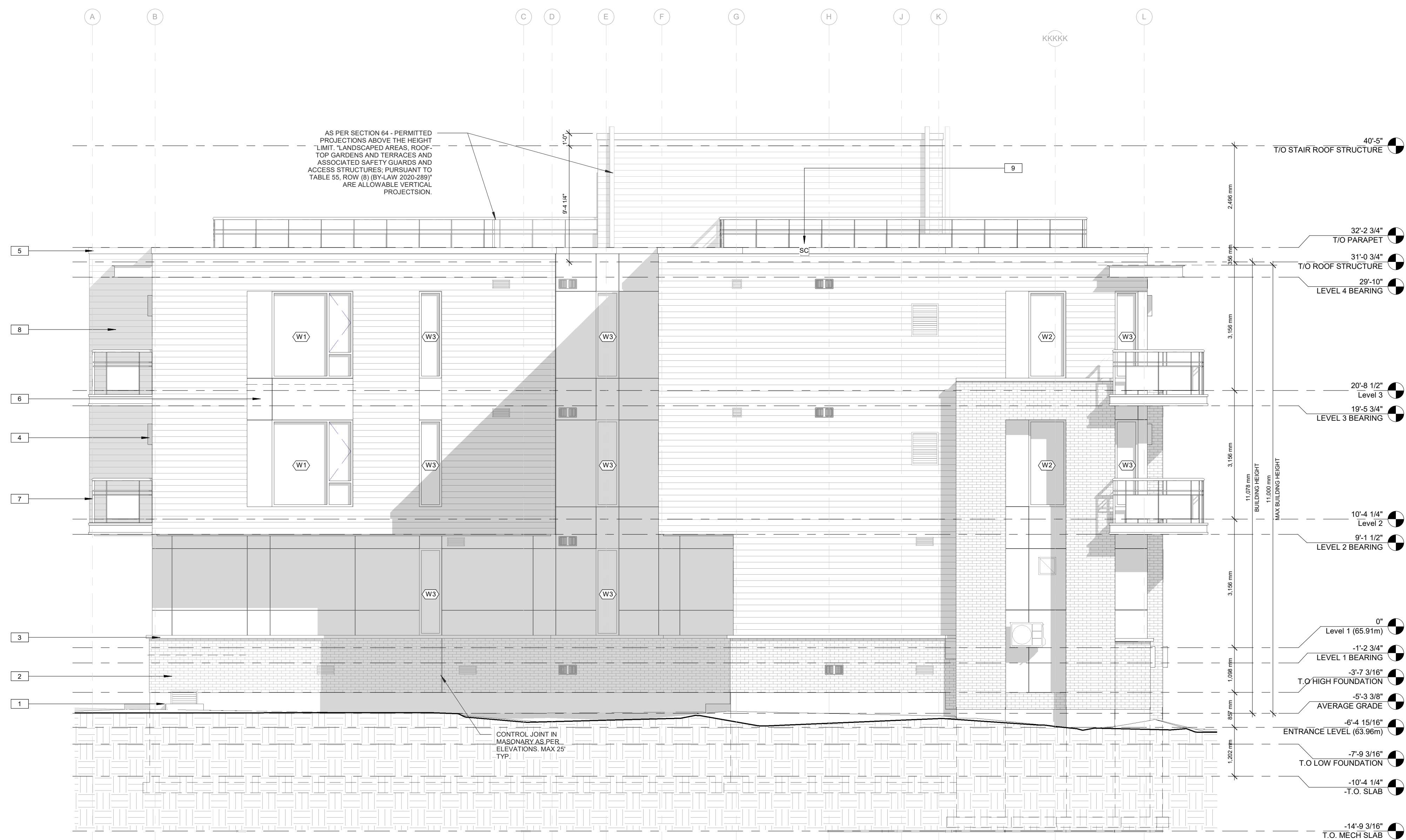
PLOT DATE:
 2023-03-24 11:37:10 AM

JOB NUMBER:
 SL-1077-22

SCALE:
 As Indicated

- NOTES:
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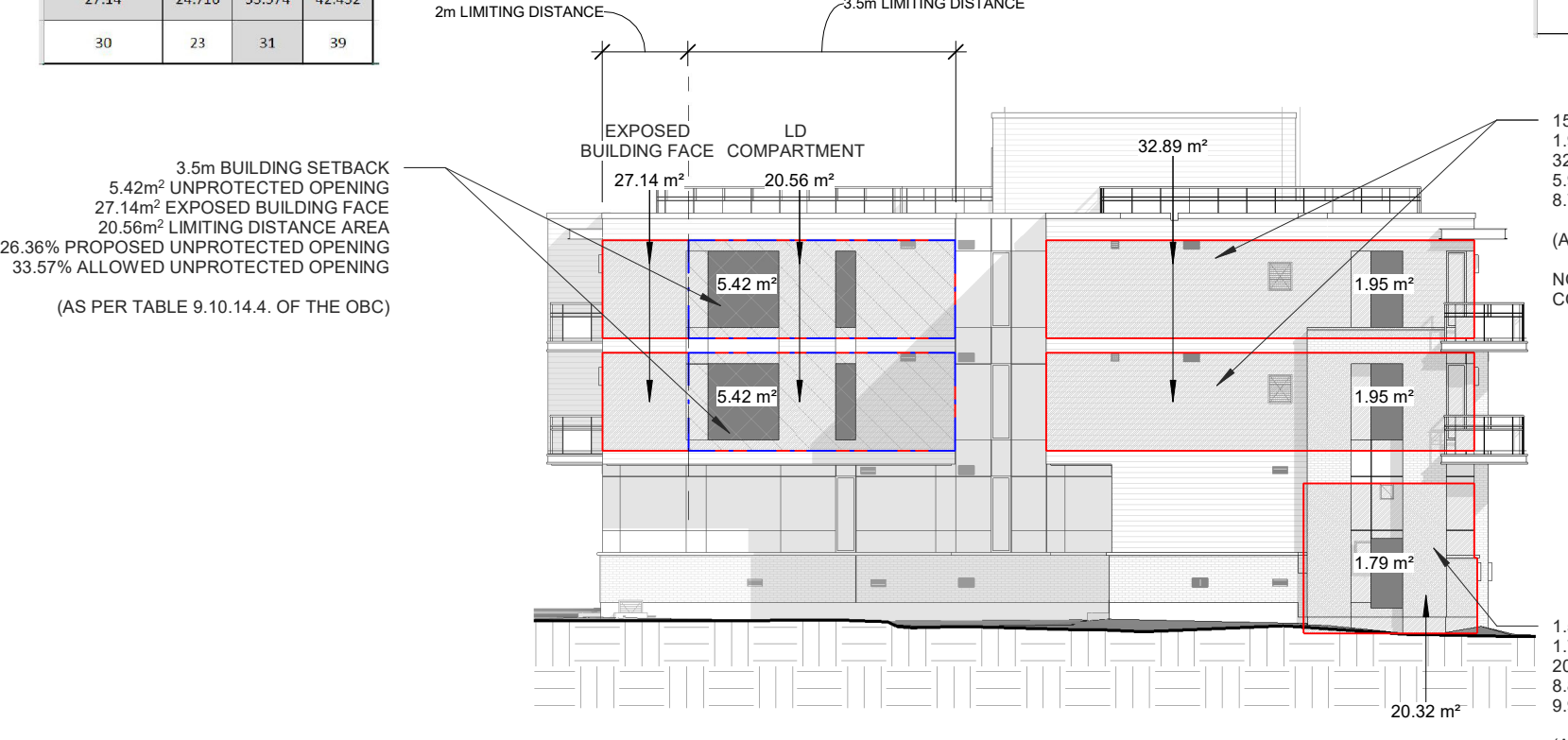
KEYNOTES-ELEVATION	
NOTE NUMBER	NOTE TEXT
1	CEMENT PAVING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SCOFF
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



1 SOUTH ELEVATION
 SCALE 1 : 65

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	3	3.5	4
25	26	35.5	45
27.14	24.16	33.574	42.432
30	23	31	39

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.501	2
30	9	9.006	12
32.89	8.711	8.717	11.711
40	8	8.006	11



2 SOUTH ELEVATION LIMITING DISTANCE CALCS
 SCALE 1 : 200

15.00m BUILDING SETBACK
 1.95m² UNPROTECTED OPENING
 32.89m² EXPOSED BUILDING FACE
 9.93% PROPOSED UNPROTECTED OPENING
 8.71% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

NON COMBUSTIBLE CONSTRUCTION AND NON COMBUSTIBLE CLADDING

1.50m BUILDING SETBACK
 1.79m² UNPROTECTED OPENING
 20.32m² EXPOSED BUILDING FACE
 9.91% PROPOSED UNPROTECTED OPENING
 9.93% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

NON COMBUSTIBLE CONSTRUCTION AND NON COMBUSTIBLE CLADDING

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE		
	1.5	1.501	3
20	10	10.003	15
20.32	9.936	9.9379	14.872
25	9	9.00267	13



NORTH ARROW

No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
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07	2023.01.19	ISSUED FOR OPEN HOUSE
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01	2022.07.05	ISSUED FOR REVIEW

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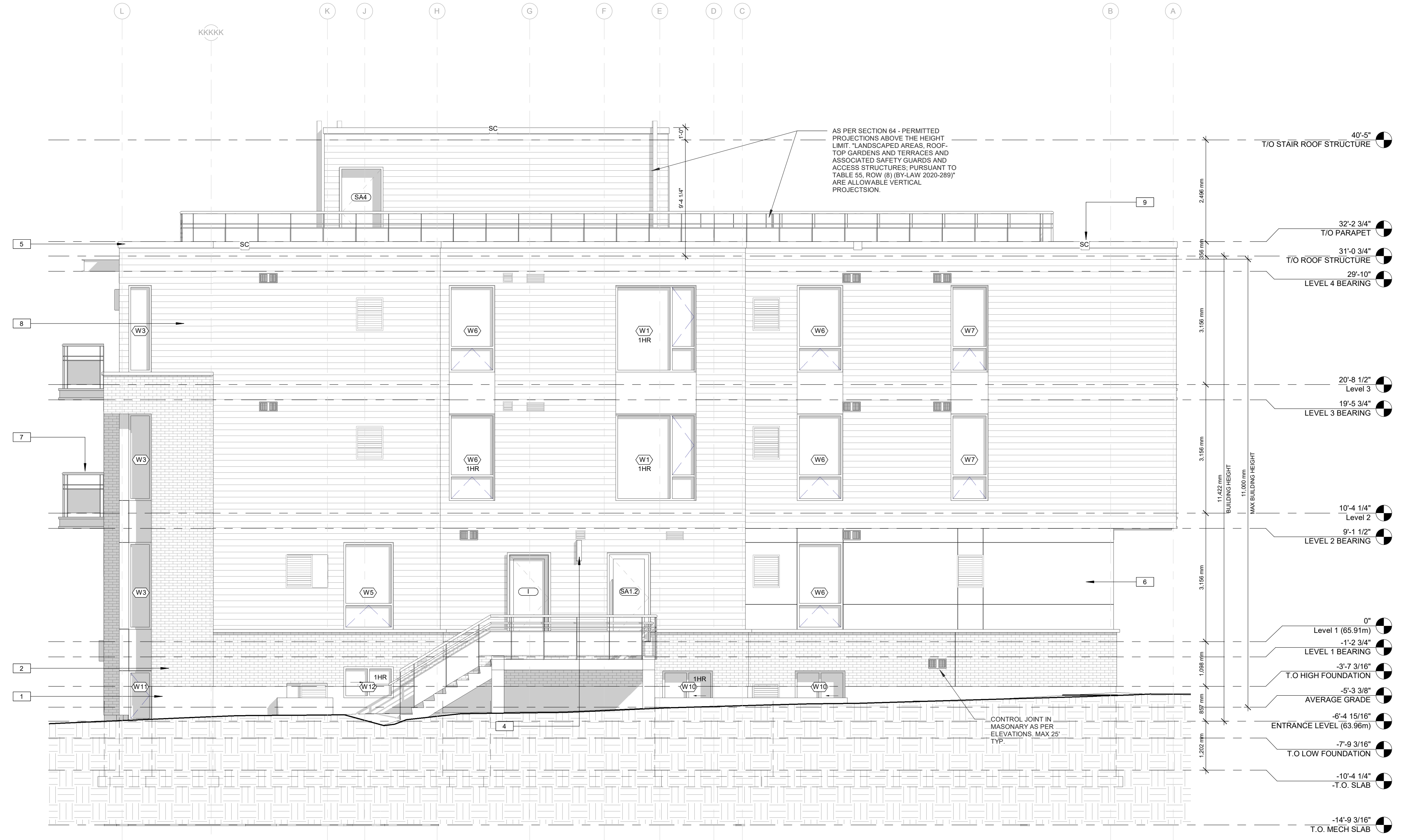
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
ELEVATIONS

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-03-24 11:37:25 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated

- NOTES:
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 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

KEYNOTES-ELEVATION

NOTE NUMBER	NOTE TEXT
1	CEMENT PAVING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SCOTCH
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



1 NORTH ELEVATION
 SCALE 1:65

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
25	9	9.64
25.04	9	9.63872
30	9	9.48

1.77m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 25.04m² EXPOSED BUILDING FACE
 9.50% PROPOSED UNPROTECTED OPENING
 9.65% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
15	1.5	1.58
15	10	11.12
18.53	10	10.841
20	10	10.8

1.58m BUILDING SETBACK
 1.95m² UNPROTECTED OPENING
 18.53m² EXPOSED BUILDING FACE
 10.22% PROPOSED UNPROTECTED OPENING
 10.89% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
30	9	9.06
32.89	8.711	8.771
40	8	8.06

1.51m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 32.10m² EXPOSED BUILDING FACE
 8.10% PROPOSED UNPROTECTED OPENING
 8.77% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
30	9	9.06
30.47	8.953	9.013
40	8	8.06

1.51m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 30.47m² EXPOSED BUILDING FACE
 7.81% PROPOSED UNPROTECTED OPENING
 9.01% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	LIMITING DISTANCE (m)
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 (AS PER TABLE 9.10.14.4. OF THE OBC)

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 7.81% PROPOSED UNPROTECTED OPENING
 9.01% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)



NORTH ARROW

No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEARIN STREET SUITE 200 OTTAWA, ONTARIO K2E 8B7
 T: (613) 739 7770 F: (613) 739 7703 sjl@sjlarchitect.com

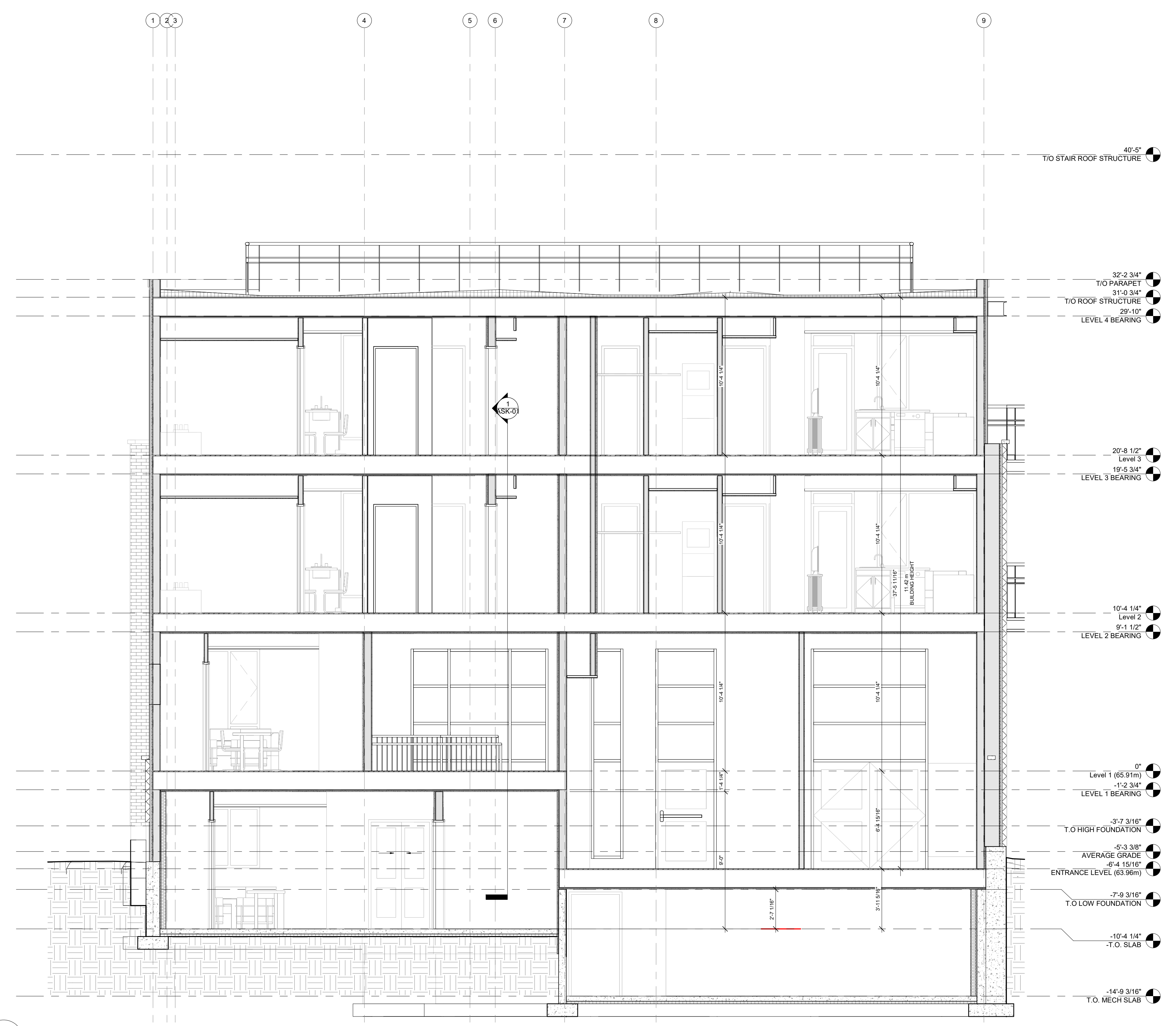
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PROJECT: **CARRUTHERS AVENUE DEVELOPMENT**
 268-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE: **ELEVATIONS**

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-03-24 11:37:38 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated

2 NORTH ELEVATION LIMITING DISTANCE CALCS
 SCALE 1:200

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME BEARING INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



1 Section 5
 A5.0 SCALE 1/4" = 1'-0"

NORTH ARROW:

No.	DATE	REVISION
09	2023.03.24	REISSUED FOR ZONING AND SPC
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07	2023.01.19	ISSUED FOR OPEN HOUSE
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05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEARIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
 T: (613) 739 7770 F: (613) 739 7703 sjl@sjlarchitect.com

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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
BUILDING SECTIONS

DRAWN BY:
 D.T.

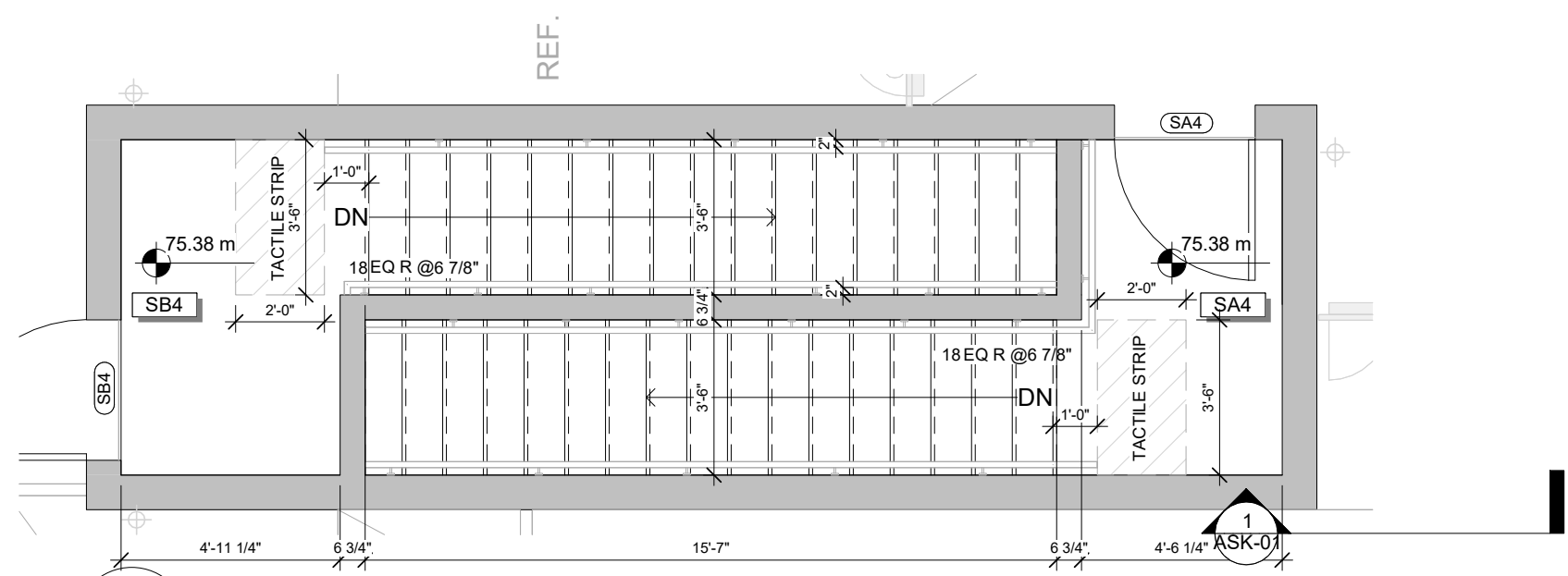
CHECKED BY:
 B.L. S.J.L.

PLOT DATE:
 2023-03-24 11:37:39 AM

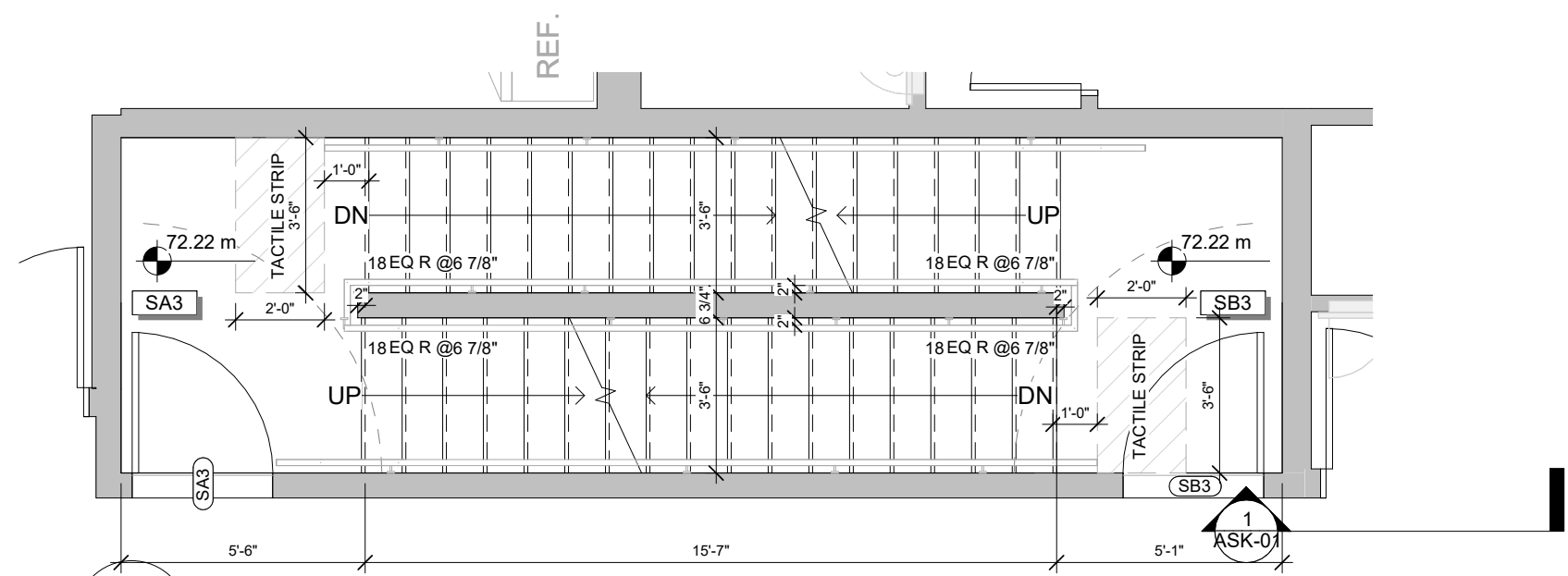
JOB NUMBER:
 SL-1077-22

SCALE:
 1/4" = 1'-0"

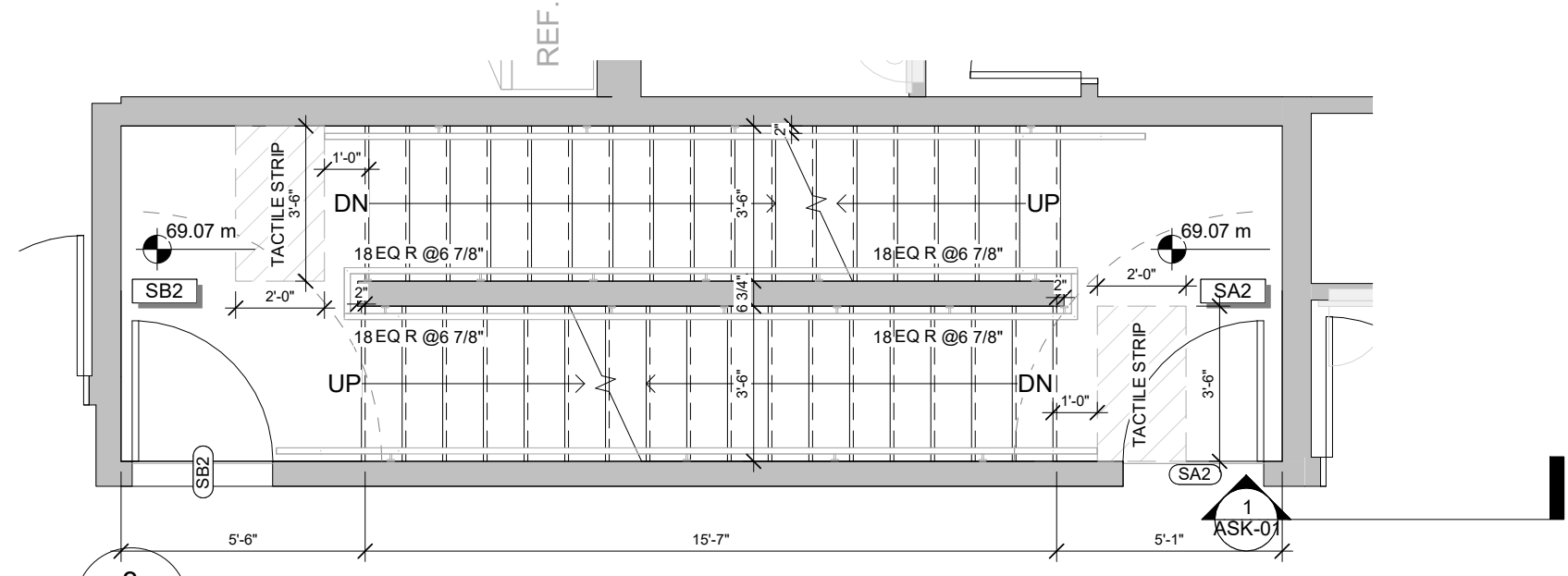
- NOTES:
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 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



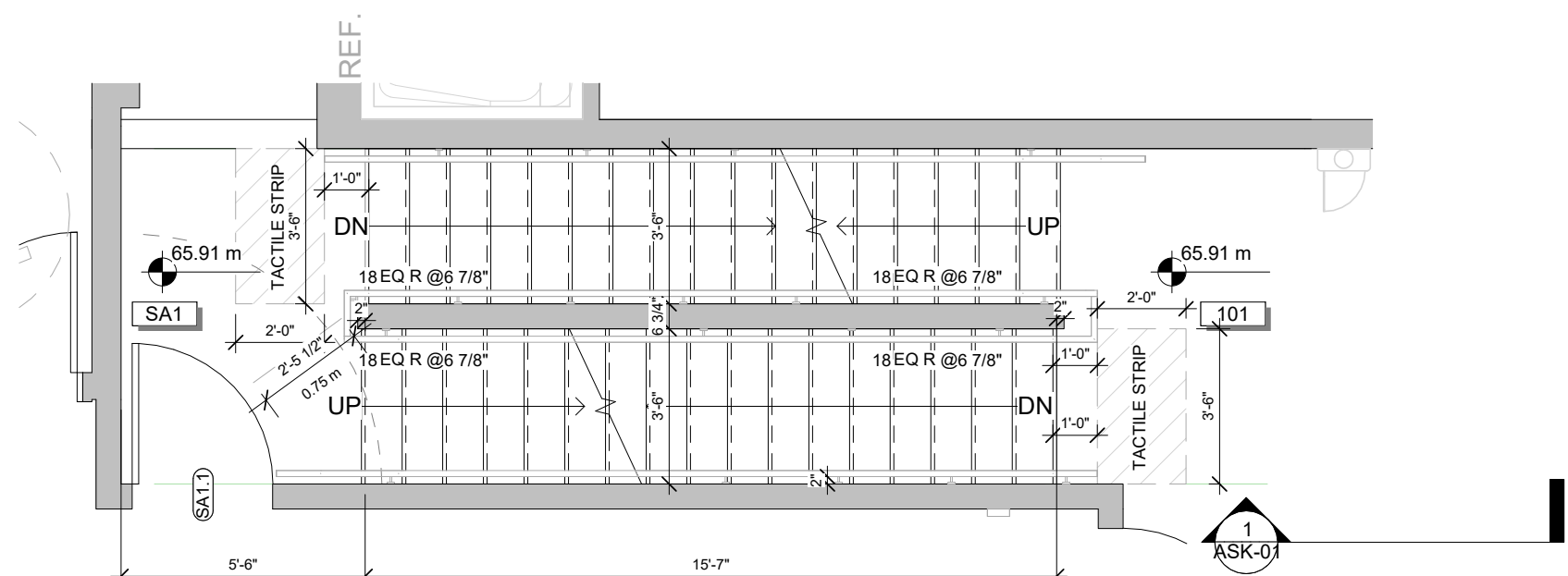
5 STAIRS - ROOFTOP
 A5.1 SCALE 1/4" = 1'-0"



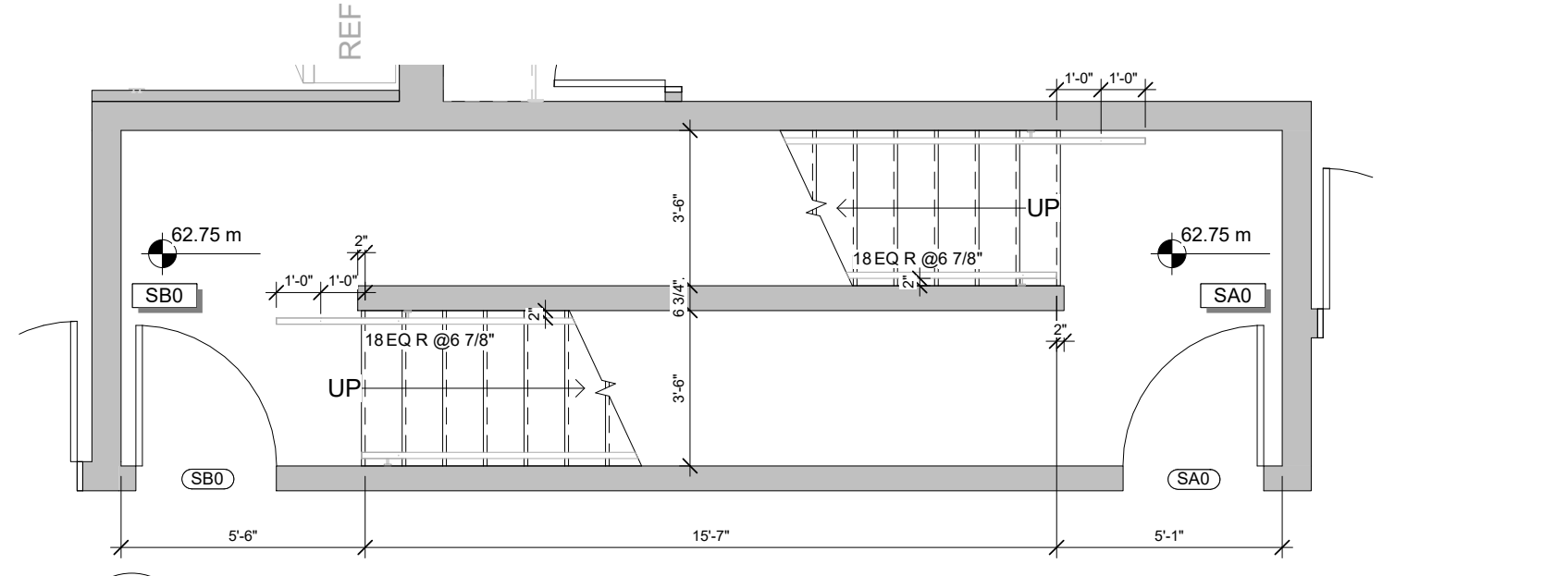
4 STAIRS - LEVEL 3
 A5.1 SCALE 1/4" = 1'-0"



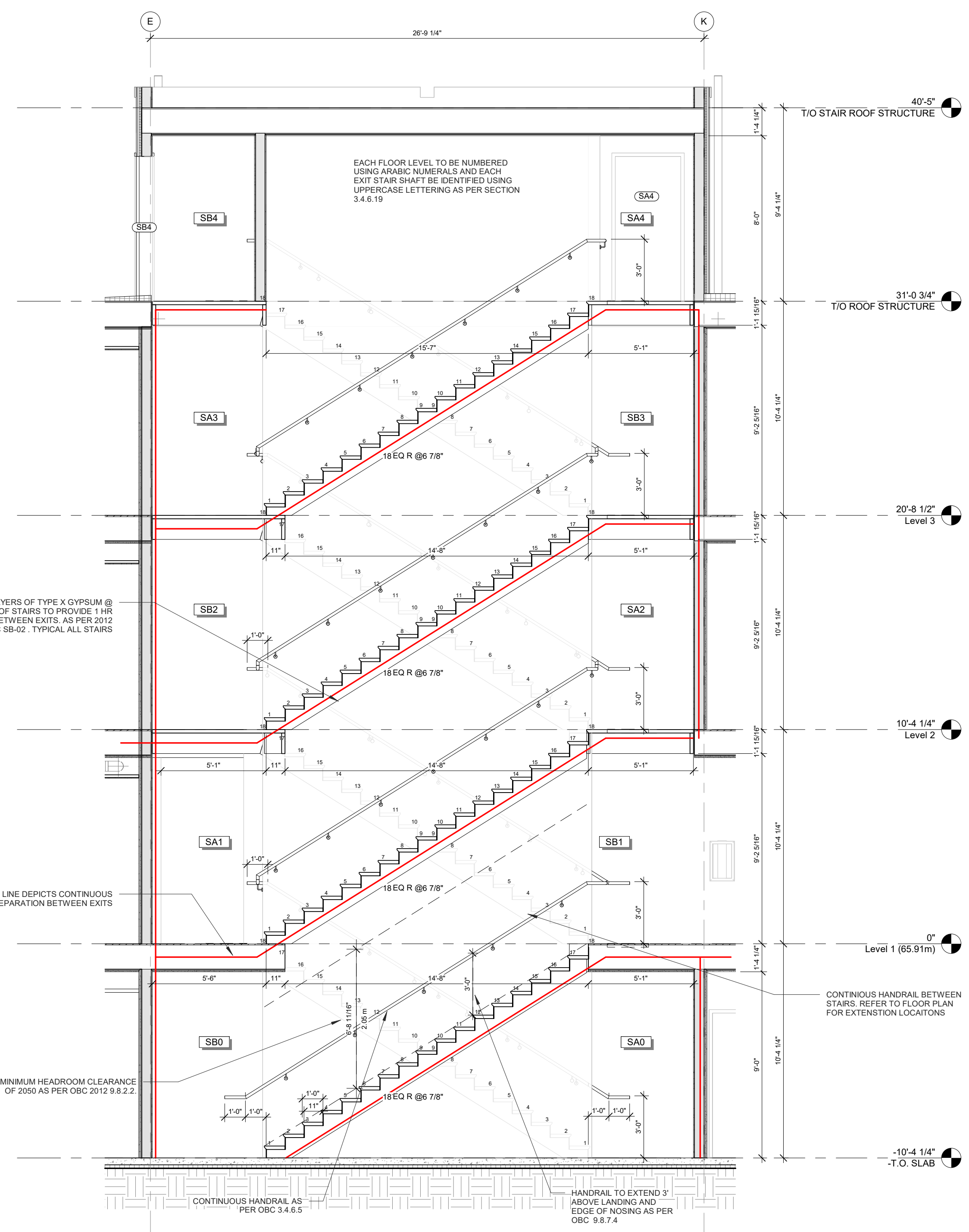
3 STAIRS - LEVEL 2
 A5.1 SCALE 1/4" = 1'-0"



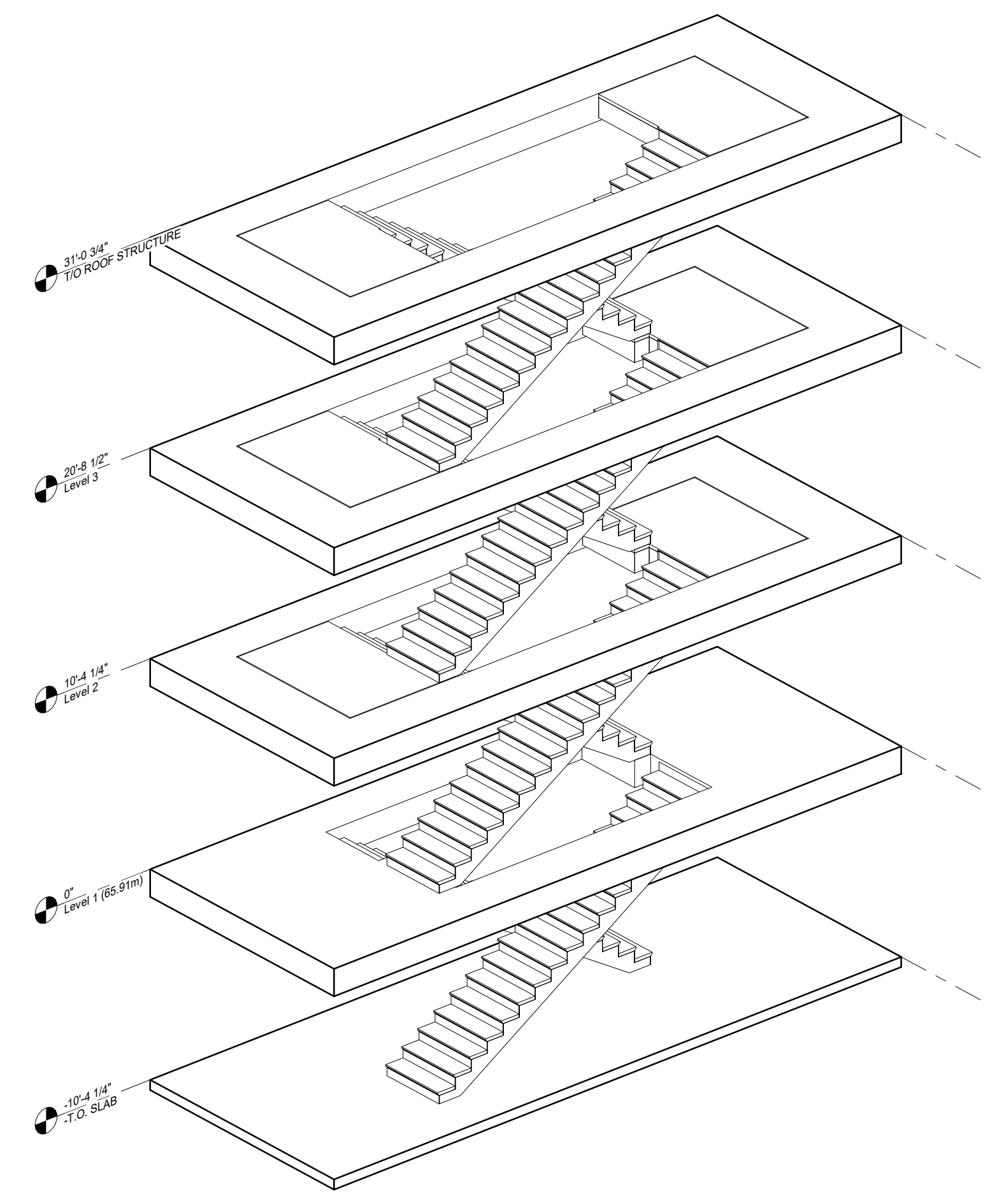
2 STAIRS - LEVEL 1
 A5.1 SCALE 1/4" = 1'-0"



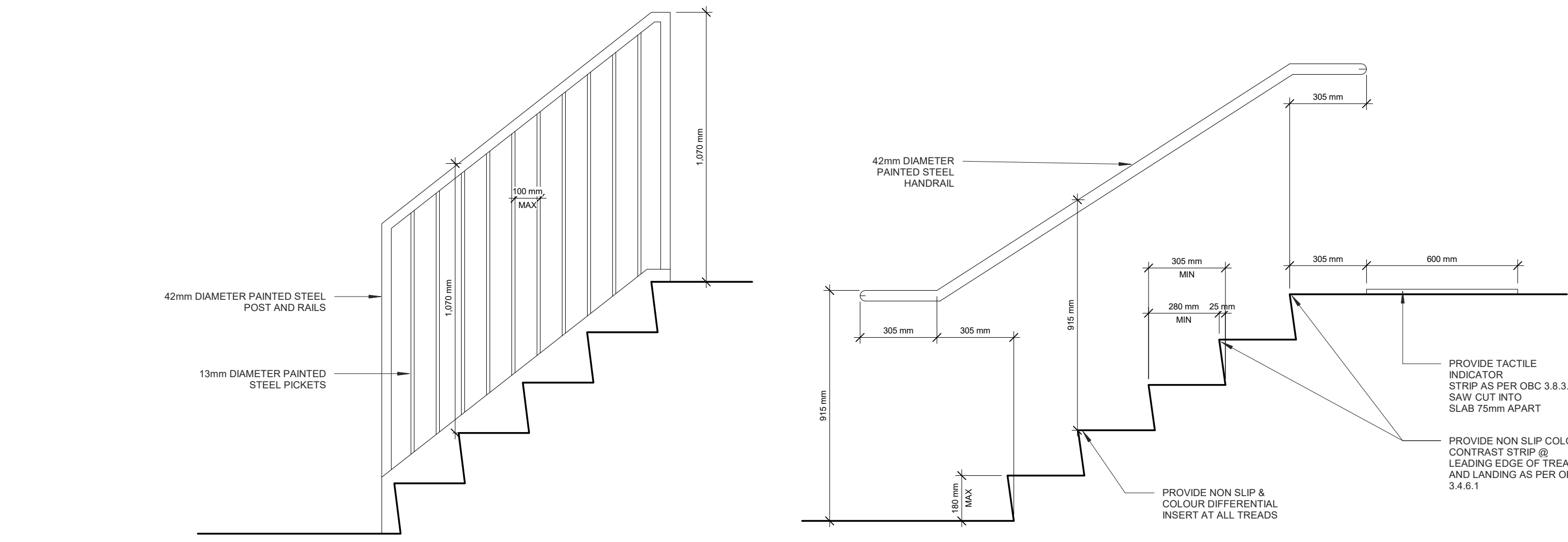
1 STAIRS - BASEMENT
 A5.1 SCALE 1/4" = 1'-0"



6 Section 6 - Callout 1
 A5.1 SCALE 1/4" = 1'-0"



8 3D STAIR SCALE
 A5.1 SCALE



7 TYPICAL STAIR DETAILS
 A5.1 SCALE 3/4" = 1'-0"

NORTH ARROW

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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
STAIR SECTION AND DETAILS

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-03-24 11:37:42 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated