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Draft Plan of Subdivision and Zoning By-law Amendment Applications

1086 Antochi Lane, Manotick



Prepared for: 1910753 Ontario Inc.

Draft Plan of Subdivision and Zoning By-law Amendment Applications

1086 Antochi Lane, Manotick

Prepared By:

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February 10, 2023

Novatech File: 120061
Ref: R-2022-193

February 10, 2023

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Attention: Jeff Ostafichuk, Planner

**Reference: 1086 Antochi Avenue, Manotick
Planning Rationale and Design Brief
Our File No.: 120061**

Novatech has been retained by 1910753 Ontario Inc. to prepare this Planning Rationale and Design Brief in support of Draft Plan of Subdivision and Zoning By-law Amendment applications for their property municipally known as 1086 Antochi Lane.

1910753 Ontario Inc. is proposing to develop a Planned Unit Development comprising 19 dwellings (18 semi-detached and one detached) on a private street. A Zoning By-law Amendment is required to permit the semi-detached use (detached dwelling is currently a permitted use) and to permit a Planned Unit Development.

This Planning Rationale and Design Brief outlines the proposed development and demonstrates that the proposal is consistent with the Provincial Policy Statement, conforms to the City of Ottawa Official Plan and the Village of Manotick Secondary Plan, and complies with the provisions of Zoning By-Law 2008-250.

Sincerely,

NOVATECH



James Ireland, MCIP, RPP
Project Planner

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1.0 SITE DESCRIPTION AND SURROUNDING USES

The Subject Site, shown in Figure 1, is located at the end of the Antochi Lane cul de sac in the southern part of the village of Manotick. Antochi Lane runs northeast from Manotick Main Street. The site is approximately 9735m² in area and slopes down towards the Rideau River.

The legal description of the Subject Site is:

PART LOT 4 CON ABF NORTH GOWER, PARTS 7 AND 12 5R13143, TOWNSHIP OF RIDEAU NOW CITY OF OTTAWA. SUBJECT TO AN EASEMENT OVER PART 7 PLAN 5R13143 AS IN NG11635. SUBJECT TO AN EASEMENT OVER PART 7 PLAN 5R13143 AS IN N530320E. SUBJECT TO AN EASEMENT AS IN N753243. SUBJECT TO AN EASEMENT OVER PART 7, 5R13143 IN FAVOUR OF PART LOT 4, CONCESSION ABF NORTH GOWER PART 11, 5R13143 AS IN OC365694

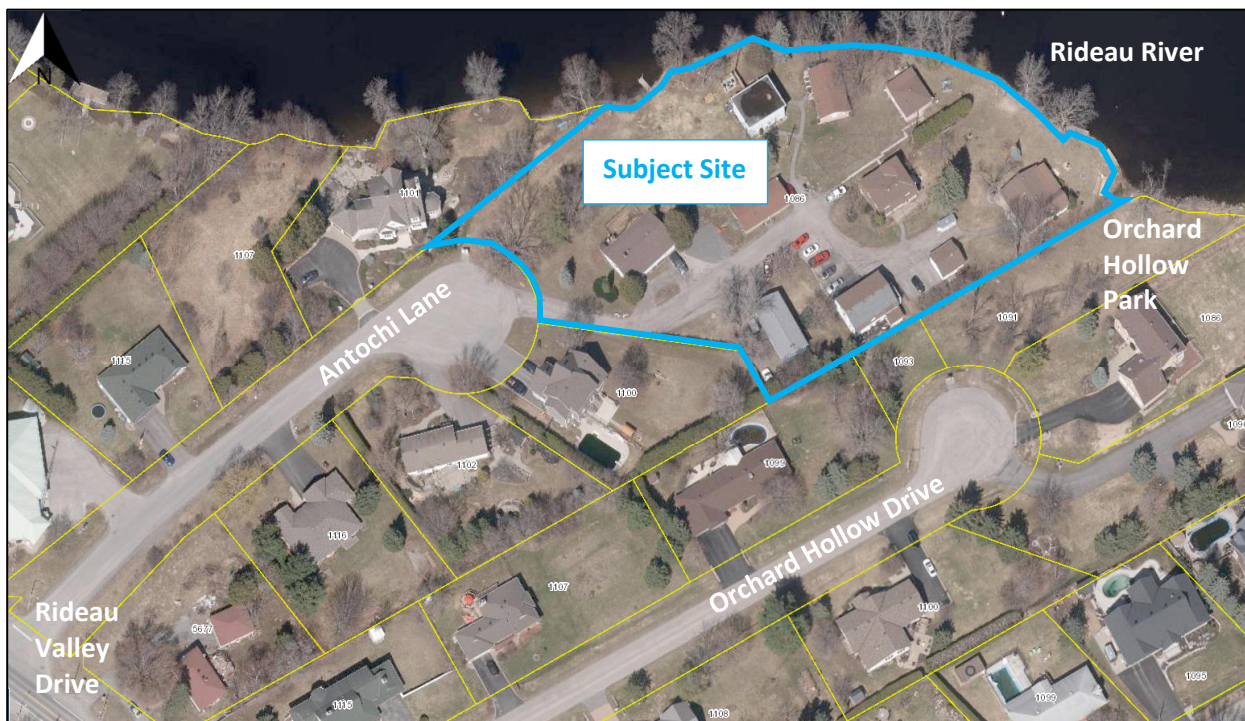


Figure 1: Subject Site

GeoOttawa aerial photographs show that it has been developed since at least 1976. By 1999 it had reached roughly its current layout - up to nine separate residential units and a number of outbuildings accessed via a private street that cover the whole site. Two units are 6-7m from the high water mark.

To the **west** of the site is 1101 Antochi Lane, a lot developed with a detached dwelling. To the **south** of the site are two lots developed with detached dwellings, 1100 Antochi Lane and 1099 Orchard Hollow Drive and Orchard Hollow Park. This 1872m² park runs to the river and has mature trees and infrastructure limited to two park benches. To the **north** and **east** of the site is the Rideau River, just where it splits to flow either side of Long Island.

Further afield, on both sides of the river and on Long Island, development is typically detached dwellings. More intensive development has been introduced at 'Riverwalk' a subdivision 300m south on the same riverbank and 'Mahogany' a larger subdivision on the west side of Manotick Main Street. As the Subject Site is located close to the village core, facilities are within walking or cycling distance. Major Ross Chamberlain Park (a large park with a soccer pitch and playground) is a 300m walk west of the site and 'Manotick Mews' shopping mall (which includes an Independent Grocer, LCBO, Beer Store, bank, Rexall drugstore, takeout food and specialty retail) is 1km to the north.

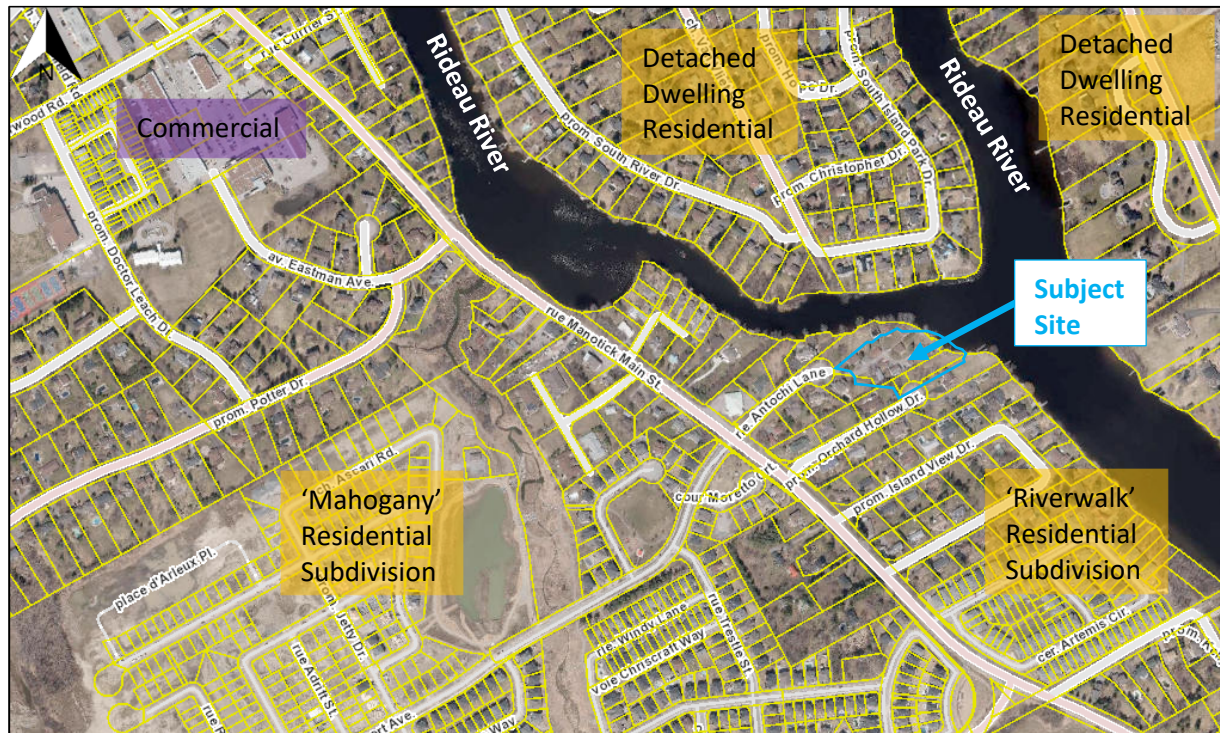


Figure 2: Surrounding Land Uses

2.0 DEVELOPMENT PROPOSAL

The proposal comprises 19 residential units, 18 of which are semi-detached dwellings and one of which is a detached dwelling. The units are arranged to follow the contours of the Subject Site and to provide privacy from each other and an outlook to the Rideau River. The buildings are outside the 30m setback to the river.

The units are accessed from a 6.7m wide private street which is designed to be accessed by City garbage collection and fire trucks. Snow removal will necessarily be private.

The Draft Plan application creates blocks for future development and the individual lots for each unit will be created by applications to lift part lot control following registration of the subdivision.

As these are applications for Draft Plan Approval and a Zoning By-law Amendment, the design of the units has not been finalized. Conceptually, a modern three-storey design is proposed. Each unit will be provided with a minimum of two parking spaces, which meets the requirement for combined resident and visitor parking in the Zoning By-law.

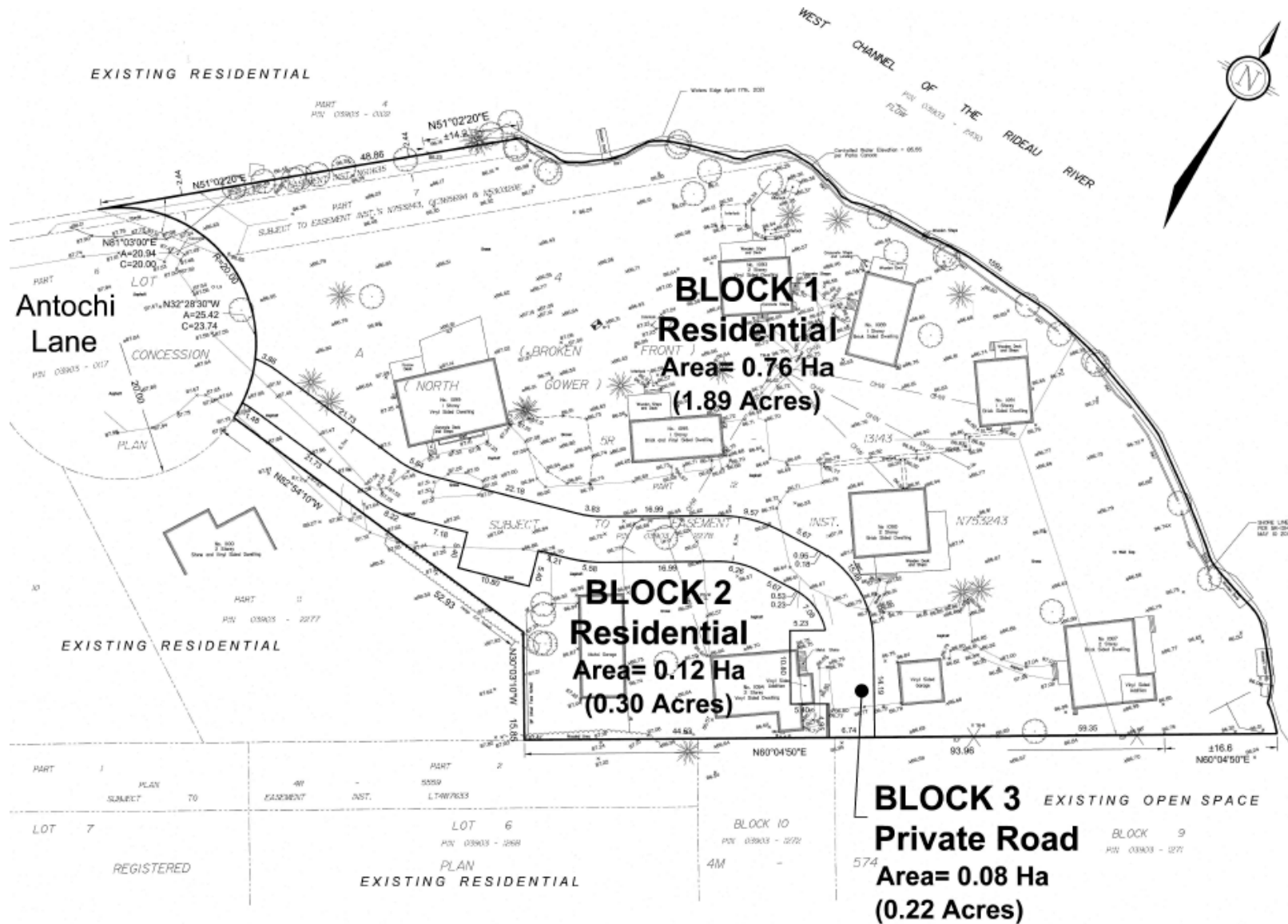


Figure 3: Excerpt of Draft Plan by Novatech / AOV dated February 1, 2023

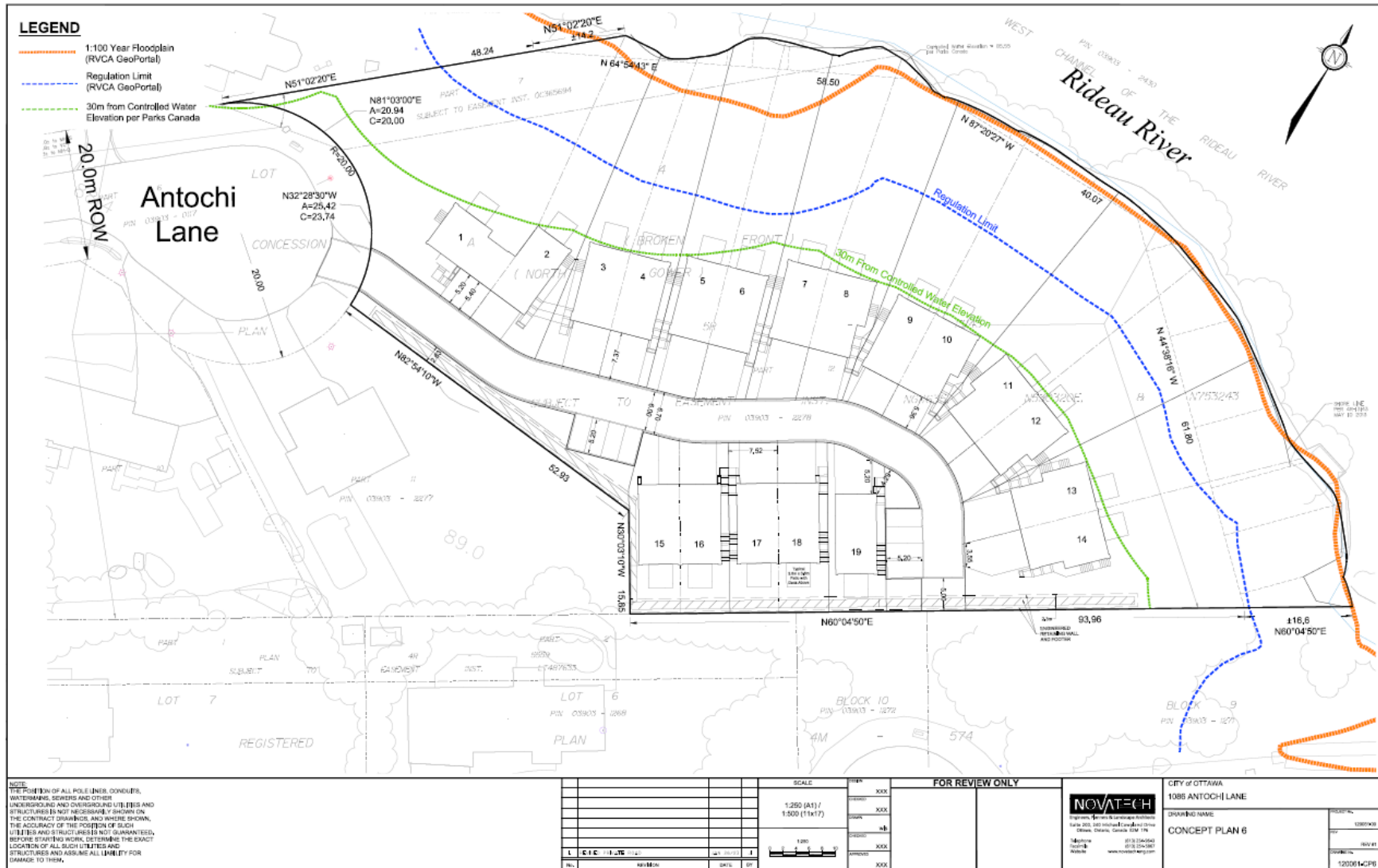


Figure 4: Concept Plan by Novatech dated January 26, 2023

3.0 PLANNING POLICY AND REGULATORY FRAMEWORK

3.1 Provincial Policy Statement

The Provincial Policy Statement provides policy direction on land use planning and development matters of provincial interest by setting the policy foundation for regulating the development and use of land as set out in Section 2 of the Planning Act. The decisions that affect all planning matters “*shall be consistent with*” relevant policy statements under the authority of Section 3 of the Planning Act. The following is an overall review of the applicable PPS policies:

Building Strong Healthy Communities

Section 1.1 of the PPS speaks to managing and directing land use to achieve efficient and resilient development and land use patterns.

Policy 1.1.1 states that healthy, liveable, and safe communities are sustained by:

- a) *promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
 - b) *accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
 - c) *avoiding development and land use patterns which may cause environmental or public health and safety concerns;*
 - d) *avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent to or close to settlement areas;*
 - e) *promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;*
 - f) *improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;*
 - g) *ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;*
 - h) *promoting development and land use patterns that conserve biodiversity; and*
 - i) *preparing for the regional and local impacts of a changing climate.*
- **The proposed development will achieve an efficient land use pattern by using land within a Village for residential development. The proposed development will be served by municipal water and sanitary services. Stormwater management is via a private storm sewer and direct overland drainage to the river. The semi-detached dwellings offer an additional housing choice in Manotick.**

Section 1.1.3 speaks to settlement areas, which are urban areas and rural settlement areas and include cities, towns, villages and hamlets. The vitality and regeneration of settlement areas is critical to the long-term economic prosperity of our communities. Policy 1.1.3.1 requires that settlement areas shall be the focus of growth and development.

- **The Subject Site is located within an existing settlement area.**

Policy 1.1.3.2 notes that land use patterns within settlement areas shall be based on densities and a mix of land uses which:

- a) *efficiently use land and resources;*
- b) *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
- c) *minimize negative impacts to air quality and climate change, and promote energy efficiency;*
- d) *prepare for the impacts of a changing climate;*
- e) *support active transportation;*
- f) *are transit-supportive, where transit is planned, exists or may be developed.*

Policy 1.1.3.4 states that appropriate development standards should be promoted which facilitate intensification, redevelopment, and compact form, while avoiding or mitigating risks to public health and safety. Policy 1.1.3.6 states that new development taking place in designated growth areas should occur adjacent to the existing built-up area and should have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities.

- **The proposed residential development is situated on lands designated as settlement area with the overall community experiencing growth and development. The lands will be serviced by a connection to municipal infrastructure and represents an efficient use of land and resources.**

Section 1.4 of the PPS speaks to housing with the applicable policies. Policy 1.4.3 requires that planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:

- b) *permitting and facilitating:*
 1. *all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities;*
 - c) *directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;*
 - d) *promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed;*
 - e) *requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations; and*
 - f) *establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.*
- **The proposed residential development will provide additional housing options to a range of individuals and families. The proposed development represents a compact built form and efficiently uses land resources. The proposed density is 19 units per hectare. The “Mews of Manotick” shopping centres is 1.1km to the north and includes**

a supermarket, LCBO and a gym, along with banks, restaurants and other stores. Orchard Hollow Park is directly adjacent to the Subject Site.

Section 1.5 of the PPS speaks to public spaces, recreation, parks, trails, and open space with the applicable policies. Policy 1.5.1 notes that healthy, active communities should be promoted by:

- a) *planning public streets, spaces and facilities to be safe, meet the needs of pedestrians, foster social interaction and facilitate active transportation and community connectivity;*
 - b) *planning and providing for a full range and equitable distribution of publicly accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and where practical, water-based resources;*
- **Private amenity space is provided for each of the proposed dwellings, located between the dwellings and the river. In addition to this there will be a communal amenity area on the Subject Site. The proposed residential development will have access to passive and active recreational green spaces located within walking and cycling distance.**

Section 1.6.6 addresses sewage, water, and stormwater services. Policy 1.6.6.2 notes that municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. Within settlement areas with existing municipal sewage services and municipal water services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of the services.

- **The proposed development will be served by municipal water and sanitary services. Stormwater management is via a private storm sewer and direct overland drainage to the river.**

Wise Use and Management of Resources

Section 2.0 of the PPS speaks to conserving biodiversity and protecting the health of Great Lakes, natural heritage, water, agriculture, mineral aggregate, petroleum, cultural heritage and archaeological resources for the long-term prosperity, environmental health, and social well-being of Ontario.

Policy 2.1.1 requires that natural features and areas shall be protected for the long term.

Policy 2.1.2 notes that the diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.

- **In the Official Plan, no natural or environmental features were identified on the Subject Site. This is confirmed by the EIS/TCR by Muncaster Environmental Planning Inc. enclosed with this application. Refer to the report for further details.**
- **Sections 2.2 to 2.6 reference water, agriculture, minerals and petroleum, mineral aggregate resources, and cultural heritage and archeology. None of these features were identified on the Subject Site.**

Protecting Public Health and Safety

Section 3.0 considers the Province's long-term prosperity, environmental health and social well-being which are dependent on reducing the potential for public cost or risk to Ontario's residents from natural or human-made hazards. Development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to public health, safety, property damage and not create new or aggravate existing hazards.

- **Regarding Section 3.1 (Natural Hazards), the site is not located on lands impacted by hazardous sites, erosion and/or dynamic beach hazards, or large inland lakes. The Subject Site is identified on Schedule C15 of the Official Plan as having Unstable Slopes along the Rideau River. In the Geotechnical Investigation by Gemtec dated February 7, 2023, no geotechnical concerns were identified, and development can proceed using standard engineering practices. Refer to the report for further details.**
- **Regarding Section 3.2 (Human-Made Hazards), the Phase I Environmental Site Assessment by Gemtec dated January 4, 2022 did not identify a need to conduct a Phase II ESA.**

3.2 City of Ottawa Official Plan

The Subject Site is in the Rural Transect. Pursuant to Schedule B9 - Rural Transect the Subject Site is designated Village (orange):

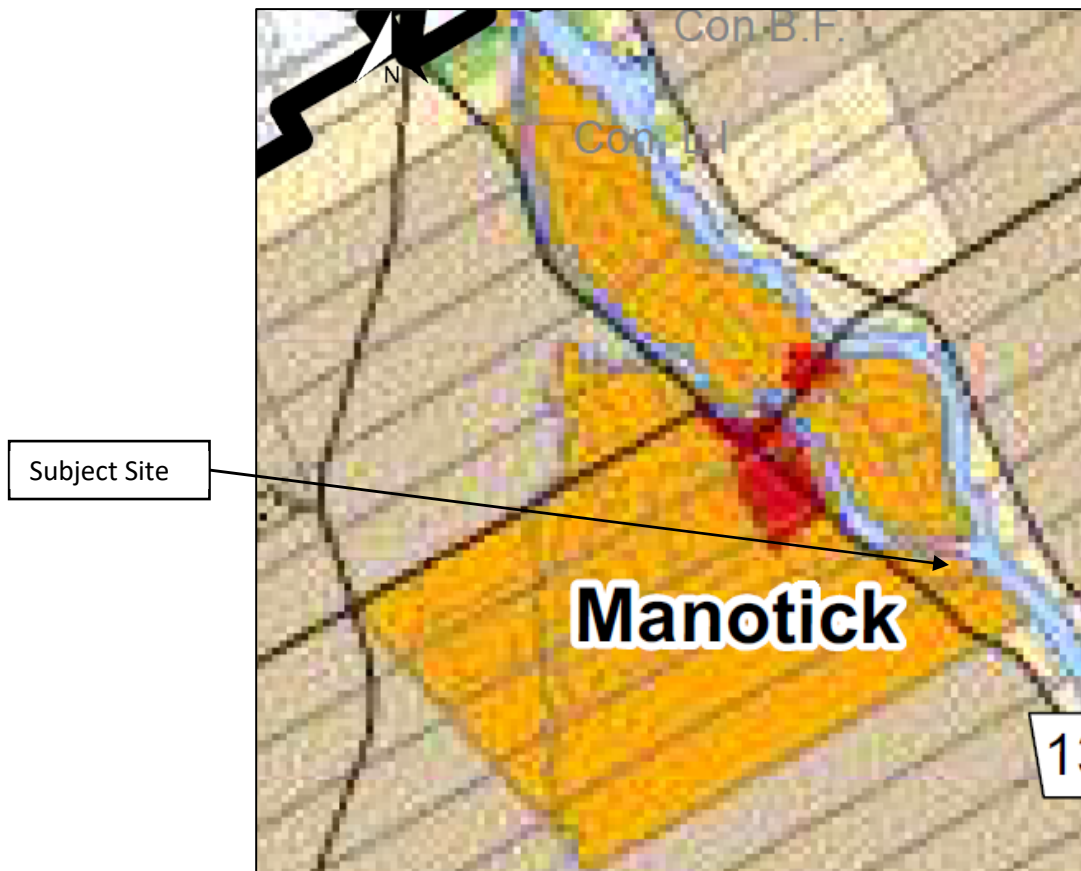


Figure 5: Schedule B9

Section 9.4 sets out policy for Villages:

“...The majority of development within the Rural area occurs within Villages....The City will support the health and liveability of village communities with sustainable growth practices, by supporting small-medium enterprises that support the local community and boost tourism, large industries in strategic locations and diversify housing where adequate services are available.”

- **The proposal is within the Village of Manotick. Semi-detached units diversify the housing in the village which is primarily detached dwellings. Adequate services are available; refer to the enclosed Servicing Brief by Novatech for further details.**

Policy 9.4.1 requires that land uses and permitted development within a Village shall be identified by a secondary plan and the ability of services to support development. Policy 9.4.2 sets out more specific policy directions to achieve this goal: *“Ensure all development maintains rural and village character, and to facilitate the use of active transportation for short trips within each Village.”*

Policy 1 permits residential use. Policy 2 is not applicable. Policy 3 supports the proposed multi-family residential units, stating:

3) The City will advocate for changes to provincial guidelines to make it easier to develop multi-family residential units in Villages so that, in particular, people who need to live in supportive housing can stay in the Villages and not have to relocate to other areas of the City.

Schedule C10 – Road Network Select Villages shows Manotick Main Street as an arterial (red) and Antochi Lane as a local street (grey):

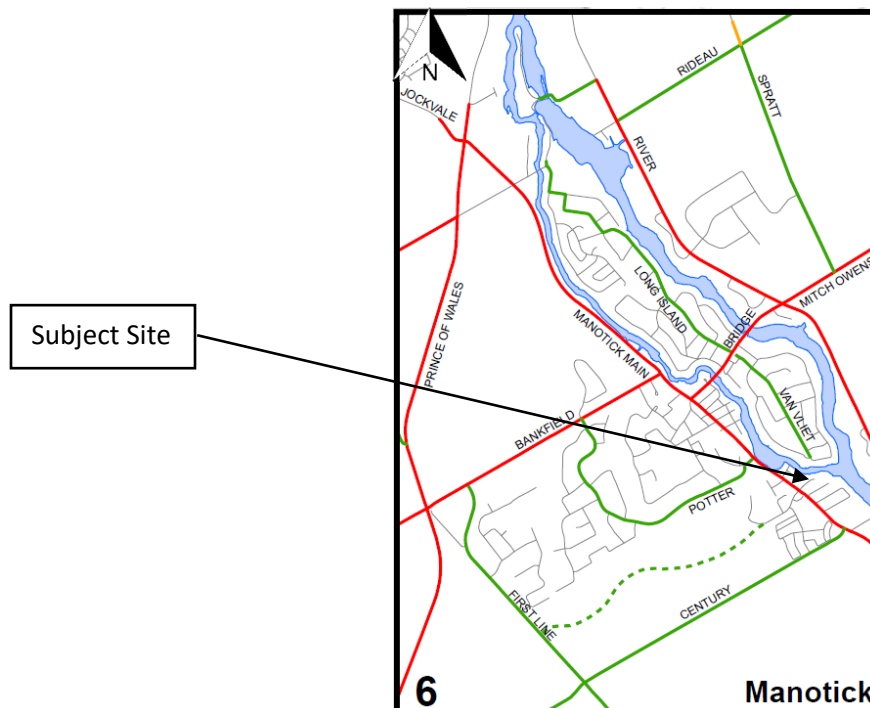


Figure 6: Schedule C10

Schedule C15 - Environmental Constraints shows potential Unstable Slopes (red) along the Rideau River. The proposal is setback 30m from the Rideau River.

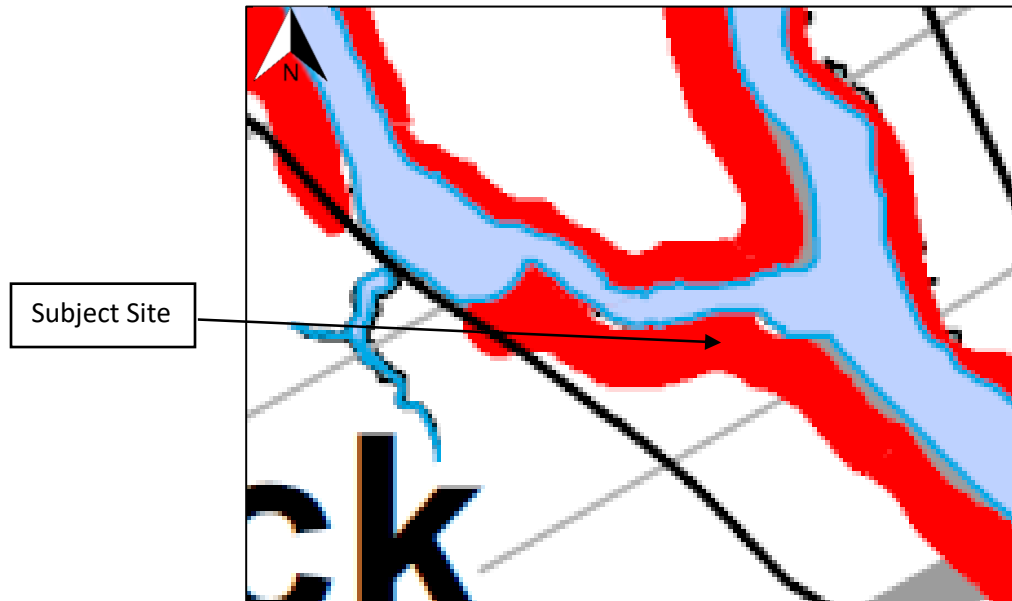


Figure 7: Schedule C15

The following Schedules are not shown here:

- Schedule C7-B - Design Priority Areas – Villages designates the Subject Site Village. It is not in a Design Priority Area
- Schedule C8 - Active Transportation Network. There are no Rural Cycling Routes in Manotick
- Schedule C11-A - Natural Heritage System (West) designates the Subject Site as Village. It is not affected by any of the Overlays or Sub-Designations which represent Natural Heritage features.
- Schedule C13 – Scenic Routes. Manotick Main Street is a Scenic Route. It is 150m from the Subject Site. Policies only apply to development abutting the routes.

Section 4 of the OP sets out City Wide Policies. Section 4.2 covers Housing. At Section 4.2.1 the goal is to *“Enable greater flexibility and an adequate supply and diversity of housing options throughout the city”*. Policy 1 states:

1) A diverse range of flexible and context-sensitive housing options in all areas of the city shall be provided through the Zoning By-law, by:

- a) Primarily regulating the density, built form, height, massing and design of residential development, rather than regulating through restrictions on building typology;*
- b) Promoting diversity in unit sizes, densities and tenure options within neighbourhoods including diversity in bedroom count availability;*
- c) Permitting a range of housing options across all neighbourhoods to provide the widest possible range of price, occupancy arrangements and tenure;*

d) Establishing development standards for residential uses, appropriately balancing the value to the public interest of new policies or development application requirements against the impacts to housing affordability; and

e) The City shall maintain, at all times, land with servicing capacity sufficient to provide at least a three year supply of residential units available through lands suitably zoned to facilitate intensification and land in draft approved and registered plans.

- In relation to a), single detached dwellings are permitted in the current zoning. The Zoning By-law Amendment seeks to permit semi-detached dwellings and a Planned Unit Development. This is an example of the built form of the development not differing significantly from what currently exists in the area.
- In relation to b) and c), Manotick has historically been dominated by detached dwellings – the proposed Planned Unit Development adds to the range of housing options available.

3.3 Manotick Secondary Plan

General Policy at Section 2.1 is that: “Development in Manotick will be low rise with building heights limited to three storeys to reinforce its village character.”

Schedule A Designation Plan shows the Subject Site as Medium Density Residential (orange) and as Future Park (green asterisk):

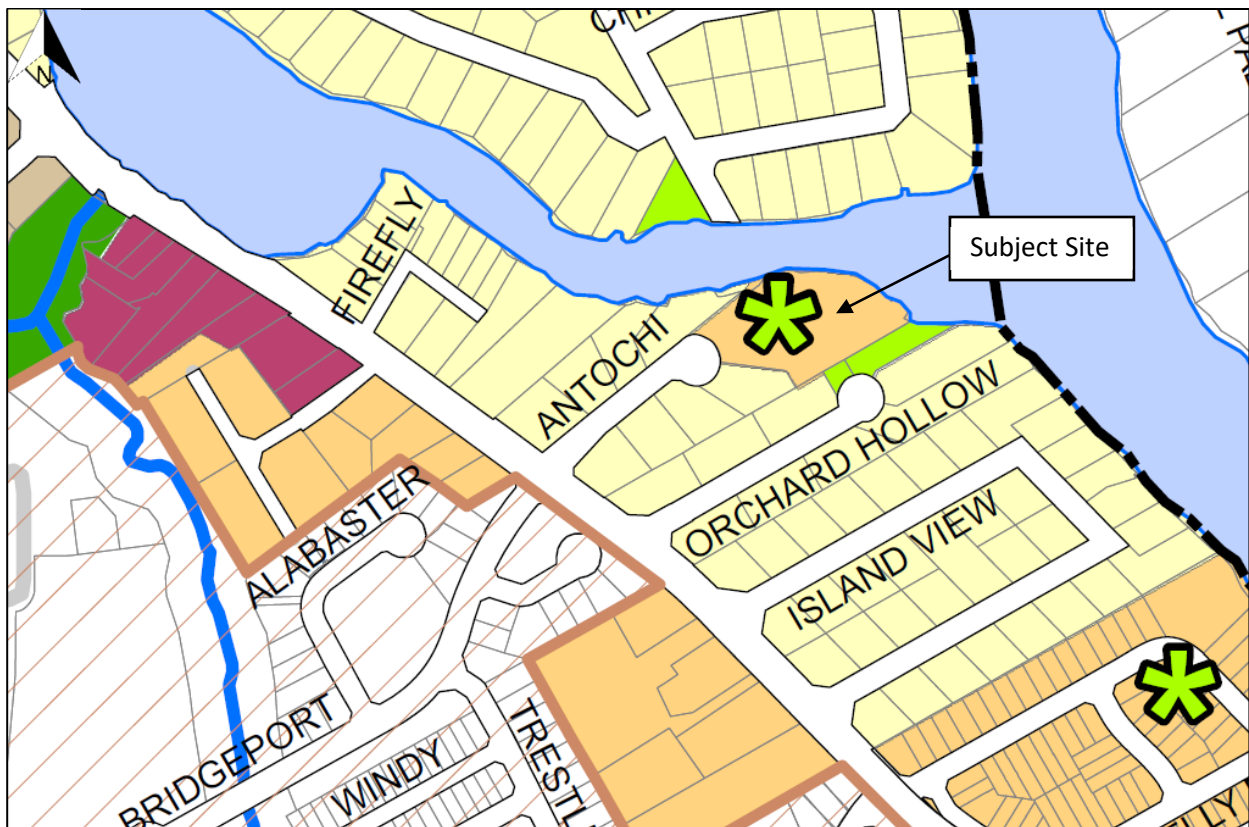


Figure 8: Land Use Designation

Section 3.3 sets out policy for Medium Density Residential:

The Residential (Medium Density) designation allows for a broad range of dwelling types that include ground-oriented multiple-unit dwellings.

The relevant policies are addressed below:

- 4) *Permitted uses include detached dwellings, semi-detached dwellings, and townhouse dwellings at a minimum density of 12 units per gross hectare to a maximum of 20 units per gross hectare. Detached dwellings are limited to no more than 50% of the total number of dwelling units. Low-rise apartment dwellings are not permitted.*
- **The proposal includes 18 semi-detached dwellings and one detached dwelling. The density is 19 units per gross hectare and 5.2% of the dwellings are detached dwellings, which is consistent with this policy.**
 - 5) *All new development must be serviced by public water and wastewater services.*
 - **The proposal is serviced by public water and wastewater services.**
 - 6) *New development will be designed to reflect Manotick's village character and integrate into the surrounding context.*
 - **The proposed narrow private street and low-profile built form provide an intimate village character.**
 - 9) *Development of the property located off Antochi Lane will be developed according to Official Plan policies for River and Canal Corridors, in support of the Rideau Canal as a National Historic Site and UNESCO World Heritage Site designation. Development review will be undertaken in consultation with Parks Canada.*
 - **The proposal is setback 30m from the river, consistent with Official Plan policies for River and Canal Corridors. Parks Canada will be comment on the application.**

Section 4: Parks

The Village of Manotick has a number of parks and plentiful greenspaces which provide active and passive recreation opportunities. Existing parks are shown on Schedule A – Designation Plan, along with the conceptual locations of future parks.

- **The Subject Site is designated as a conceptual location of a Future Park. As the City of Ottawa has not acquired or expressed interest in acquiring the site, it remains zoned as a development site, with parkland dedication to be provided in accordance with the Parkland Dedication By-law.**

Section 6.2 – Rideau River Access and Views is applicable:

The Rideau River runs through Manotick and is part of the Rideau Canal UNESCO World Heritage Site. While many properties have riverfront access to the Rideau River, the majority of these properties are under private ownership. This secondary plan identifies ways to provide the public with better access and views of the Rideau River.

The relevant policies are addressed below:

6) *The City will consider improving public access to the Rideau River through park development projects by implementing improvements identified in Annex 7 – Rideau River Access, where possible.*

The Subject Site is not identified in Annex 7.

7) *The City, in consultation with Parks Canada, will improve public access to the Rideau River through the construction of facilities as part of park development, where possible. Under the federal Historic Canals Regulations, Parks Canada (Rideau Canal Office) oversees all in-water and shoreline works along the canal system. An approved work permit must be obtained prior to construction, and work must adhere to Parks Canada's Policies for In-Water and Shoreline Works and Related Activities.*

- **No in-water or shoreline development is proposed. The proposed buildings are setback 30m from the shoreline.**

9) *For proposed plans of subdivision adjacent to the Rideau River, the proponent will provide public access along the Rideau River unless there are compelling reasons to not do so. This will be undertaken by requiring land dedicated for public purposes at the shoreline or adjacent to environmental constraints. These dedicated lands should be accessible from a public road.*

- **It is not proposed to provide public access to the river as access is available immediately to the south in Orchard Hollow Park.**

10) *The City will strive to protect views to the Rideau River as part of the City's development review process and in consultation with Parks Canada.*

- **The proposed low-profile built form does not unreasonably obstruct views of the river and provides an additional 19 dwelling units that do have a view of the river.**

Section 7: *Natural Heritage System and Environmental Constraints* is applicable as Annex 4 – *Natural Heritage and Environmental Constraints* designates the shore of the Rideau River in front of the Subject Site as having potential Unstable Slopes (red hatch on figure below).

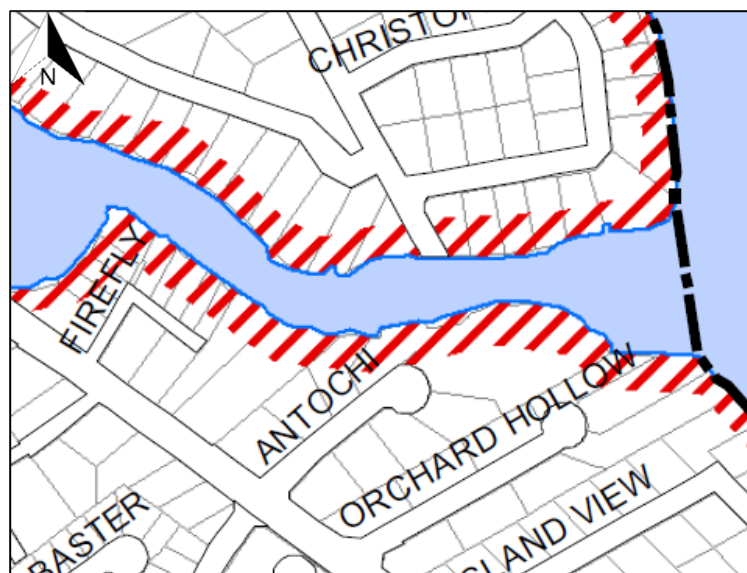


Figure 9: Natural Heritage and Environmental Constraints

The relevant policy is:

Development on or adjacent to lands forming part of the natural heritage system identified on Annex 4 – Natural Heritage and Environmental Constraints or Schedule C11B – Natural Heritage System (South), will need to be supported by technical studies as described by the policies below and in policies related to natural heritage systems within the Official Plan.

- **A Geotechnical Study and a Slope Stability Study were identified as application requirements at the pre-application consultation on July 31, 2020. In the Geotechnical Investigation by Gemtec dated February 7, 2023, no geotechnical concerns were identified, and development can proceed using standard engineering practices. Refer to the report for further details. Note that no buildings will be within 30m of the riverbank.**

3.4 Zoning By-law 2008-250

The Subject Site is zoned Village First Density subzone P (V1P). Neither semi-detached dwellings nor Planned Unit Developments (PUDs) are permitted in the zone. A Zoning By-law Amendment is required to permit semi-detached dwellings and PUDs and to provide suitable zoning provisions.

3.5 Zoning By-law Amendment

It is suggested to rezone the part of the Subject Site that will be developed to a suitable Village Third Density zone (V3) which permits semi-detached dwellings and Planned Unit Developments (Planned unit development are defined as two or more residential use buildings on the same lot).

It is also suggested that the land generally within the 30m setback from the Rideau River but outside the proposed decks, be rezoned Open Space (O1). To allow for the proposed decks and some passive use of the area close to the dwellings, we propose an O1 exception zone for this area, which would allow decks but prohibit buildings.

The purpose of the V3 zone is:

1. *permit a range of low and medium density housing types in areas designated as **Village** in the Official Plan;*
2. *restrict the building form to low rise, medium density, based on existing development patterns;*
3. *allow a limited range of compatible uses, and*
4. *regulate development in a manner that adopts existing land use patterns so that development is compatible with the scale and density of a neighbourhood.*

The proposal is consistent with the purpose of the zone. The Draft Plan subject of this application is based on a Concept Plan that meets the zoning provisions of the V3 subzone '1' (V3I) as set out below. Note that as it is a Planned Use Development, the lot is considered as one for zoning purposes.

Zoning Provision	V3 I Zone	Proposed
Minimum Lot Area (m ²)	360	9735
Minimum Lot Width (m)	12	50 (approximate)
Minimum Front Yard Setback (m)	9	9
Minimum Interior Side Yard Setback (m)	1.2	1.5
Minimum Rear Yard Setback (m)	7.5	27
Minimum Landscaped Area (%)	30	60 (approximate)
Maximum Lot Coverage (%)	30	15
Maximum Height (m)	11	TBC, <11m
Maximum Density (units per hectare)	No maximum	19

4.0 CONCLUSION

It is our assessment that the proposed residential development is consistent with the Provincial Policy Statement and conforms to City of Ottawa Official Plan and Village of Manotick Secondary Plan. The proposed amendment to Zoning By-Law 2008-250 to accommodate the semi-detached dwellings in a Planned Unit Development can be approved as it is consistent with relevant policies and diversifies housing options in Manotick. This Planning Rationale along with the associated technical studies supports the development of the residential development. The proposed development is an appropriate and desirable addition to the neighbourhood and represents good planning.

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