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INNOVATIVE ENGINEERING DESIGN & CONSTRUCTION FOR VALUE ENGINEERED PROJECT DELIVERY  
OCTOBER 25<sup>th</sup> 2022

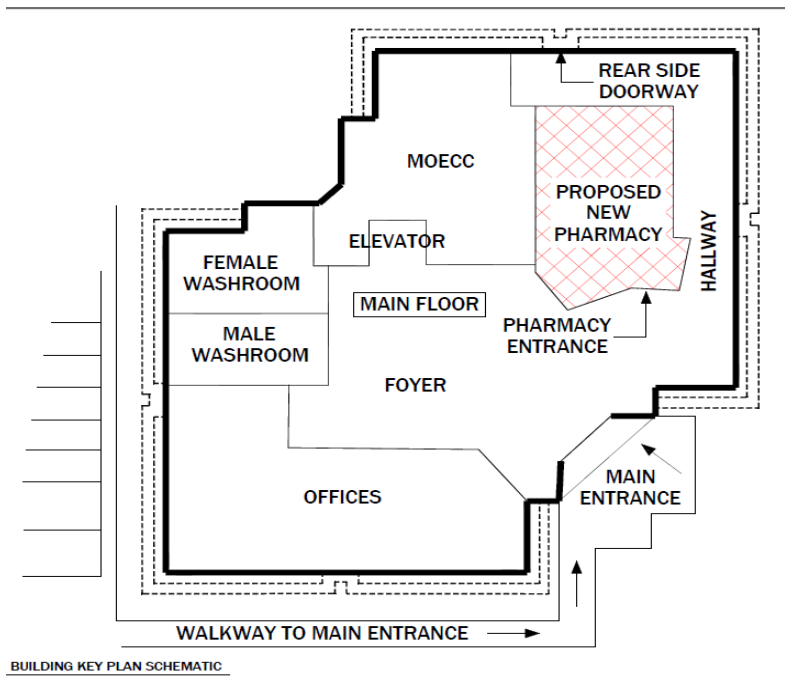
**RE: SITE SERVICING BRIEF/ASSESSMENT OF ADEQUACY OF PUBLIC SERVICES -  
2430 DON REID DRIVE, OTTAWA- MINOR ZONING AMENDMENT FOR  
PROPOSED ACCESSORY PHARMACY TO MEDICAL OFFICE  
PRE-CONSULTATION FILE # PC2022-0193**

Attn: Infrastructure Approvals  
Development Review – City of Ottawa

### **1.0 Introduction and Project Description**

The proposal is to convert a 768sf office space to a pharmacy which will serve as an accessory to existing medical offices. The space is located on the main floor of a 2-storey 25,000sf fully serviced commercial building.

The purpose of this servicing brief is to demonstrate that the proposed pharmacy has access to existing building services which is adequate and that its operations will not have any significant impact on this existing services. This is an interior renovation of an existing space which is 3% of the building floor area, it is not expected that a new SWM and erosion control design or fire water flow calculations will be necessary as there is no exterior component to the design.

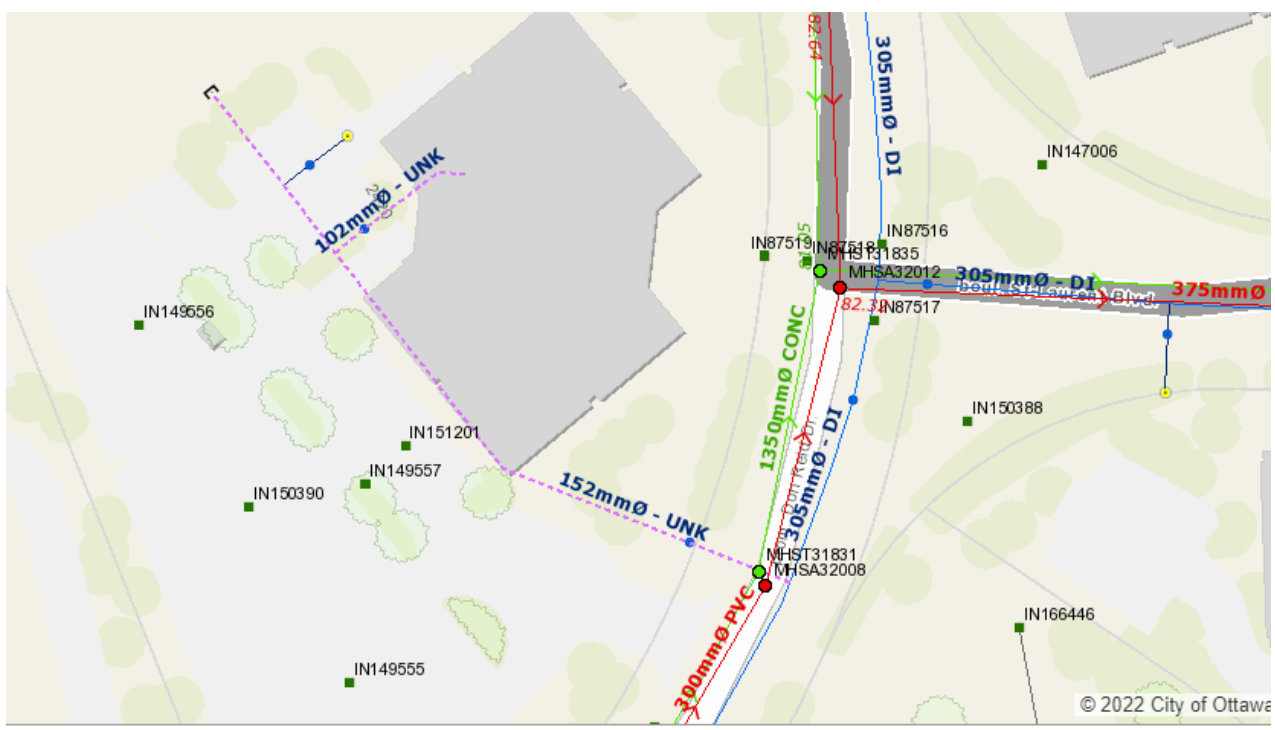


BUILDING KEY PLAN SCHEMATIC

Main Floor Key Plan (not-to-scale)

**Existing Conditions & Infrastructure**

The building is connected to City of Ottawa 305mmØ-DI watermain and 300mmØ PVC sanitary sewer both passing along the Don Reid drive.



As the project is limited to interior renovation of a existing space, the assessment for adequacy of services shall be based on the requirements of the Ontario Building Code 2012.

The existing male and female washrooms are in conformance to the requirements of the Ontario Building Code 2012 section 3.7.3.2 (plumbing fixtures, general) and section 7.1.41 (facilities required) for the occupant load 9.3 (offices, section 3.1.17.1).

It is established that the proposed accessory pharmacy shall not have more than three staff working, this is less than the estimated eight workers in the same space when it was used as offices.

## **2.0 Existing Sanitary Sewer**

The building is serviced by an existing 200mmØ sanitary sewer which connects to the municipal 305mmØ PVC sanitary sewer pipe along the Don Reid drive. The sanitary design criteria for commercial property is 17,000L/gross Ha/day and commercial peaking factor is 1.0, this building sanitary sewage system design is known to be in compliance to the design parameter.

The building's sanitary flow is expected to reduce or remain unchanged by the conversion of the space to a pharmacy.

Therefore the existing sanitary sewer system will remain as-is since no increase in flow is anticipated.

## **3.0 Water Supply**

The existing water supply to building is connected to the 305mmØ municipal watermain via a 150mmØ pipe. The building's water demand arising from the change-of-use from offices to pharmacy is expected to reduce or remain same due to the fact that pharmacy operations require less staff.

The commercial water supply design criteria and water demand is 28,000L/Ha/day and the maximum daily peaking factor is 1.5.

The existing water supply to the building is designed to this Ottawa Water Guideline criteria and is not expected to change since less water demand is anticipated by the change of use to pharmacy.

## **4.0 Fire protection**

An existing fire hydrant is located within the parking lot and another on Don Reid drive across the street from the parking lot, 70 meters from the building.

As earlier stated, there is no exterior components to this interior renovation design and no increase in water demand so the existing fire fighting requirements remains unchanged.

## **5.0 Stormwater Drainage**

The existing parking lot has a network of five catch basins connected to a municipal 1350mmØ concrete storm sewer on Don Reid drive. The building flat roof drains discharge to the catch basins via 150mm pvc pipes below grade. There is no exterior components to this interior renovation design and no increase in stormwater discharge so the existing stormwater management system remains unchanged.

## **Conclusion**

The existing building services and infrastructure stated in this report demonstrate the adequacy of the public services to accommodate the proposed space renovation for use a pharmacy.

Justin C. Enendu, P.Eng

