



262 ARMSTRONG ST.

2020-11-08

SCHEMATIC 1: 2020-06-25
SCHEMATIC 2: 2020-07-04
SCHEMATIC 3: 2020-07-28
SCHEMATIC 4: 2020-08-18
COA DRAFT CITY PLANNER: 2020-11-29
COMMUNITY GROUP REVIEW: 2021-09-20
BY-LAW AMENDMENT: 2021-10-28
PLANNING REV 1: 2021-11-08
PLANNING REV 2: 2022-01-17
PLANNING REV 3: 2022-12-16

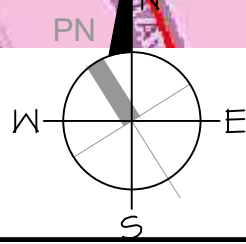
PROJECT TITLE		
262 ARMSTRONG STREET		
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
ZONING MAP**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV1



ZONING CONTEXT MAP

SCALE: N.T.S.



PROJECT TITLE
**262
ARMSTRONG
STREET**

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

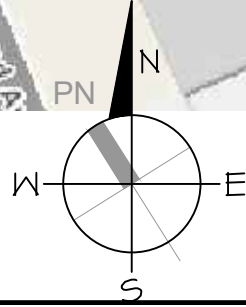
DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
LOCATION MAP**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV2

PLOT DATE: 22-12-16



LOCATION MAP

SCALE: N.T.S.

PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

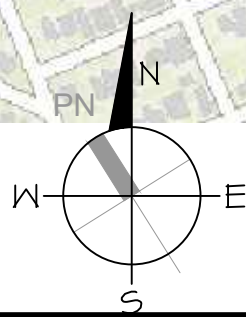
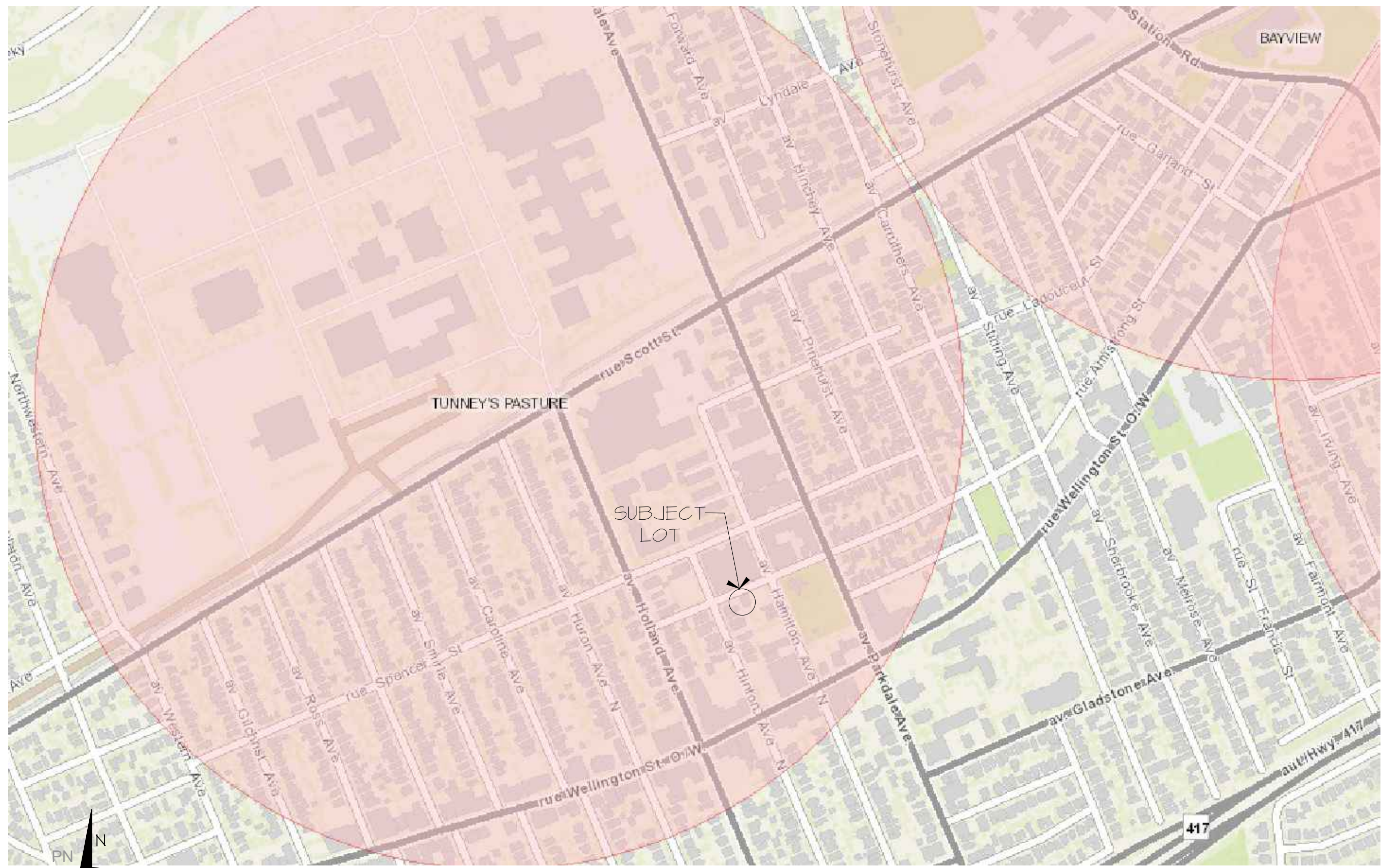
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RAPID TRANSIT
600M RADIUS

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

DEV3



RAPID TRANSIT MAP

SCALE: N.T.S.

PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

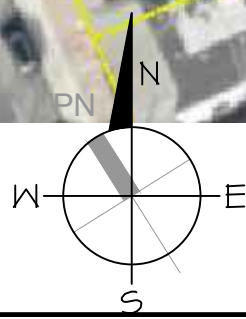
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PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

DEV4



AERIAL PHOTO

SCALE: N.T.S.

PLOT DATE: 22-12-16

PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

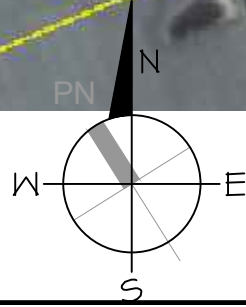
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DEV. INFO.:
AERIAL PHOTO

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV5



AERIAL PHOTO - BLOW UP

SCALE: N.T.S.

PLOT DATE: 22-12-16

PROJECT TITLE		
262 ARMSTRONG STREET		
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**DEVELOPMENT
INFORMATION:
ZONING**

PROJECT No. :	
DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV6

MC - Mixed-Use Centre Zone (Sections 191 and 192)

Purpose of the Zone

The purpose of the MC – Mixed-Use Centre Zone is to:

- ensure that the areas designated Mixed-Use Centres in the Official Plan, or a similar designation in a Secondary Plan, accommodate a combination of transit-supportive uses such as offices, secondary and post secondary schools, hotels, hospitals, large institutional buildings, community recreation and leisure centres, day care centres, retail uses, entertainment uses, service uses such as restaurants and personal service businesses, and high- and medium-density residential uses; (By-law 2015-293)
- allow the permitted uses in a compact and pedestrian-oriented built form in mixed-use buildings or side by side in separate buildings; and
- impose development standards that ensure medium to high profile development while minimizing its impact on surrounding residential areas.

Zone Provisions

- The zone provisions are set out in Table 191 below.

Table 191 - MC Zone provisions

I ZONING MECHANISMS	II PROVISIONS	
(a) Minimum lot area	No minimum	
(b) Minimum lot width	No minimum	
(c) Minimum front yard and corner side yard setback	(i) abutting a lot in a residential zone	3 m
	(ii) abutting the rapid transit corridor	2 m
	(iii) other cases	No minimum
(d) Minimum interior side yard setback	(i) abutting a lot in a residential zone	3 m
	(ii) abutting the rapid transit corridor	2 m
	(iii) other cases	No minimum
(e) Minimum rear yard setback	(i) rear lot line abutting a lot in a residential zone	6 m
	(ii) abutting the rapid transit corridor	2 m
	(iii) other cases	No minimum
(f) Maximum floor space index	No maximum; unless otherwise shown on the zoning map	
(g) Minimum building height	(i) for all uses within 400 metres of a rapid transit station, other than a	6.7 m

Table 191 - MC Zone provisions

I ZONING MECHANISMS	II PROVISIONS	
(h) Maximum building heights	gas bar where it is permitted by an exception	
	(ii) other cases	No minimum
	(i) in any area up to and including 20 metres from a property line abutting a R1, R2, R3 or R4 zone (By-law 2011-124)	11 m
(i) Minimum width of landscaped area	(ii) in any area over 20 metres and up to and including 30 metres from a property line abutting a R1, R2, R3 or R4 residential zone (By-law 2011-124)	20 m
	(iii) in all other cases	No maximum, or as shown by the suffix "H", on a zoning map, or specified in a subzone or exception where applicable
		No minimum, except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces or outdoor commercial patio, the whole yard must be landscaped
3.	Storage must be completely enclosed within a building.	
4.	For other applicable provisions, see Part 2 – General Provisions, Part 3 – Specific Use Provisions, and Part 4 – Parking, Queuing and Loading Provisions.	
5.	(a) Despite the list of permitted residential uses, where the zoning on a lot is accompanied by an H suffix, schedule or exception that restricts building height to less than 30m or to fewer than ten storeys on the entire lot, the use Apartment Dwelling, High Rise is a prohibited use on that lot. (By-law 2015-192) (b) Despite the list of permitted residential uses, where the zoning on a lot is accompanied by an H suffix, schedule or exception that restricts building height to less than 15m or to fewer than five storeys on the entire lot, the use Apartment Dwelling, Mid Rise is a prohibited use on that lot. (By-law 2014-292)	

MC16 Subzone - Parkdale Park Subzone

- In the MC16 Subzone:
 - the following uses are prohibited:
 - amusement centre
 - bar
 - nightclub
 - parking garage
 - parking lot
 - shelter

- sports arena
townhouse dwelling
2. for any lot that abuts Hinton Avenue the lot line abutting Hinton Avenue is deemed to be the front lot line,
 3. the maximum building height for the Areas F and H on Schedule 371 is 27 metres or 8 storeys whichever is less, (By-law 2017-148)
 4. minimum ground floor setback from façade facing a public street: 2.0m,
 5. minimum building step back above the 3rd storey when building height is over 4 storeys is 2.0m from a wall facing the front lot line, (By-law 2017-302)
 6. minimum rear yard setback is 3.0 metres for storeys 1 to 3 of a building and 7.5 metres for storeys 4 to 8 of a building,
 7. maximum gross floor area per unit of retail, retail food store, personal service business, restaurant, bar, convenience store, service and repair shop, personal brewing facility: 200 m², (By-law 2019-41)
 8. maximum gross floor area per unit of office use on the ground floor only: 200 m², no maximum on any other floor,
 9. The following provisions apply to parking in the MC16 Subzone:
 1. parking spaces required or provided in the MC16 Subzone may be available for parking purposes to any land use located within the MC16 Subzone and the TM11 subzone,
 2. uses of less than 150 square metres gross floor area that are located on the ground floor are not required to provide parking.
 3. despite any requirements to the contrary, parking for a use required on one lot, may be located on another lot in the MC16 zone, but must be in the same city block, or on a lot on the opposite side of the public street on which the use requiring the parking is located.
 10. Section 110 (Landscaping Provisions for Parking Lots) and Section 113 (Loading Space Rates and Provisions) do not apply,
 11. for through lots, the lot lines abutting the street are considered a front lot line. (OMB Order File #PL110686, issued October 24, 2012, (By-law 2011-216) (By-law 2011-216)

Section 101 - Minimum Parking Space Rates

- 1) Within the areas shown as Areas B, C, D, X and Y on Schedule 1A PDF opens in a new tab or window, off-street motor vehicle parking must be provided for any land use at the rate set out in Table 101 below.
- 2) Despite Subsection (1), within the area shown as Area X on Schedule 1A :
 - a) In the case of a building containing residential uses, no off-street motor vehicle parking is required to be provided under this section for the first twelve dwelling units and the parking requirements under Table 101 apply only to dwelling units and rooming units in excess of 12.

REQUIRED RELIEF:

BYLAW 2008-250:

1. TO PERMIT A REDUCED REAR YARD SETBACK (STOREY'S 1-3) OF 0.0M, WHEREAS, UNDER SECTION 191 (16) (F) OF THE BY-LAW, THE MIN. REQUIRED REAR YARD SETBACK IS 3.0m.
2. TO PERMIT A REDUCED REAR YARD STEPBACK SETBACK (STOREY'S 4 & ABOVE) OF 2.67M, WHEREAS UNDER SECTION 191 (16) (F) OF THE BY-LAW, THE MIN. REQUIRED REAR YARD STEPBACK IS 7.5m.

PROJECT TITLE

262
ARMSTRONG
STREET

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#	REVISION	2020 XX-XX

DRAWING TITLE:

DEV. INFO.:
ZONING &
DEVELOPMENT

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

DEV7

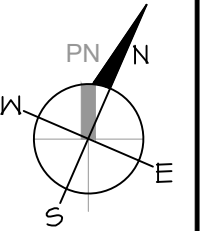
SHADOW IMPACT STUDY - SUMMER SOLSTICE (JUNE 21ST, 2021)

PAUL A. COOPER
ARCHITECT

76 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V9
(819) 685 9512 Tel

PROJECT TITLE

262
ARMSTRONG
STREET



#	REV.	2020 XX-XX

DRAWING TITLE:

SHADOW
IMPACT
STUDY

PROJECT No. :

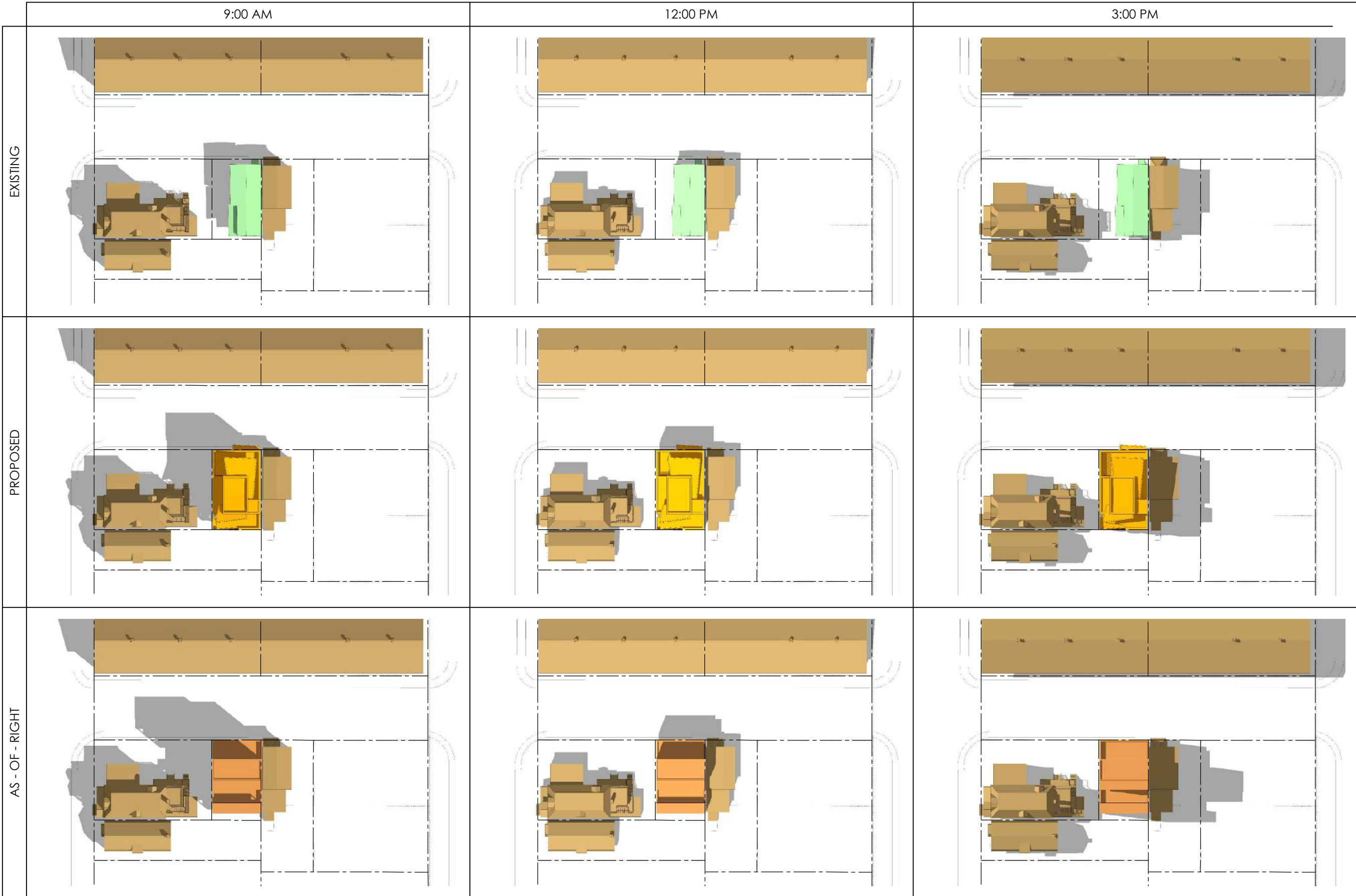
DATE: 21-10-12

SCALE: NOTED

DWG BY: P.A.C.

DWG No:

DEV 8



■ EXISTING ON SUBJECT PROPERTY
 ■ AS-OF-RIGHT ON SUBJECT PROPERTY
 ■ PROPOSED ON SUBJECT PROPERTY
 ■ EXISTING NEIGHBOURING PROPERTY

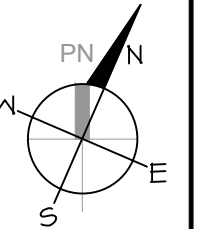
SHADOW IMPACT STUDY - FALL EQUINOX (SEPTEMBER 21ST)

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(819) 685 9512 Tel

PROJECT TITLE

262
ARMSTRONG
STREET



#	REV.	2020 XX-XX

DRAWING TITLE:

SHADOW
IMPACT
STUDY

PROJECT No. :

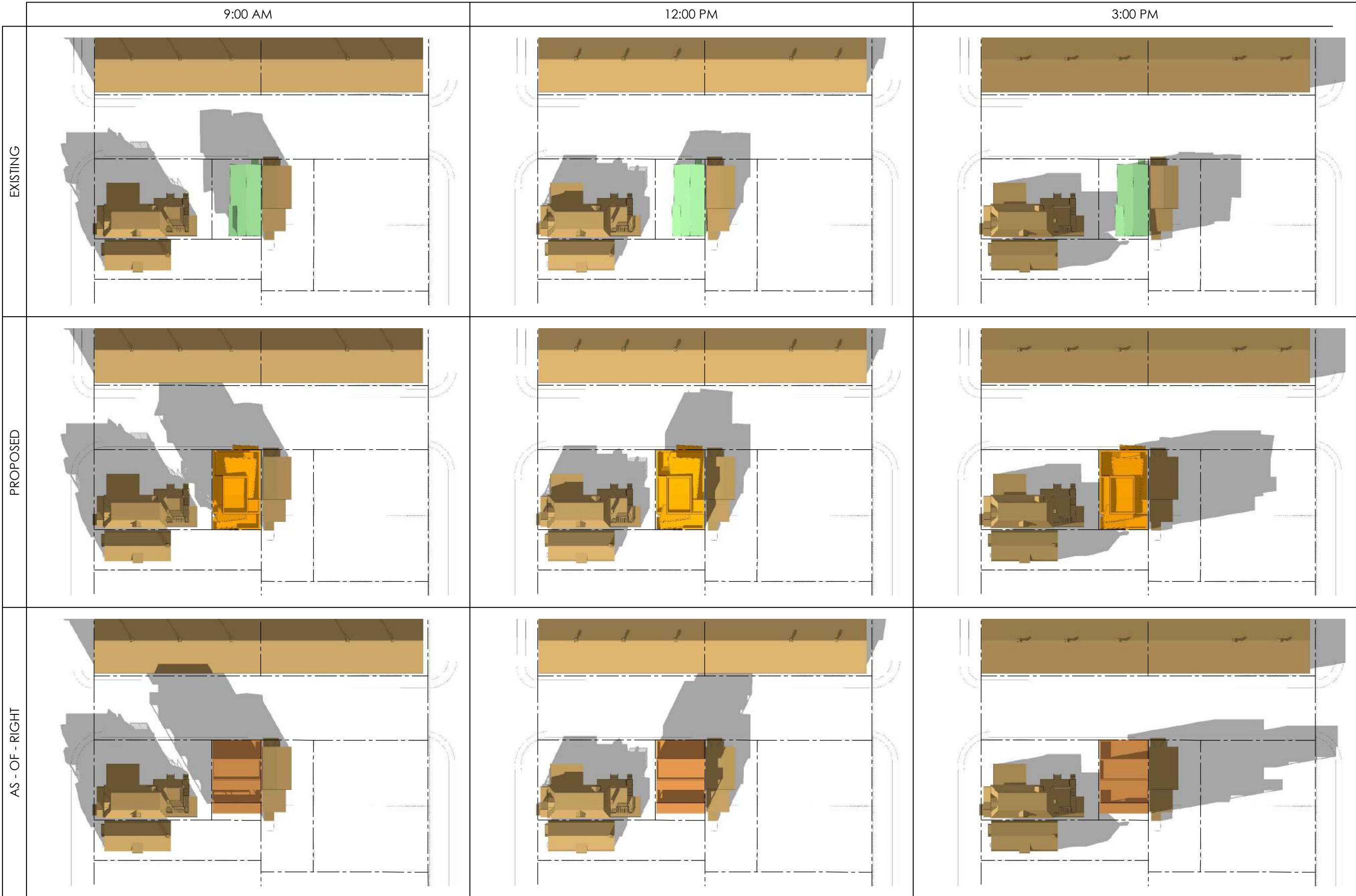
DATE: 21-10-12

SCALE: NOTED

DWG BY: P.A.C.

DWG No:

DEV 9



■ EXISTING ON SUBJECT PROPERTY
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 ■ EXISTING NEIGHBOURING PROPERTY

PLOT DATE: 21-10-12

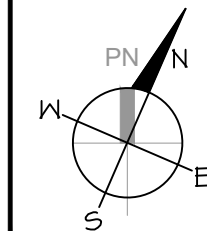
SHADOW IMPACT STUDY - WINTER SOLSTICE (DECEMBER 21ST)

PAUL A. COOPER
ARCHITECT

76 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V9
(819) 685 9512 Tel

PROJECT TITLE

262
ARMSTRONG
STREET



#	REV.	2020 XX-XX

DRAWING TITLE:

SHADOW
IMPACT
STUDY

PROJECT No. :

DATE: 21-10-12

SCALE: NOTED

DWG BY: P.A.C.

DWG No:

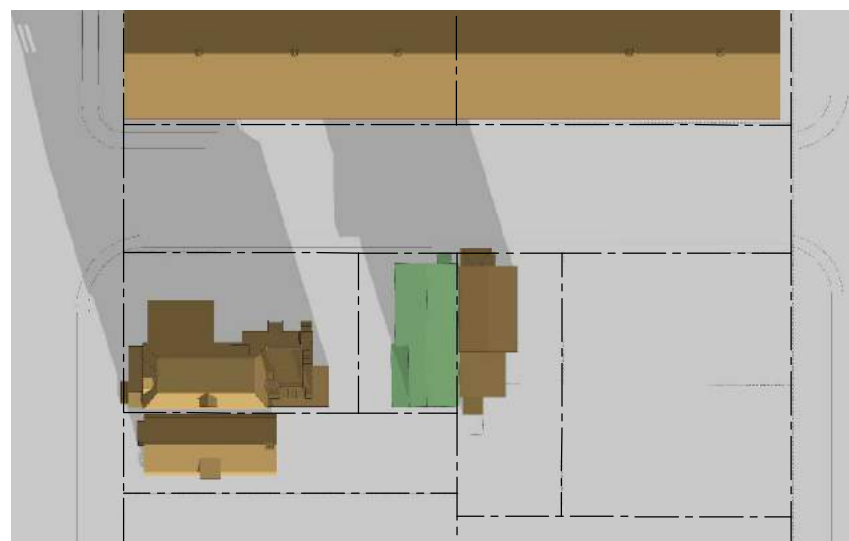
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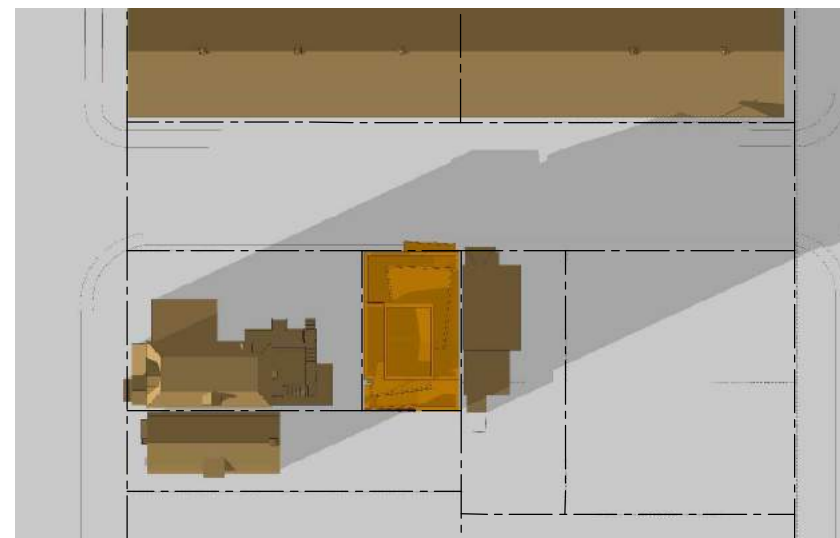
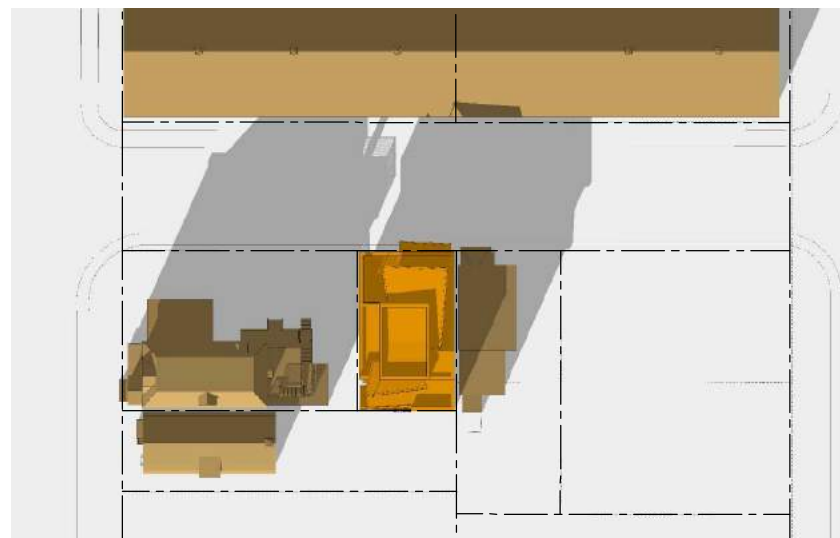
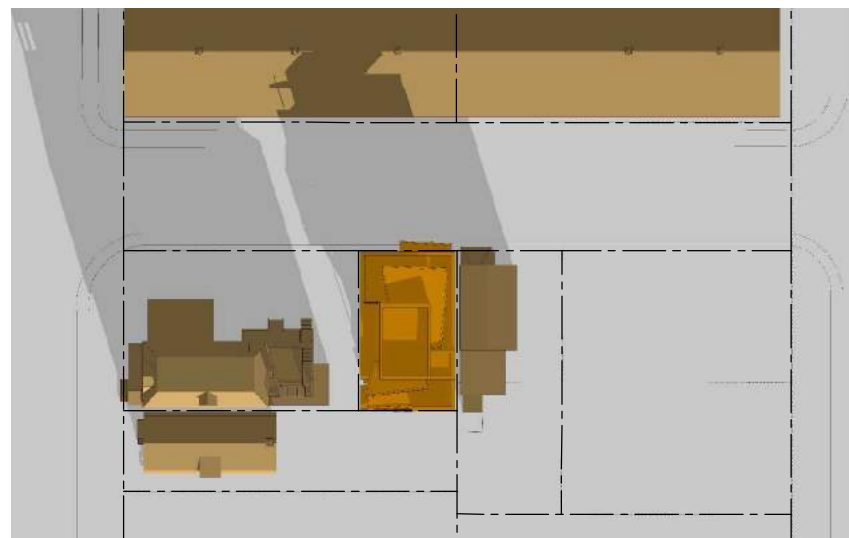
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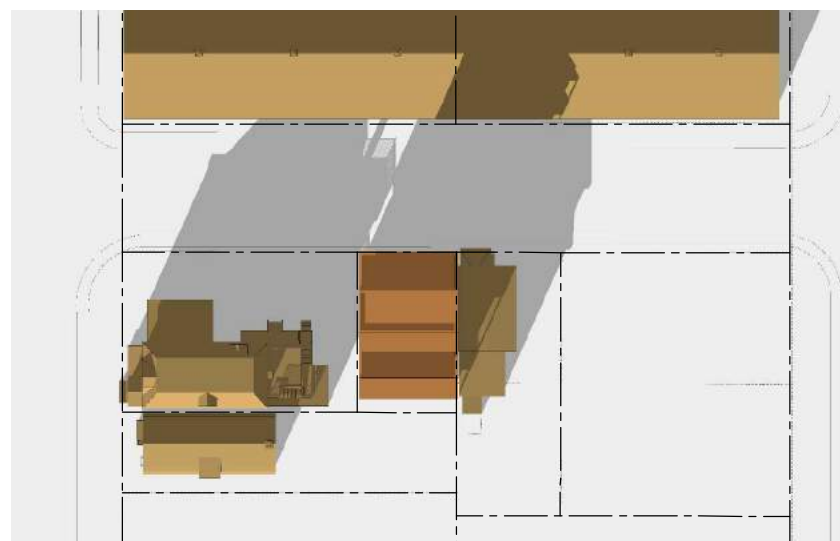
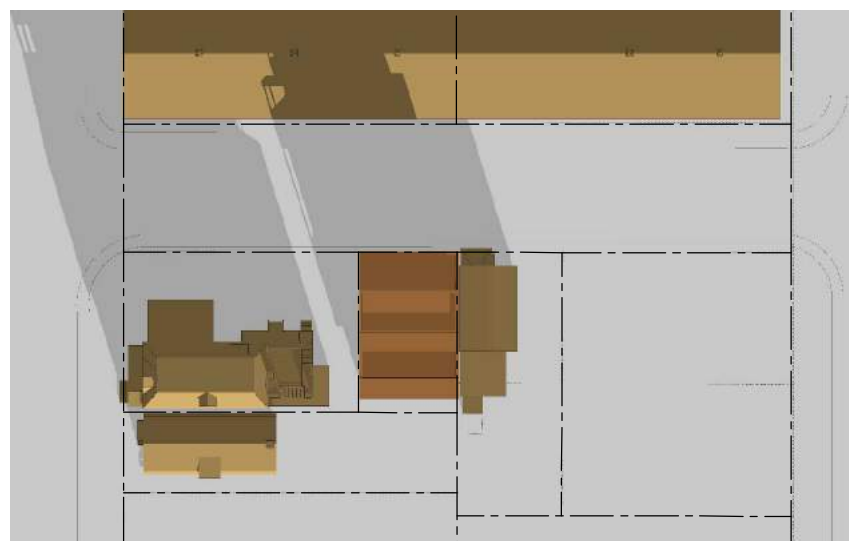
EXISTING



PROPOSED



AS - OF - RIGHT



■ EXISTING ON SUBJECT PROPERTY
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 ■ PROPOSED ON SUBJECT PROPERTY
 ■ EXISTING NEIGHBOURING PROPERTY

PLOT DATE: 21-10-12

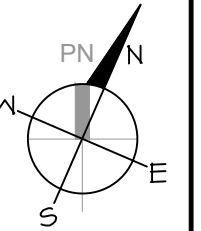
SHADOW IMPACT STUDY - SUMMER SOLSTICE (JUNE 21ST, 2021)

PAUL A. COOPER
ARCHITECT

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OTTAWA, ONTARIO
K1S 1V9
(819) 685 9512 Tel

PROJECT TITLE

262
ARMSTRONG
STREET



#	REV.	2020 XX-XX

DRAWING TITLE:

AOR
NEIGHBOUR
SHADOW
IMPACT STUDY

PROJECT No. :

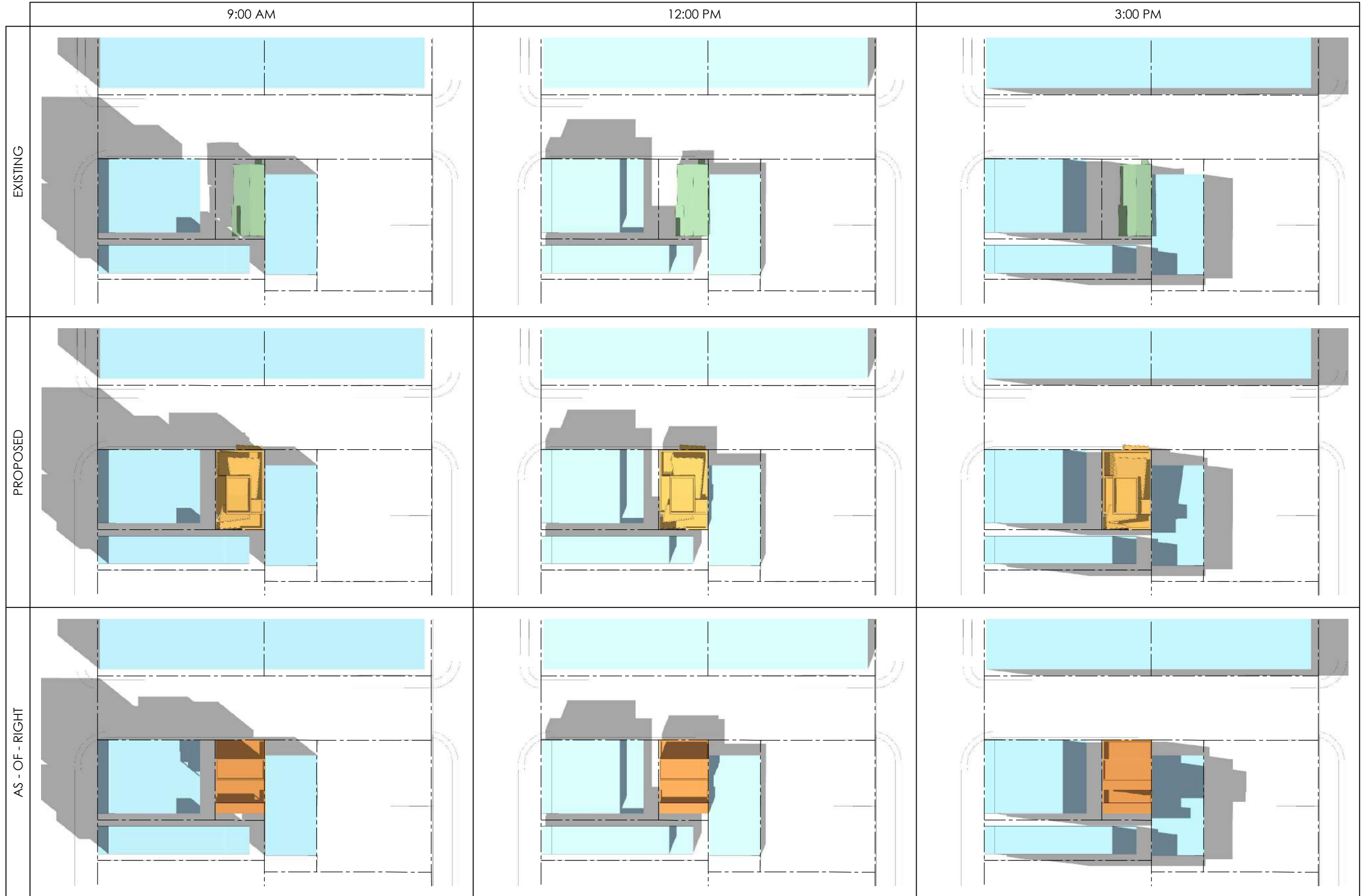
DATE: 21-10-12

SCALE: NOTED

DWG BY: P.A.C.

DWG No:

DEV11



■ EXISTING ON SUBJECT PROPERTY
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 ■ PROPOSED ON SUBJECT PROPERTY
 ■ EXISTING NEIGHBOURING AS-OF-RIGHT MASSING

PLOT DATE: 21-10-12

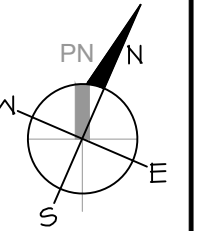
SHADOW IMPACT STUDY - FALL EQUINOX (SEPTEMBER 21ST)

PAUL A. COOPER
ARCHITECT

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PROJECT TITLE

262
ARMSTRONG
STREET



#	REV.	DATE
		2020 XX-XX

DRAWING TITLE:

AOR
NEIGHBOUR
SHADOW
IMPACT STUDY

PROJECT No. :

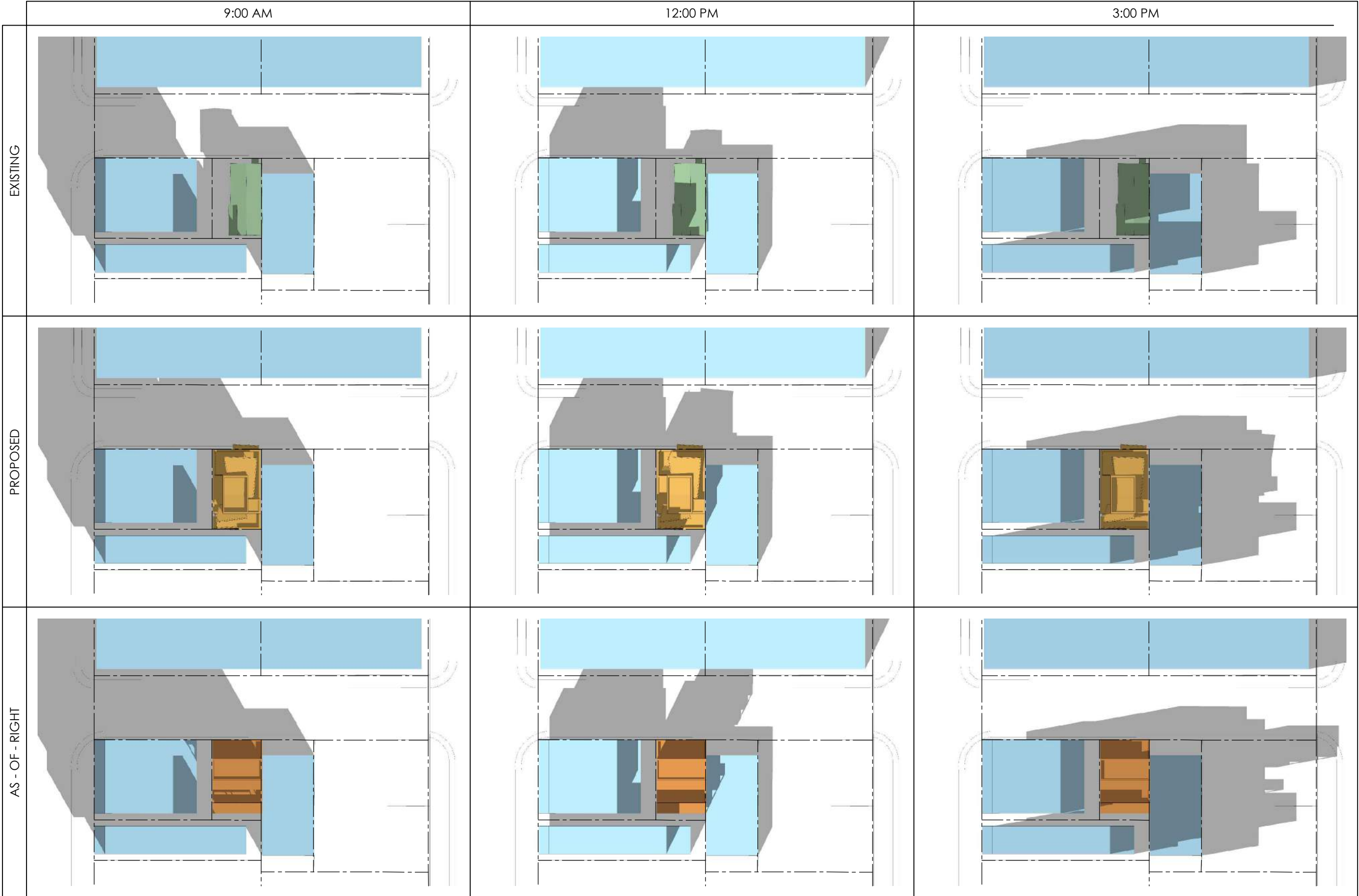
DATE: 21-10-12

SCALE: NOTED

DWG BY: P.A.C.

DWG No:

DEV12



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PLOT DATE: 21-10-12

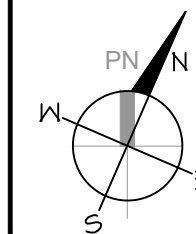
SHADOW IMPACT STUDY - WINTER SOLSTICE (DECEMBER 21ST)

PAUL A. COOPER
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262
ARMSTRONG
STREET



#	REV.	2020 XX-XX

DRAWING TITLE:

AOR
NEIGHBOUR
SHADOW
IMPACT STUDY

PROJECT No. :

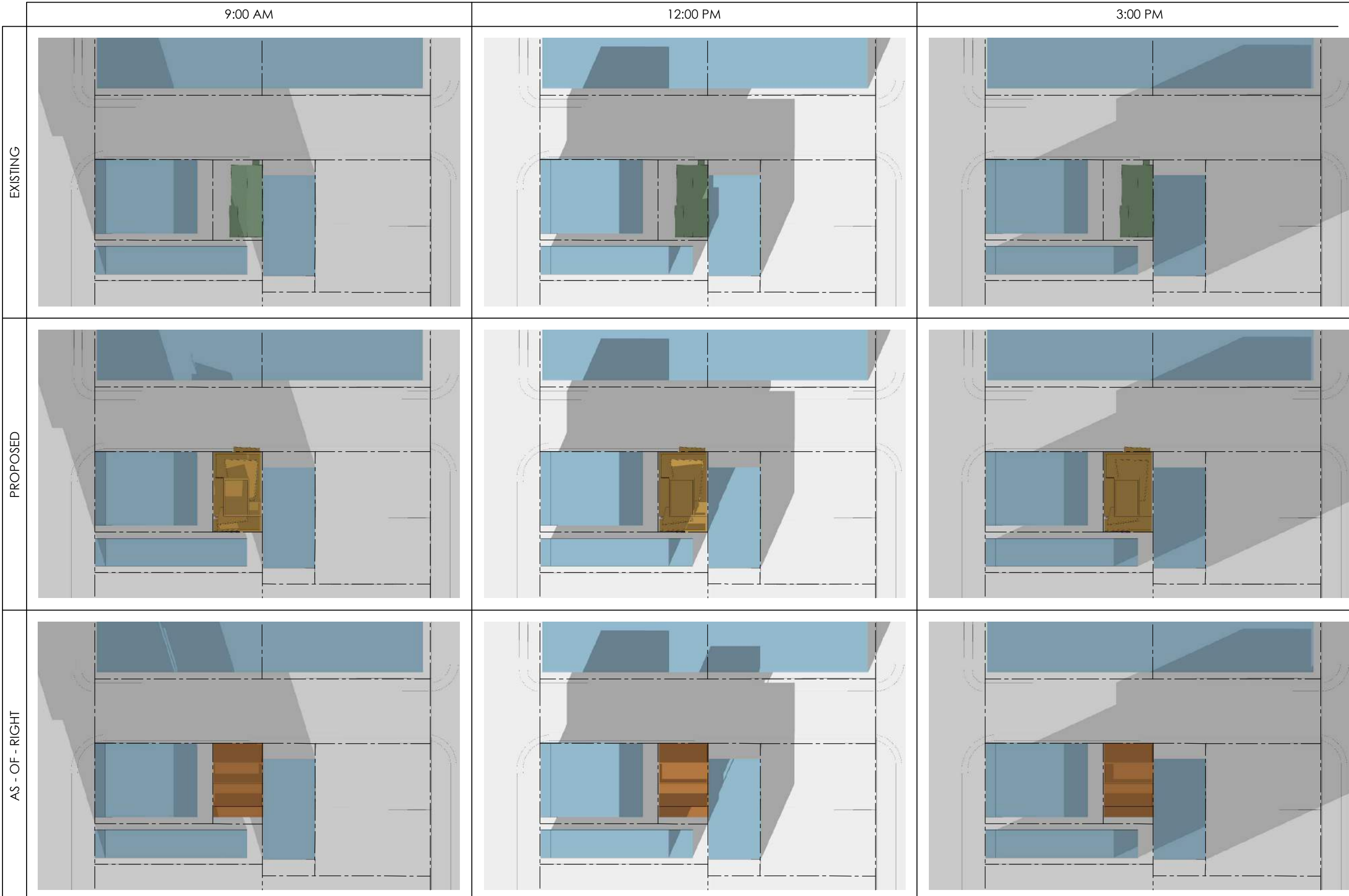
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SCALE: NOTED

DWG BY: P.A.C.

DWG No:

DEV13



■ EXISTING ON SUBJECT PROPERTY
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 ■ EXISTING NEIGHBOURING PROPERTY

PROJECT TITLE
**262
ARMSTRONG
STREET**

12		
#	REVISION	2020 XX-XX

DRAWING TITLE:
**NON-
CONFORMING
SETBACK
PLANS**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV14

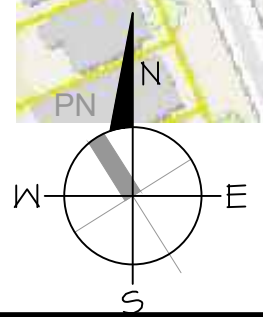


SUBJECT
LOT

- LEGEND**
- EXISTING (SUBJECT LOT)
 - EXISTING BUILDINGS WITH NON-CONFORMING FRONT YARD SETBACKS.
 - EXISTING BUILDINGS WITH NON-CONFORMING REAR YARD SETBACKS.

NON-CONFORMING FRONT YARD SETBACKS

SCALE: N.T.S.



PLOT DATE: 22-12-16

PROJECT TITLE
**262
ARMSTRONG
STREET**

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**NON-
CONFORMING
SETBACK
PLANS**

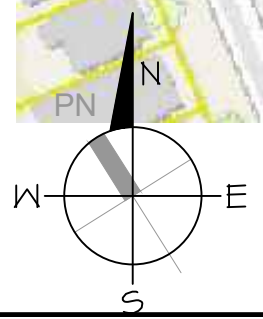
PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
DEV15



SUBJECT
LOT



NON-CONFORMING REAR YARD SETBACKS

SCALE: N.T.S.

- LEGEND**
- EXISTING (SUBJECT LOT)
 - EXISTING BUILDINGS WITH NON-CONFORMING FRONT YARD SETBACKS.
 - EXISTING BUILDINGS WITH NON-CONFORMING REAR YARD SETBACKS.

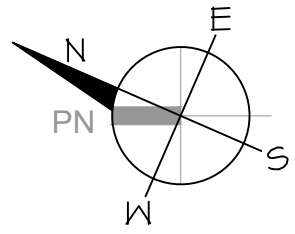
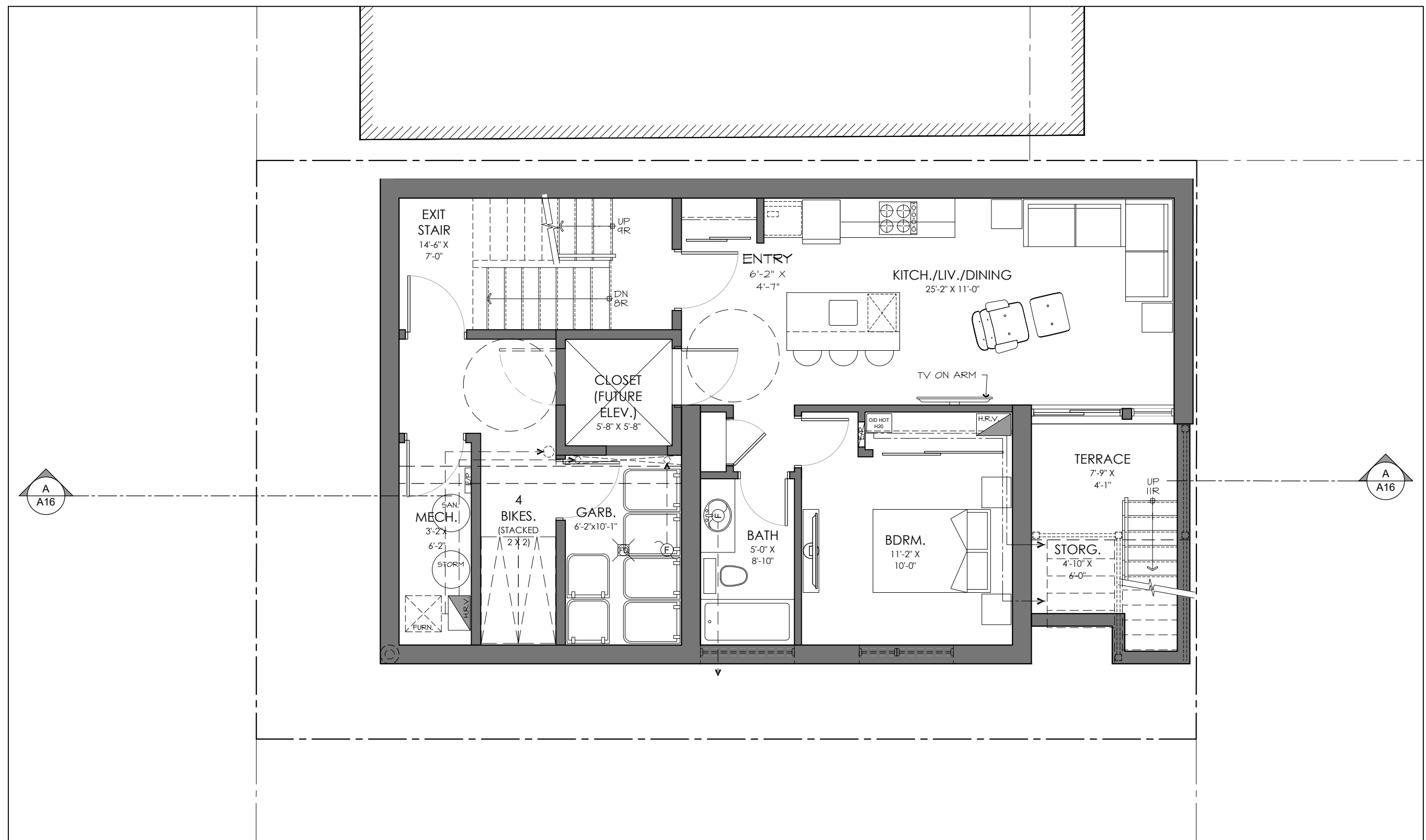
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**SCHEMATIC
FLOOR PLAN**

PROJECT No. :

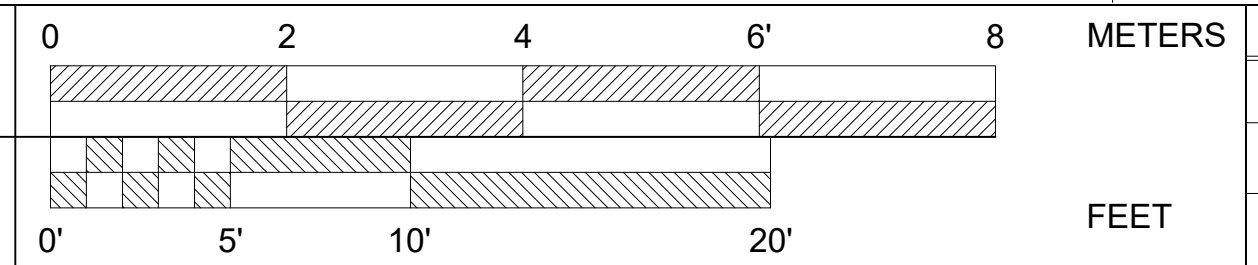
DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A1



BASEMENT

SCALE: 3/16"=1'-0"



BASEMENT (FINISHED):
UNIT #1: ~630 SQFT. (59 M ²)
COMMON: ~372 SQFT. (35 M ²)
TOTAL: ~1002 SQFT. (93 M ²)

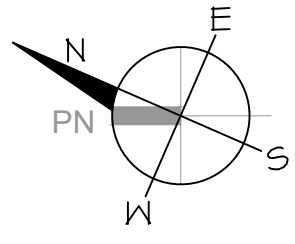
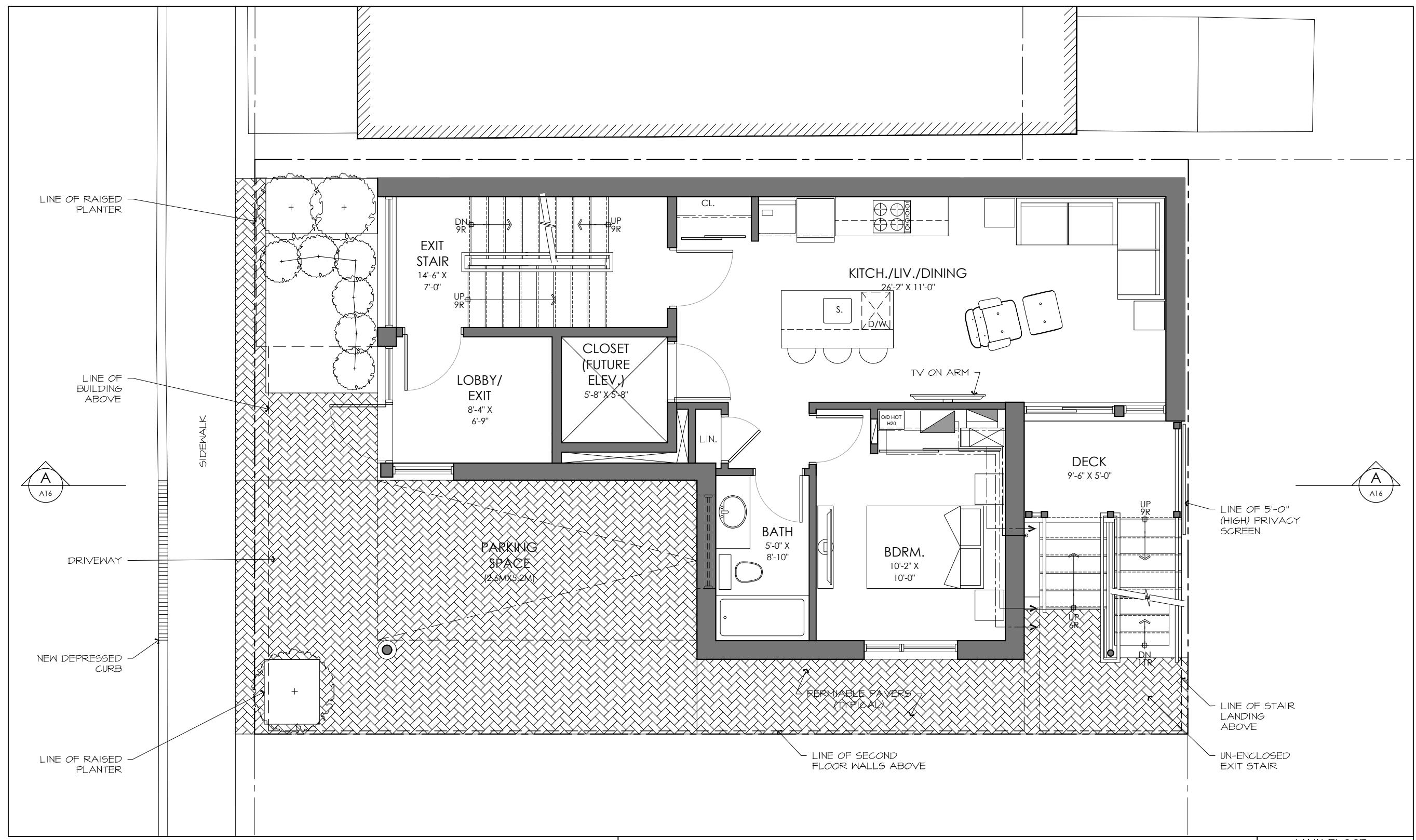
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**SCHEMATIC
FLOOR PLAN**

PROJECT No. :

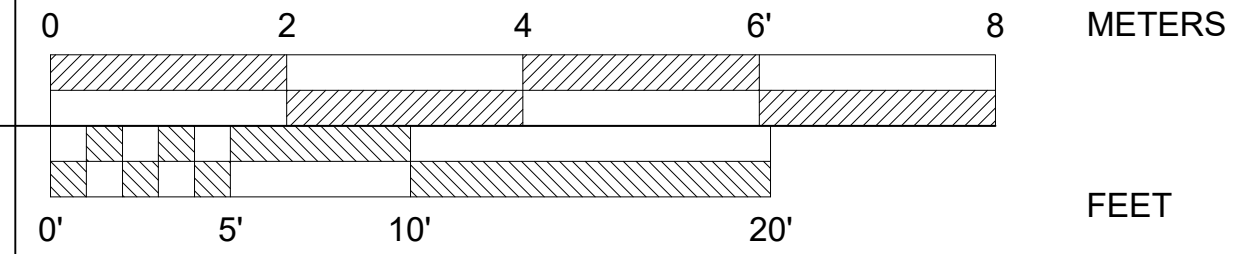
DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A2



MAIN FLR. PLAN

SCALE: 3/16"=1'-0"



MAIN FLOOR (1 BEDROOM):
UNIT #2: ~632 SQFT. (59 M ²)
COMMON: ~206 SQFT. (19 M ²)
TOTAL: ~838 SQFT. (78 M ²)

PLOT DATE: 22-12-16

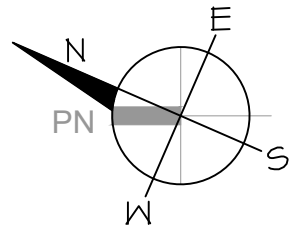
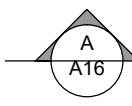
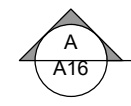
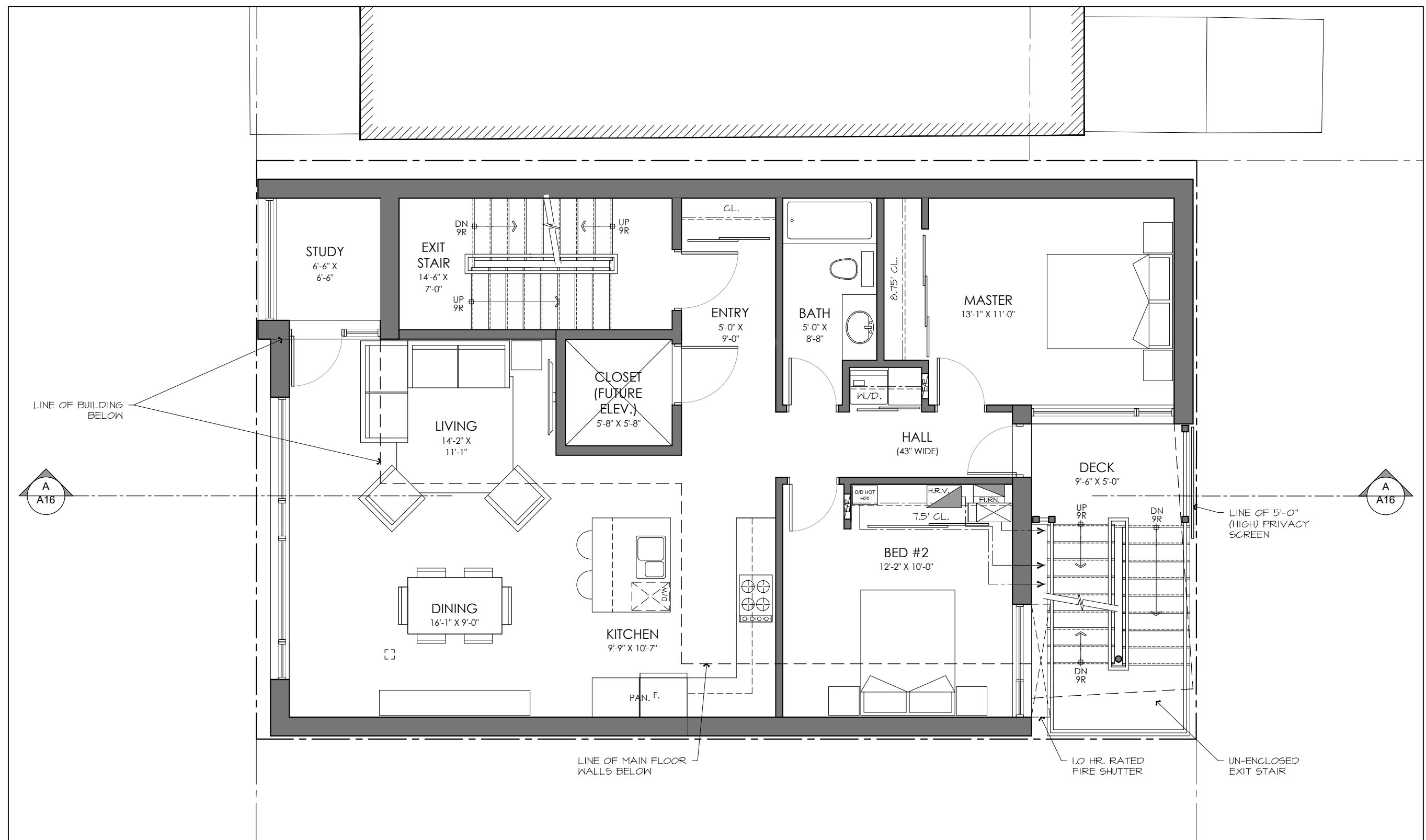
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**SCHEMATIC
FLOOR PLAN**

PROJECT No. :

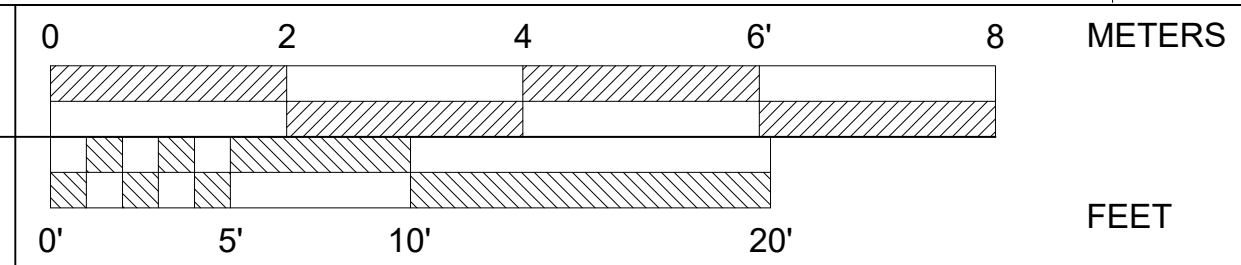
DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A3



2ND FLR. PLAN

SCALE: 3/16"=1'-0"



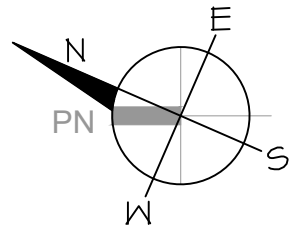
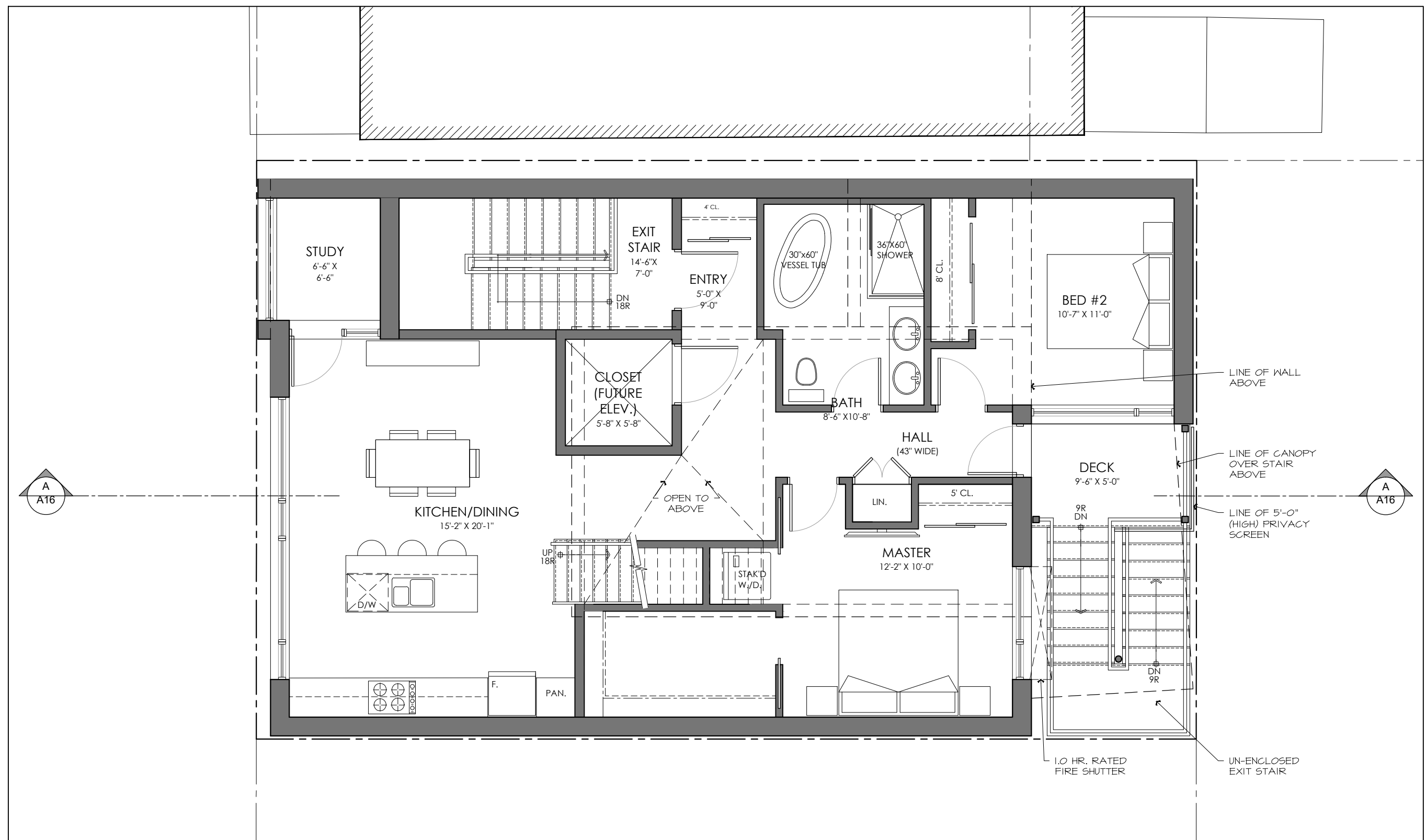
SECOND FLOOR (2 BEDROOM):
UNIT #3: ~1187 SQFT. (110 M ²)
COMMON: ~126 SQFT. (12 M ²)
TOTAL: ~1313 SQFT. (122 M ²)

PROJECT TITLE		
262 ARMSTRONG STREET		
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**SCHEMATIC
FLOOR PLAN**

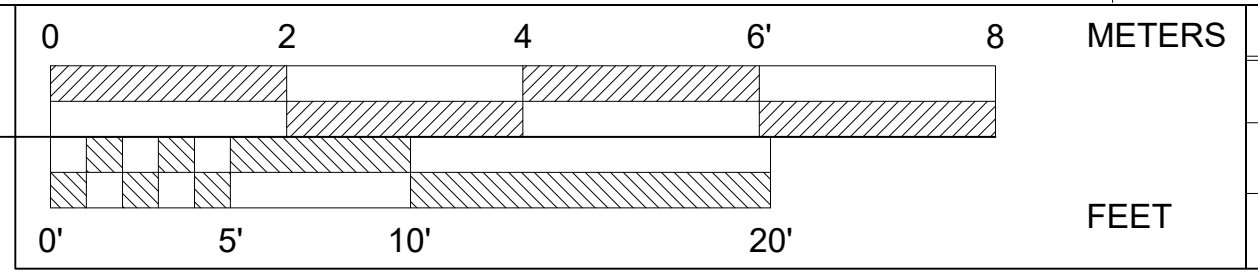
PROJECT No. :	
DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A4



3RD FLR. PLAN

SCALE: 3/16"=1'-0"

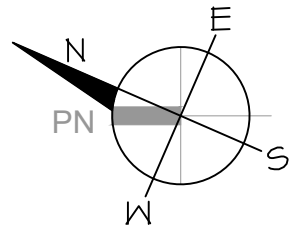
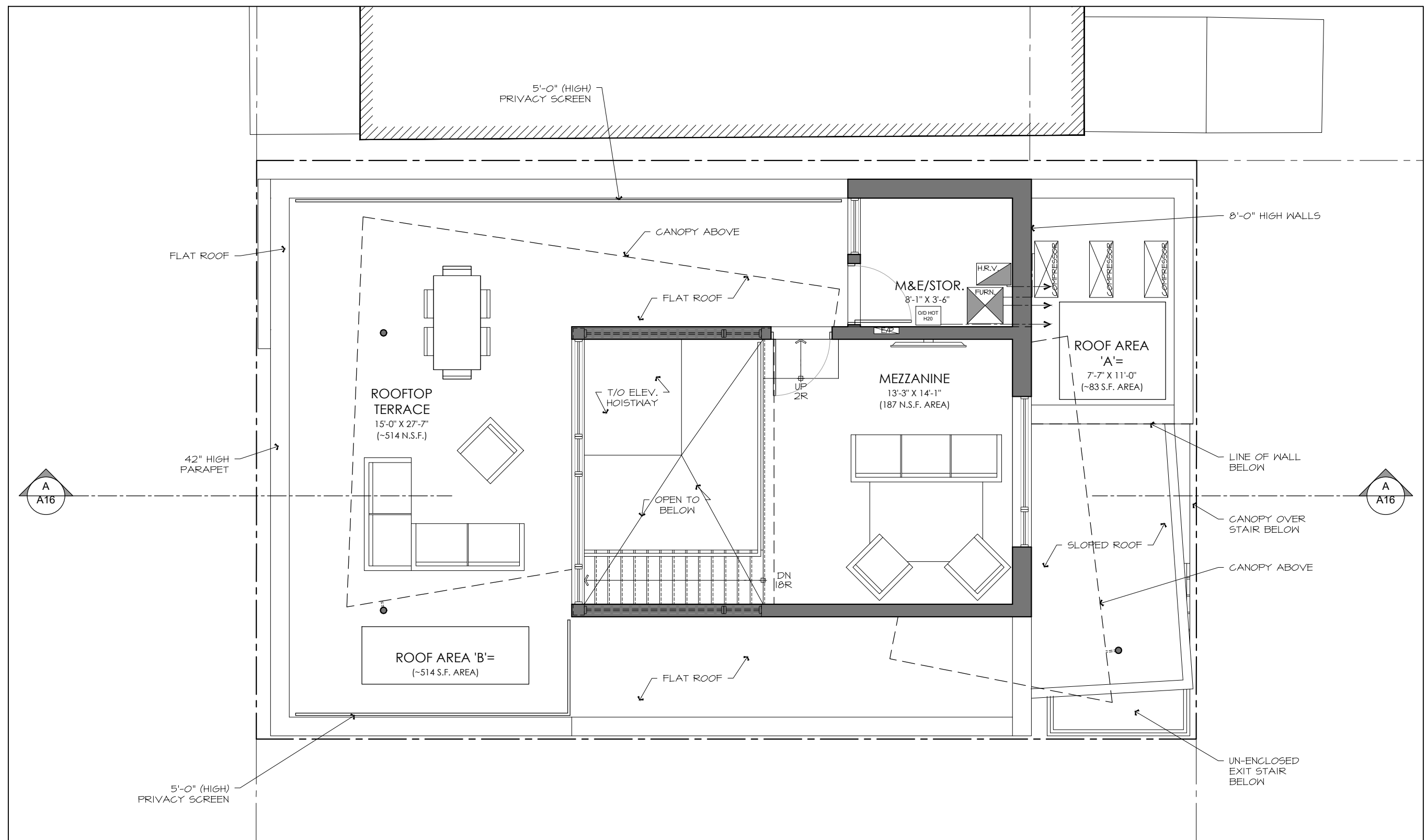


THIRD FLOOR (2 BEDROOM):
UNIT #4: ~1187 SQFT. (110 M ²)
COMMON: ~126 SQFT. (12 M ²)
TOTAL: ~1313 SQFT. (122 M ²)

PLOT DATE: 22-12-16

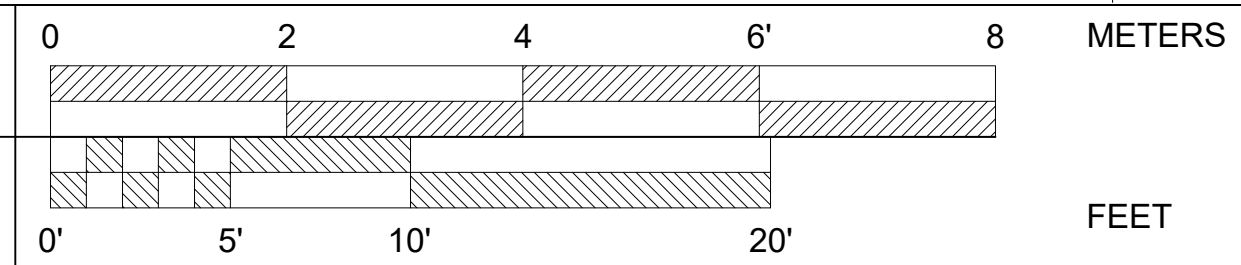
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.



MEZZ. FLR. PLAN

SCALE: 3/16"=1'-0"



MEZZ./ROOFTOP (PART OF UNIT #4):
FLOOR AREA: ~453 SQFT. (42 M ²)
MEZZANINE: ~187 NSQFT. (17 M ²)
TERRACE: ~514 SQFT. (48 M ²)

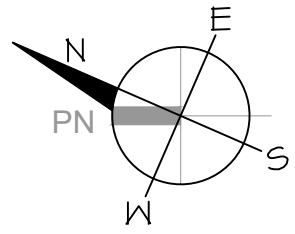
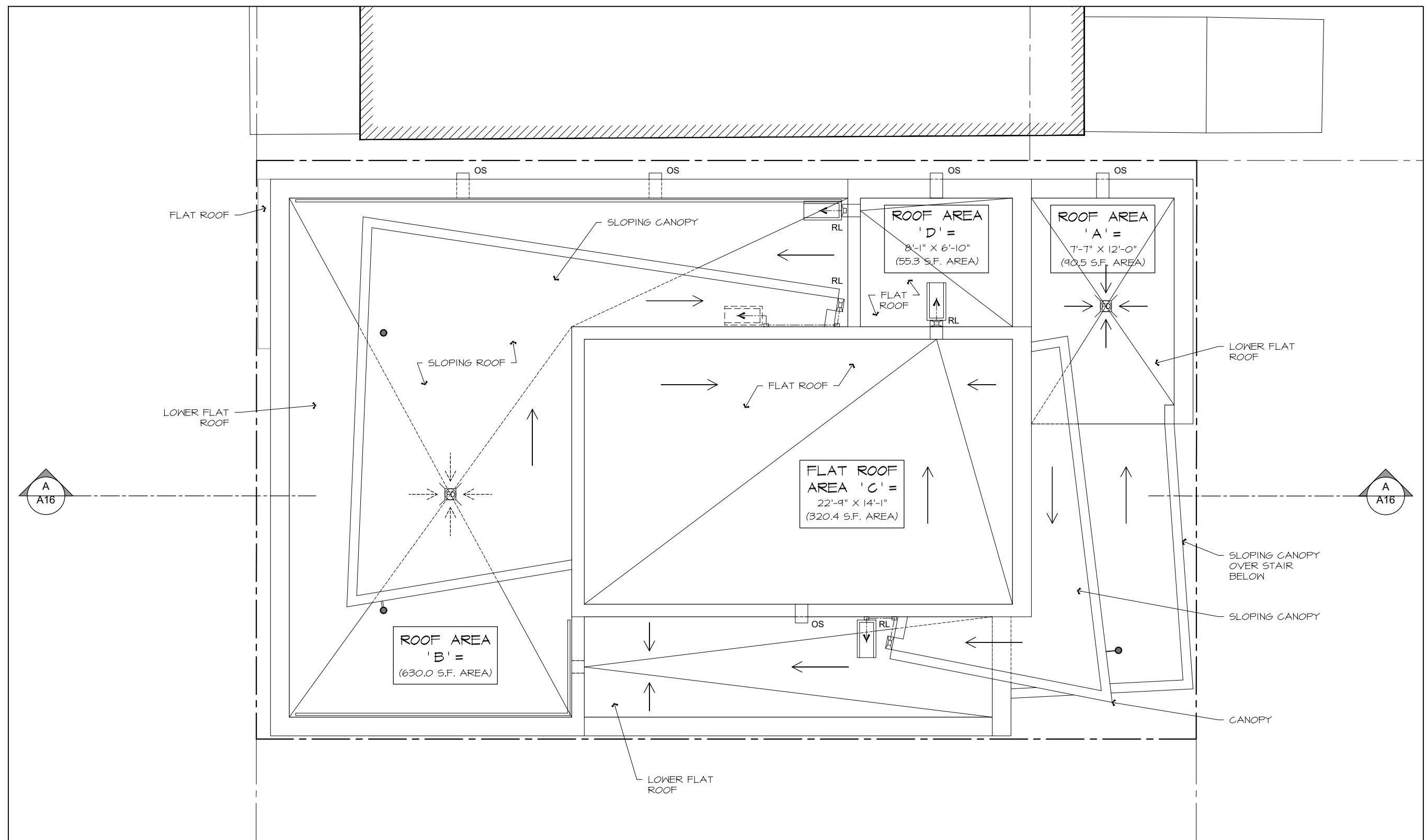
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**SCHEMATIC
FLOOR PLAN**

PROJECT No. :

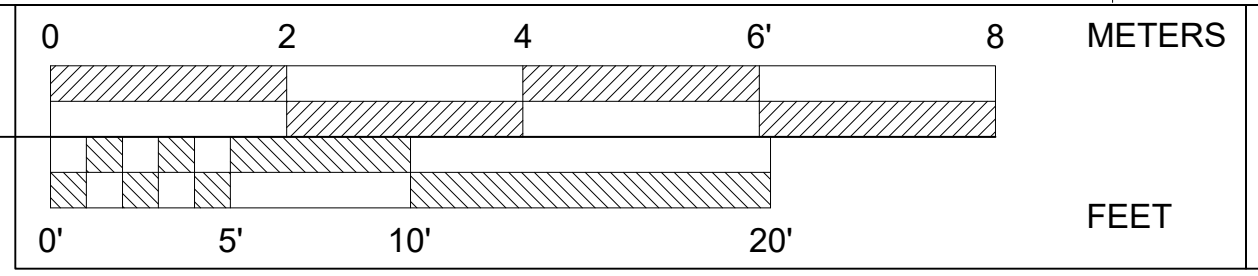
DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A6



ROOF PLAN

SCALE: 3/16"=1'-0"



PLOT DATE: 22-12-16

PROJECT TITLE
**262
ARMSTRONG
STREET**

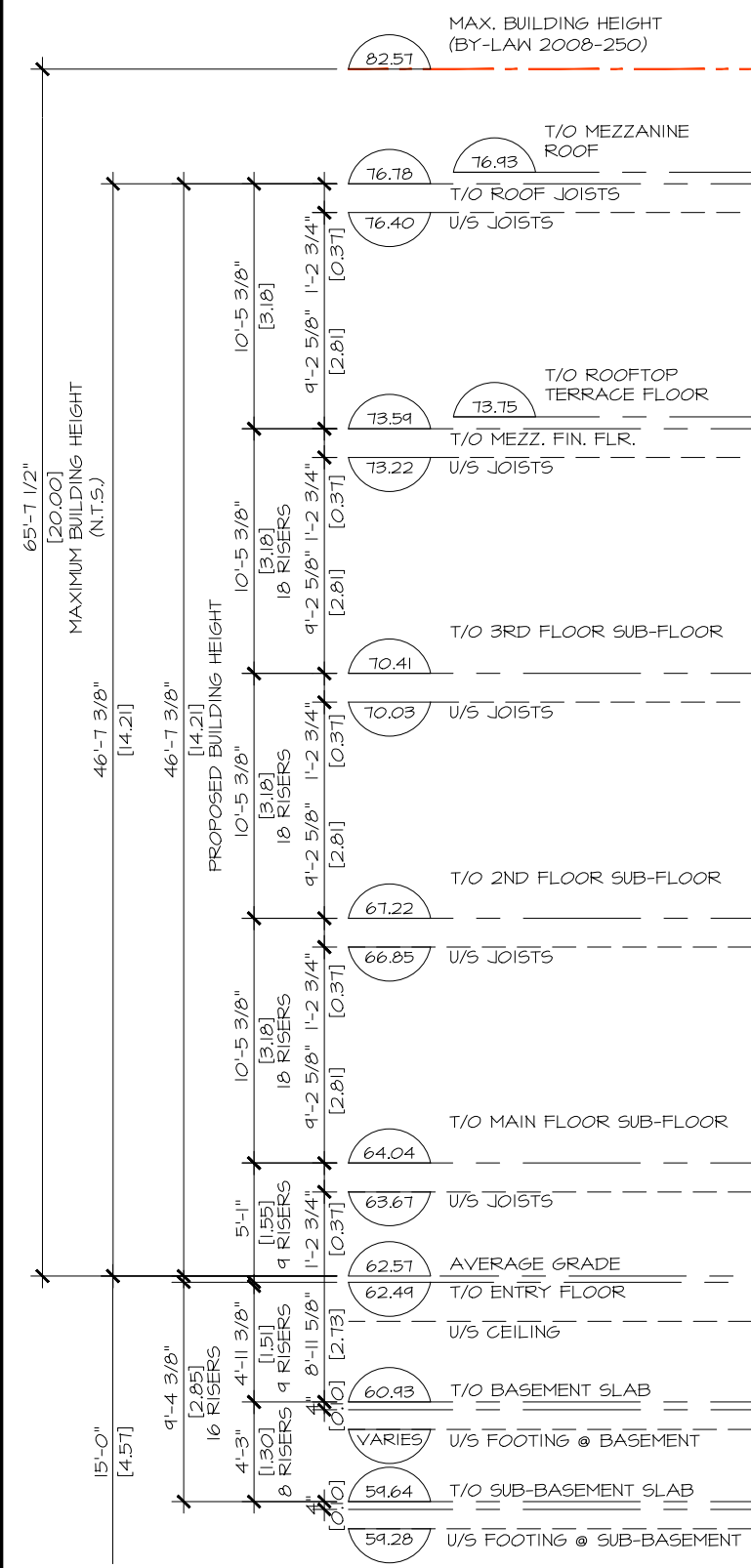
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**PROPOSED
ELEVATIONS**

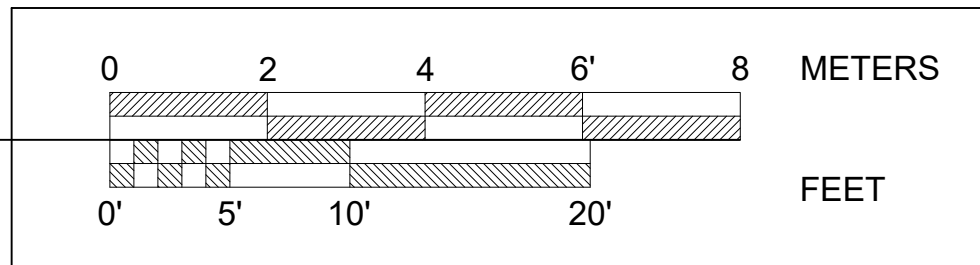
PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A7



ELEVATIONS FRONT (NORTH) & REAR (SOUTH)
SCALE: 1/8"=1'-0"



PROJECT TITLE

**262
ARMSTRONG
STREET**

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

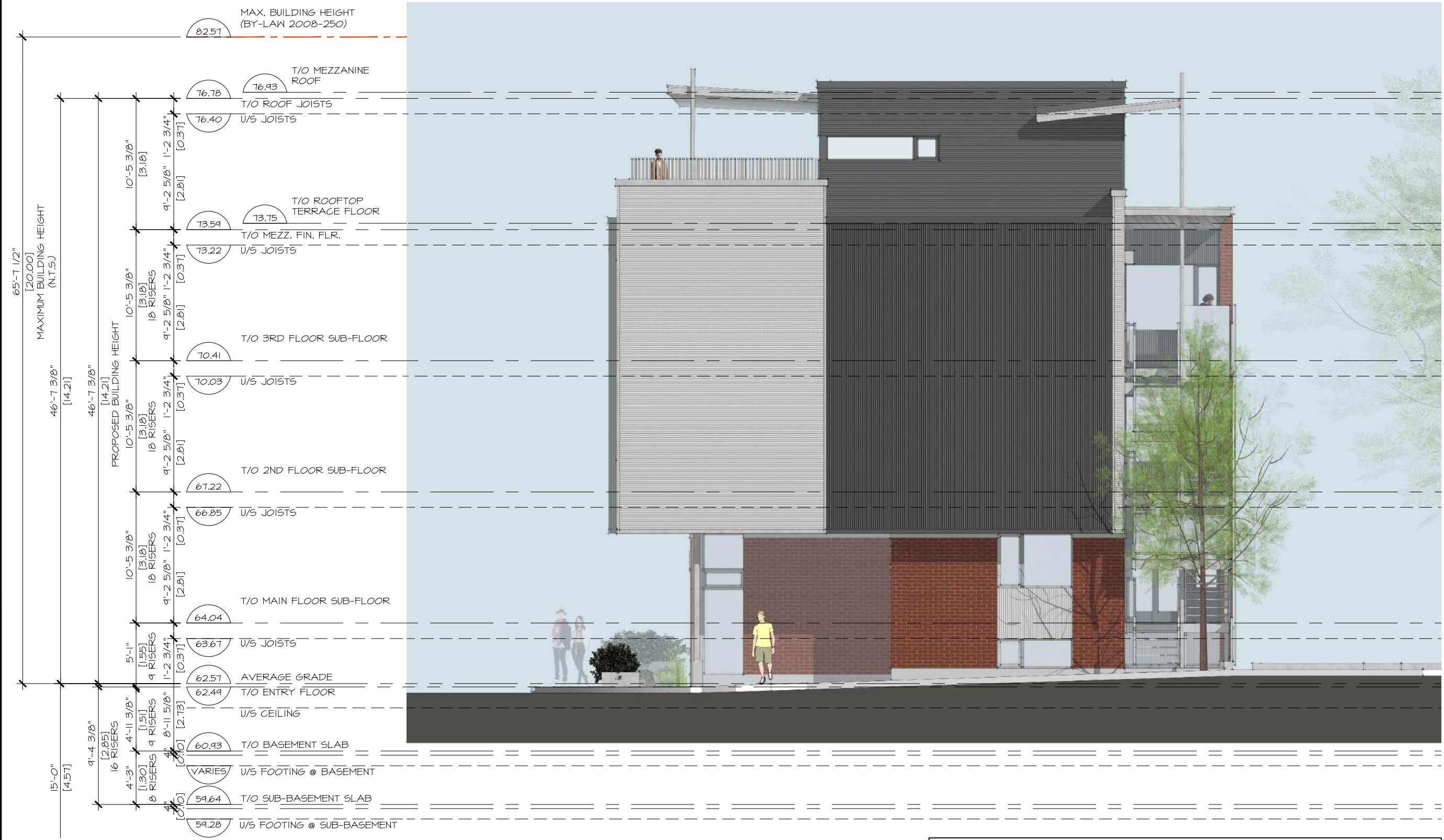
**PROPOSED
ELEVATION**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

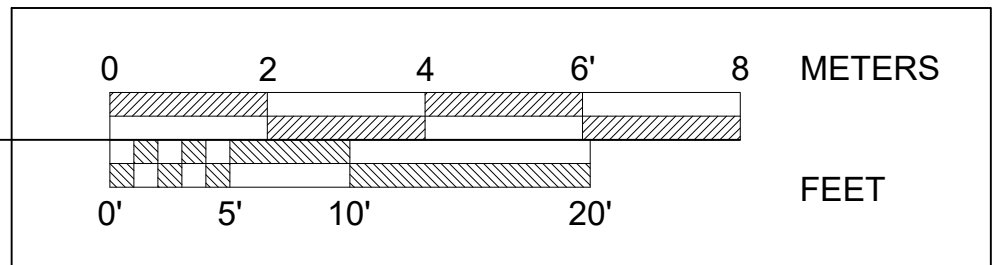
DWG No:

A8



ELEVATIONS SIDE (WEST)

SCALE: 1/8"=1'-0"



PROJECT TITLE
**262
ARMSTRONG
STREET**

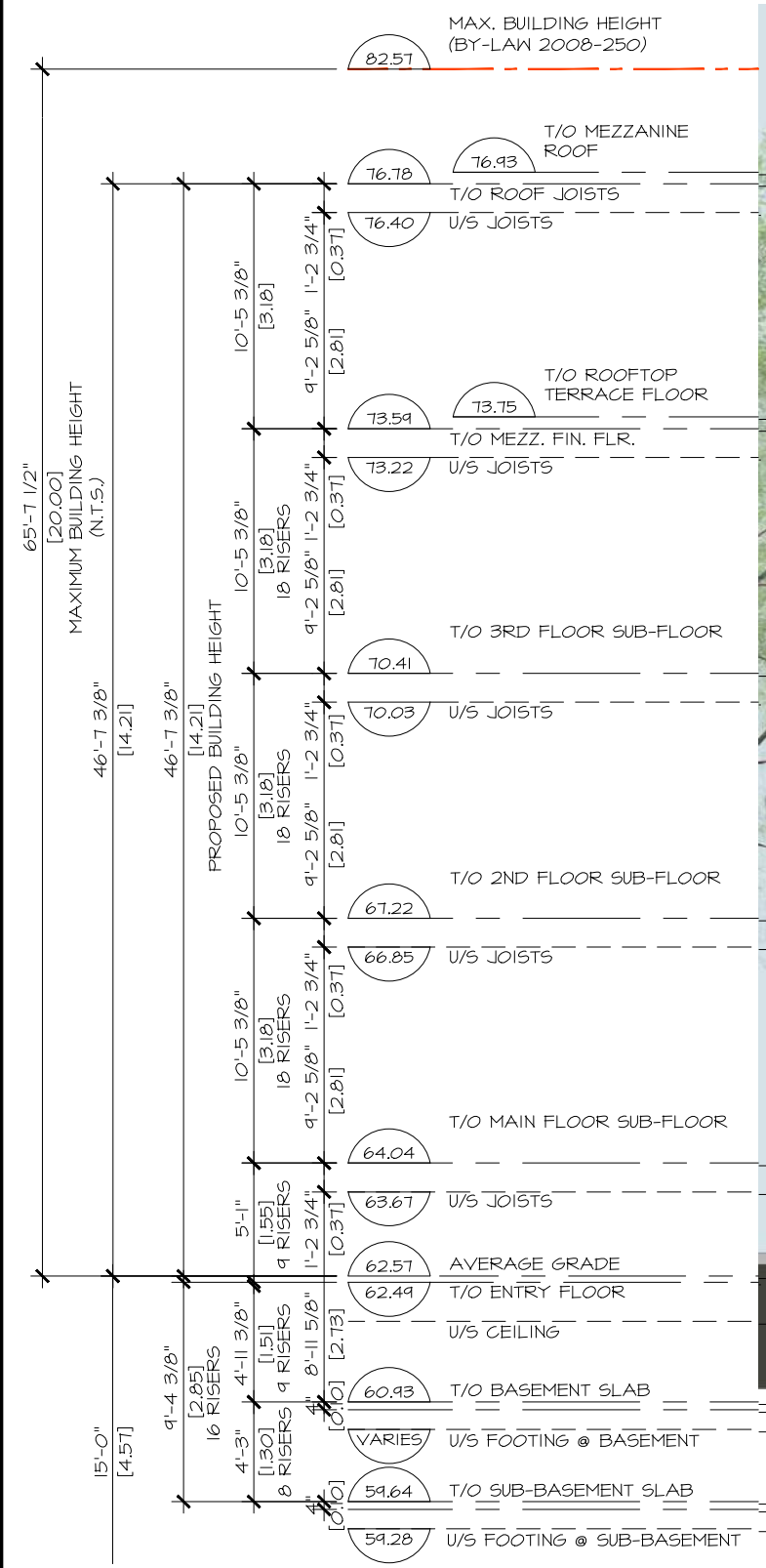
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**PROPOSED
ELEVATION**

PROJECT No. :

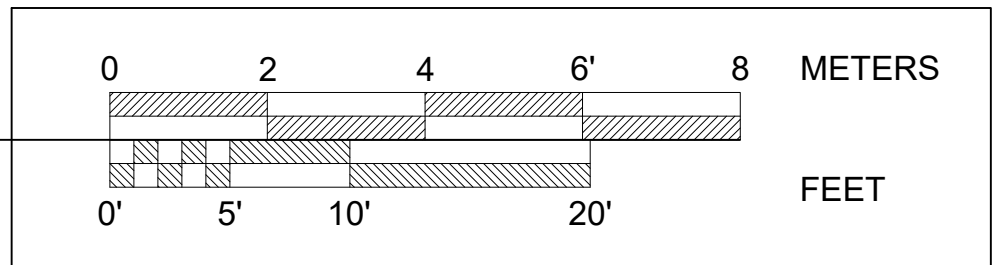
DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A9



ELEVATIONS SIDE (EAST)

SCALE: 1/8"=1'-0"



PROJECT TITLE
**262
ARMSTRONG
STREET**

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**PROPOSED
PERSPECTIVES**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A10



PERSPECTIVE 1

PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

PROPOSED
PERSPECTIVES

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

A11



PERSPECTIVE 2

PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

PROPOSED
PERSPECTIVES

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

A12



PERSPECTIVE 3



PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V5
(819) 685 9512 Tel.

PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

PROPOSED
PERSPECTIVES

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

A13

PLOT DATE: 22-12-16

PERSPECTIVE 4

PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

PROPOSED
PERSPECTIVES

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

A14



PERSPECTIVE 5



PROJECT TITLE
**262
ARMSTRONG
STREET**

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**PROPOSED
PERSPECTIVES**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A15

PERSPECTIVE 6

PROJECT TITLE

**262
ARMSTRONG
STREET**

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

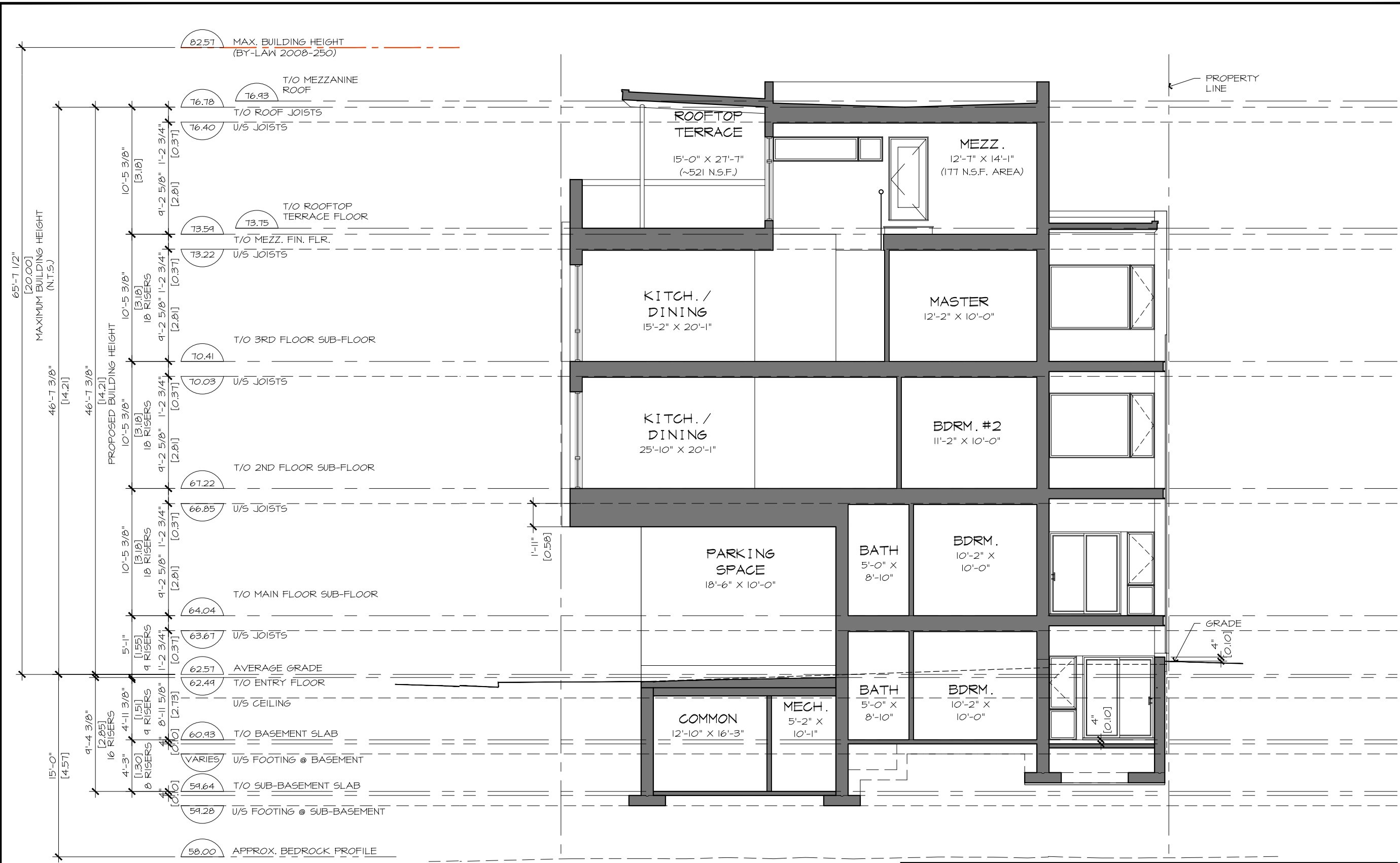
**PROPOSED
SECTION**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:

A16



LONG SECTION A-A

SCALE: 1/8"=1'-0"

PLOT DATE: 22-12-16



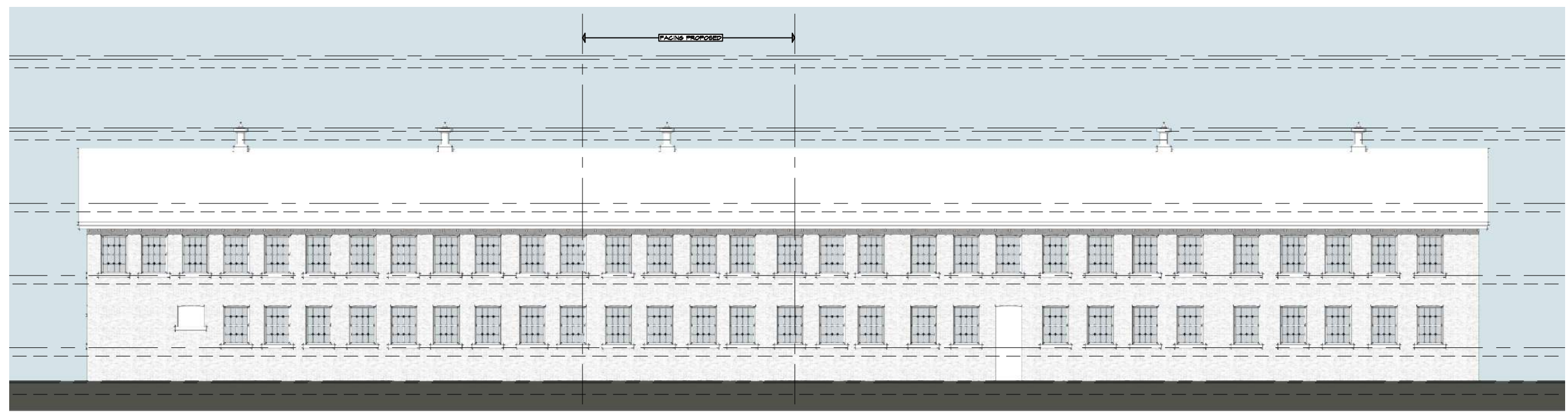
PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

ARMSTRONG STREETScape ELEVATION

SCALE: 1/16"=1'-0"



DRAWING TITLE:

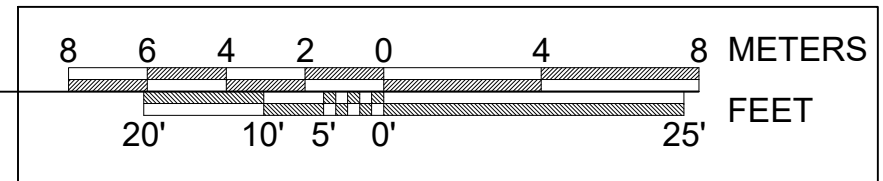
PROPOSED
ELEVATION

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

ARMSTRONG FACING STREETScape ELEV.

SCALE: 1/16"=1'-0"



DWG No:
A17



PROJECT TITLE		
262 ARMSTRONG STREET		
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

HINTON AVE STREETSCAPE ELEVATION

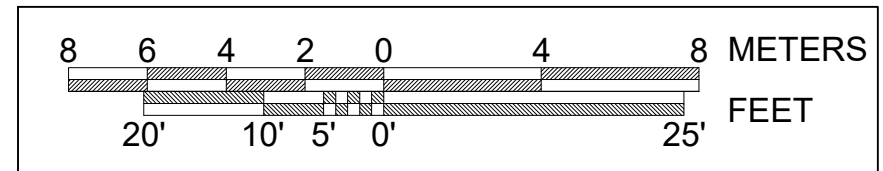
SCALE: 1/16"=1'-0"

DRAWING TITLE:
**PROPOSED
ELEVATION**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A18



PROJECT TITLE
**262
ARMSTRONG
STREET**

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**PROPOSED VS.
AS-OF-RIGHT**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A19

- 82.51 MAX. BUILDING HEIGHT
(BY-LAW 2008-250)
- 76.93 T/O MEZZANINE ROOF
- 76.78 T/O ROOF JOISTS
- 76.40 U/S JOISTS
- 73.75 T/O ROOFTOP TERRACE FLOOR
- 73.59 T/O MEZZ. FIN. FLR.
- 73.22 U/S JOISTS
- 70.41 T/O 3RD FLOOR SUB-FLOOR
- 70.03 U/S JOISTS
- 67.22 T/O 2ND FLOOR SUB-FLOOR
- 66.85 U/S JOISTS
- 64.04 T/O MAIN FLOOR SUB-FLOOR
- 63.67 U/S JOISTS
- 62.51 AVERAGE GRADE
- 62.44 T/O ENTRY FLOOR
- U/S CEILING
- 60.93 T/O BASEMENT SLAB
- VARIES U/S FOOTING @ BASEMENT
- 59.64 T/O SUB-BASEMENT SLAB
- 59.28 U/S FOOTING @ SUB-BASEMENT



ORANGE VOLUME
INDICATES AS-OF-RIGHT
BUILDING ENVELOPE

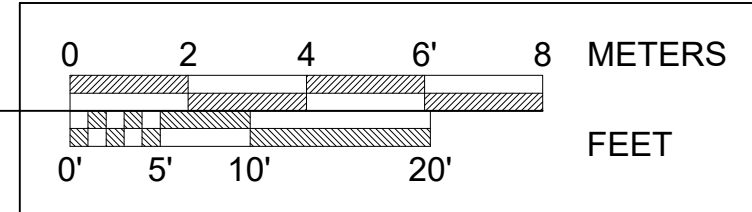
LINE OF PROPOSED
BUILDING

PROPERTY LINE

PLOT DATE: 22-12-16

AS-OF-RIGHT STREETScape

SCALE: 3/32"=1'-0"



PROJECT TITLE		
262 ARMSTRONG STREET		
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**PROPOSED VS.
AS-OF-RIGHT**

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

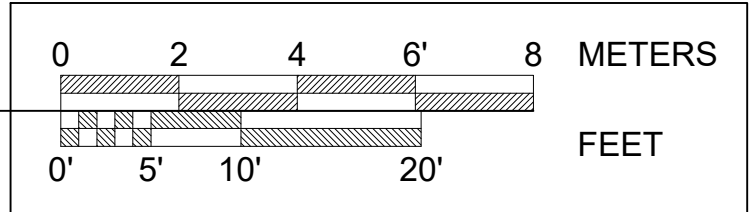
DWG No:
A20

- 82.51 MAX. BUILDING HEIGHT
(BY-LAW 2008-250)
- 76.93 T/O MEZZANINE ROOF
- 76.78 T/O ROOF JOISTS
- 76.40 U/S JOISTS
- 73.75 T/O ROOFTOP TERRACE FLOOR
- 73.59 T/O MEZZ. FIN. FLR.
- 73.22 U/S JOISTS
- 70.41 T/O 3RD FLOOR SUB-FLOOR
- 70.03 U/S JOISTS
- 67.22 T/O 2ND FLOOR SUB-FLOOR
- 66.85 U/S JOISTS
- 64.04 T/O MAIN FLOOR SUB-FLOOR
- 63.67 U/S JOISTS
- 62.51 AVERAGE GRADE
- 62.44 T/O ENTRY FLOOR
- U/S CEILING
- 60.93 T/O BASEMENT SLAB
- VARIES U/S FOOTING @ BASEMENT
- 59.64 T/O SUB-BASEMENT SLAB
- 59.28 U/S FOOTING @ SUB-BASEMENT



AS-OF-RIGHT REAR YARD ELEVATION

SCALE: 3/32"=1'-0"



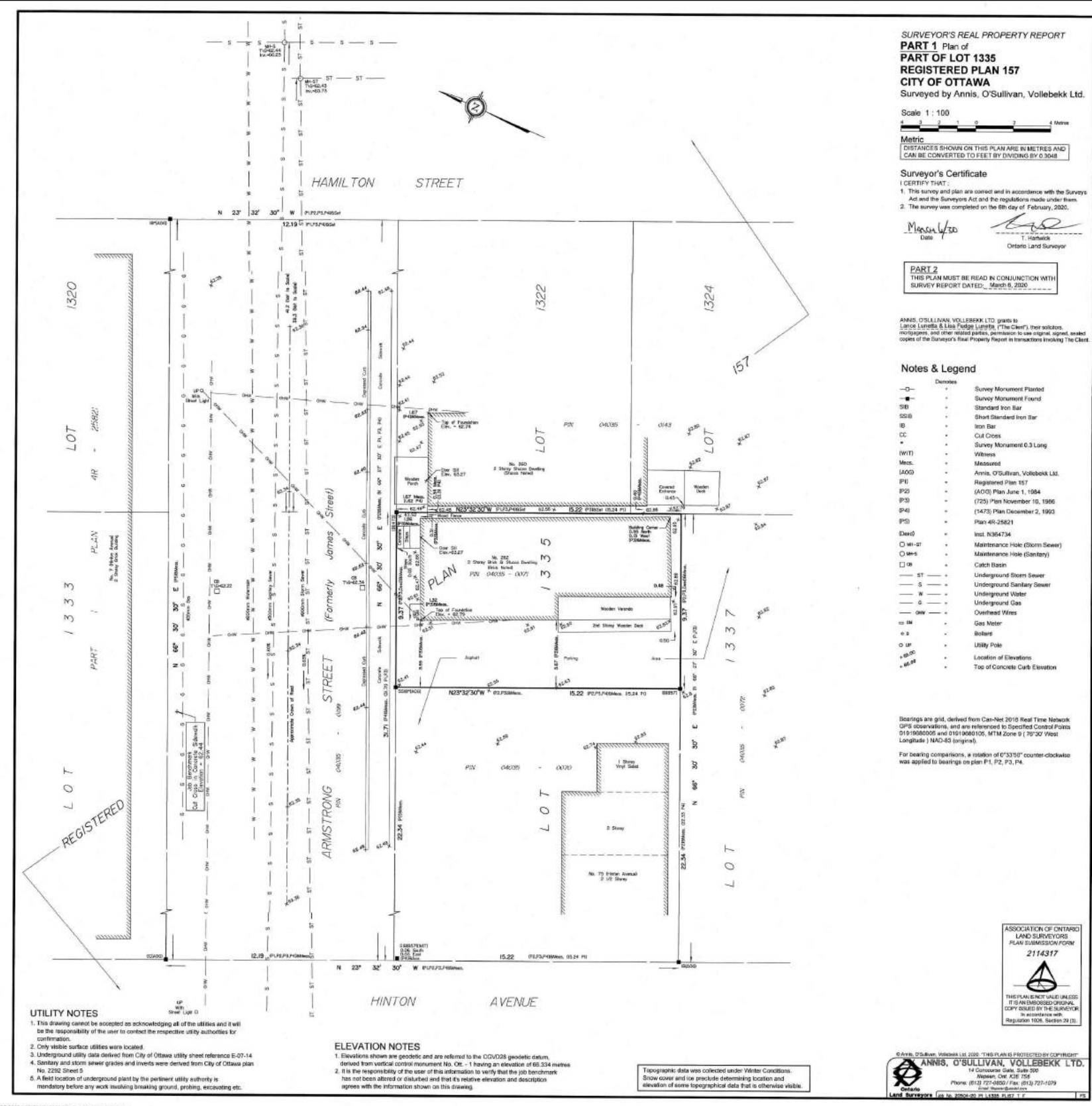
PLOT DATE: 22-12-16

PROJECT TITLE		
262 ARMSTRONG STREET		
12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:
**TOPOGRAPHIC
PLAN OF
SURVEY**

PROJECT No. :	
DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A21



SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOT 1335
REGISTERED PLAN 157
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.
Scale 1 : 100
Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Survey Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 6th day of February, 2020.
Marsal W. Vollebakk
Date
T. Horne
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: March 5, 2020

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to
Lance Loretta & Lisa Fudge Loretta ("The Client"), their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.

- Notes & Legend**
- Survey Monument Planted
 - Survey Monument Found
 - SIB— Standard Iron Bar
 - SCSB— Short Standard Iron Bar
 - IB— Iron Bar
 - CC— Cut Cross
 - *— Survey Monument 0.3 Long
 - (WIT)— Witness
 - Meas.— Measured
 - (AOG)— Annis, O'Sullivan, Vollebakk Ltd.
 - (P1)— Registered Plan 157
 - (P2)— (AOG) Plan June 1, 1984
 - (P3)— (725) Plan November 10, 1986
 - (P4)— (1475) Plan December 2, 1993
 - (P5)— Plan 48-25621
 - (Inst. N364734)—
 - (WH-2)— Maintenance Hole (Storm Sewer)
 - (O.H.S.)— Maintenance Hole (Sanitary)
 - (CB)— Catch Basin
 - (ST)— Underground Storm Sewer
 - (S)— Underground Sanitary Sewer
 - (W)— Underground Water
 - (G)— Underground Gas
 - (OW)— Overhead Wires
 - (M)— Gas Meter
 - (B)— Boiler
 - (UP)— Utility Pole
 - (Elev.)— Location of Elevations
 - (Top of Concrete Curb Elevation)—

Bearings are grid, derived from Can-Ned 2010 Real Time Network
GPS observations, and are referenced to Specified Control Points
D19-1068005 and D19-1068105, MTM Zone 9 (70°30' West
Longitude) (NAD-83 longitrd).

For bearing comparisons, a rotation of 0°33'00" counter-clockwise
was applied to bearings on plan P1, P2, P3, P4.



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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 200
Mississauga, ON L4R 1S8
Phone: (905) 721-8800 / Fax: (905) 721-1029
www.annisov.com

- UTILITY NOTES**
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - Only visible surface utilities were located.
 - Underground utility data derived from City of Ottawa utility sheet reference E-07-14
 - Sanitary and storm sewer grades and inverts were derived from City of Ottawa plan No. 2292 Sheet 0
 - A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
- ELEVATION NOTES**
- Elevations shown are geoids, and are referred to the CGVD28 geoid; datum derived from vertical control monument No. O6 - 1 having an elevation of 66.534 metres
 - It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agree with the information shown on this drawing.
- Topographic data was collected under Winter Conditions.
Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

TOPOGRAPHIC PLAN OF SURVEY

SCALE: N.T.S.



PAUL A. COOPER
ARCHITECT
75 CHAMBERLAIN AVE.
OTTAWA, ONTARIO
K1S 1V5
(819) 685 9512 Tel.

PROJECT TITLE

262
ARMSTRONG
STREET

12	PLANNING REV. 3	2022 12-16
#	REVISION	2020 XX-XX

DRAWING TITLE:

NEIGHBOUR
PHOTOS

PROJECT No. :

DATE:	20-06-19
SCALE:	NOTED
DWG BY:	P.A.C.

DWG No:
A22

12 HAMILTON REAR YARD PHOTO

PLOT DATE: 22-12-16