

2430 DON REID DRIVE, OTTAWA

PART OF MAIN FLOOR STRUCTURAL CHANGE-OF-USE RENOVATION

Notes:

Item	Ontario Building Code Matrix Change of Use / Part 11 - Renovation of Existing Buildings Matrix	OBC Reference
	Project Description: Part of 2nd floor change of use renovation	
1	Existing Building Classification	Building Area: 25,200 s.f (7,795 s.f to be renovated)
2		Change in Major Occupancy Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
3	TABLE 3.1.17.1 Occupancy Load (business & personal services - offices) = 9.3/sq.m 1/ # of existing offices = 1 2/ # of new offices = 1 3/ # of non-occupies rooms (i.e. counselling rm, virtual rm etc) = 21 TABLE 3.7.4.7 1/ Existing offices = 17 Req'd number of WC each sex 10-to-24 = 2 2/ New offices = 1 Req'd number of WC each sex 10-to-24 = 1 Existing Number of Water Closets: West side of floor = 3 male & 3 female East side of floor = 3 male & 3 female	Existing Use Describe Use: Offices (business, law, e.t.c) Building Size: Large Hazard Index: 5 Proposed Use Pharmacy Building Size: Large Hazard Index: 5 Construction Index: 6 Hazard Index: 5
4		Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster
5	Alteration to Existing Building is:	Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>
6	Reduction in Performance Level	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By increase in occupancy load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By change in major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)
7	Compensating Construction	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By increase in occupancy load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By change in major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)
8	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))

PROPERTY INFORMATION

- ZONING: IL (LIGHT INDUSTRIAL)
- BUILDING YEAR OF CONSTRUCTION = 1982
- EXISTING PARKING SPACES = 123
- NUMBER OF FLOORS = 2
- TOTAL FLOOR AREA = 25,200 S.F.
- AREA TO BE RENOVATED = 768 S.F.
- PARKING ALLOCATED FOR PHARMACY = 3 (REQUIRED = 4 PER 100 sq.m GFA MEDICAL FACILITY)

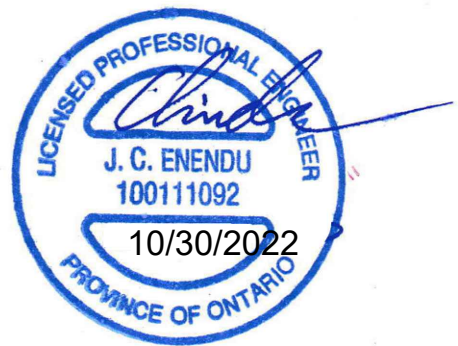
DRAWING LIST

1. ARCHITECTURAL

- A0 - General Notes: 1 of 6
- A1 - Existing Site Plan: 2 of 6
- A2 - Building Key Plan: 3 of 6
- A3 - Existing/Demo Floor Plan: 4 of 6
- A4 - Proposed Floor Plan: 5 of 6

2. ELECTRICAL & MECHANICAL

- A5 - Electrical & Plumbing Schematic: 6 of 6



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1	REVISION	05/14/2022
REV:	DESCRIPTION:	DATE:
STATUS:	BY:	DATE:

PROJECT:
STRUCTURAL CHANGE OF USE RENOVATION

CLIENT:

ENGINEER: **ROCKVILLE ENG INC**
323 COVENTRY RD, UNIT 7
OTTAWA
K1K 3X6

SITE: 2430 DON REID DRIVE
OTTAWA, ON

TITLE: MAIN FLOOR PHARMACY

DATE: 10/30/2022	DESIGNED: CE	DRAWN: NE	CHECKED: CE
SCALE: N.T.S.	DRAWING NO: A0	SHEET: 1 of 6	

PLANT LIST


SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TC	TILIA CORDATA 'GLENLEVEN'	GLENLEVEN LINDEN	24	80 CAL.	B&B
FP	FRAXINUS PENNSYLVANICA LANCEOLATA	GREEN ASH	8	70 CAL.	B&B
GT	GLEDITSIA TRICANTHOS 'SHADEMASTER'	SHADEMASTER HONEY-LOCUST	8	80 CAL.	B&B
PN	PINUS NIGRA	AUSTRIAN PINE	26	2000 HT.	B&B
PP	PICEA PUNGENS	COLORADO GREEN SPRUCE	9	"	B&B
AC	ABIES CONCOLOR	WHITE FIR	16	"	B&B
AC1	ABIES CONCOLOR	WHITE FIR	2	3000 HT.	B&B
AM	AMBROSIA CANADENSIS	DOWNY SERVICEBERRY	10	1200 HT.	W&B/B&B
PC	PRUNUS CISTENA	PURPLELEAF SAND CHERRY	62	1000 HT.	POTTED
PP	BITENTILLA FRUTICOSA 'RED ACE'	RED ACE CINQUEFOIL	106	500 HT.	POTTED
LM	LOHICERA MORROWII	MORROW HONEYSUCKLE	102	600 HT.	POTTED
JS	JUNIPERUS SABINA	SWIN JUNPER	40	600 HPE.	B&B
VL	VIBURNUM LENTAGO	NANNYBERRY	24	750 HT.	POTTED
CA	CORNUS ALBA 'SPASMI'	YELLOWLEDGE DOGWOOD	8	600 HT.	"
SE	SPIRAEA BAMALPA 'PROBENI'	PROBEN'S SPIRBA	28	500 HT.	"
W	POPULUS TREMULOIDES	TREMBLING ASPEN (WHIPS)	18	1200 HT.	POTTED

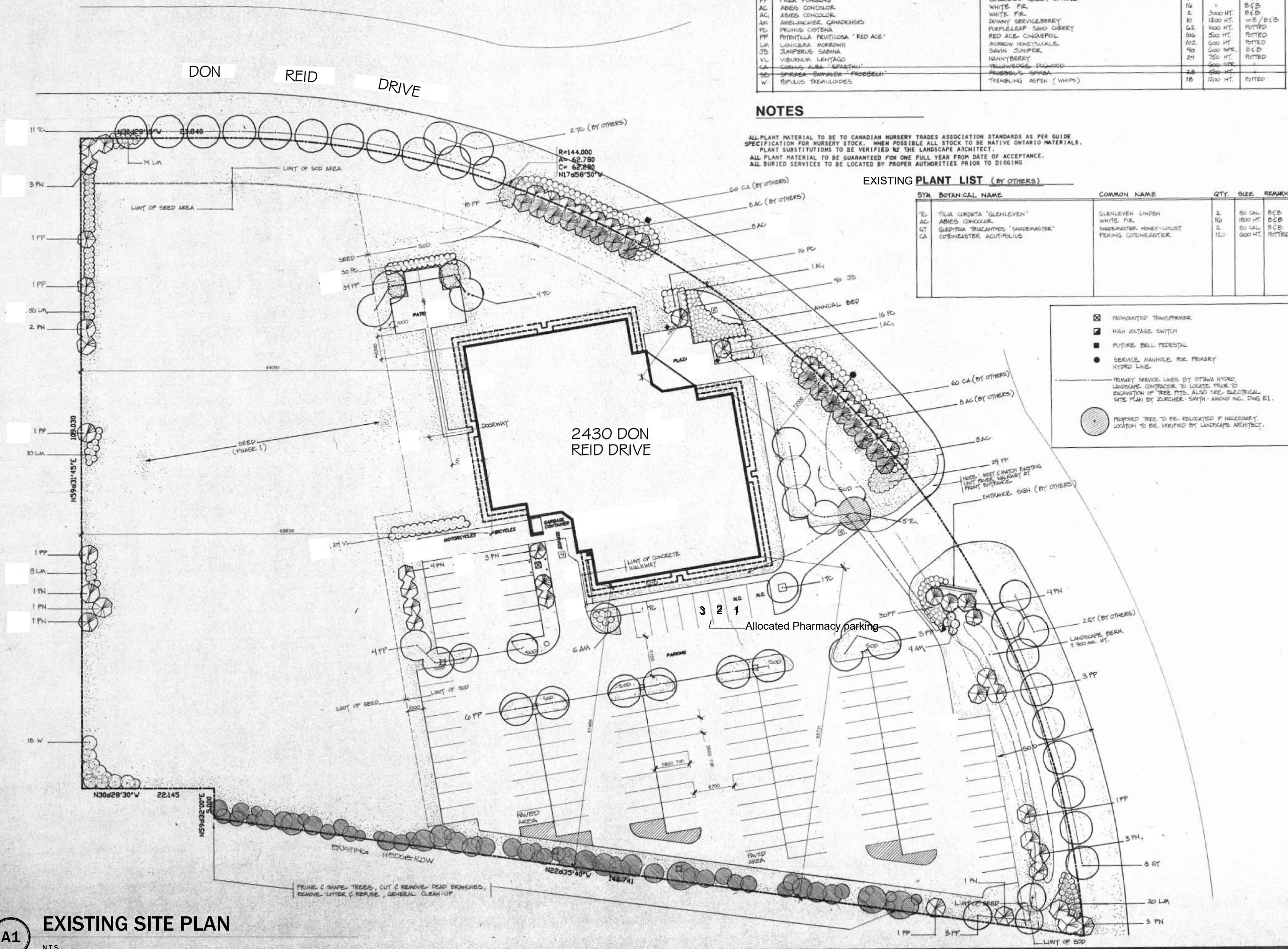
NOTES

ALL PLANT MATERIAL TO BE TO CANADIAN NURSERY TRADES ASSOCIATION STANDARDS AS PER GUIDE SPECIFICATION FOR NURSERY STOCK. WHEN POSSIBLE ALL STOCK TO BE NATIVE ONTARIO MATERIALS. PLANT SUBSTITUTIONS TO BE VERIFIED BY THE LANDSCAPE ARCHITECT.
 ALL PLANT MATERIAL TO BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE.
 ALL BURIED SERVICES TO BE LOCATED BY PROPER AUTHORITIES PRIOR TO DIGGING

EXISTING PLANT LIST (BY OTHERS)

SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TC	TILIA CORDATA 'GLENLEVEN'	GLENLEVEN LINDEN	2	80 CAL.	B&B
AC	ABIES CONCOLOR	WHITE FIR	16	1000 HT.	B&B
GT	GLEDITSIA TRICANTHOS 'SHADEMASTER'	SHADEMASTER HONEY-LOCUST	2	80 CAL.	B&B
CA	COTONEASTER ACUTIFOLIUS	PEKING COTONEASTER	12	600 HT.	POTTED

- FASHIONED TRANSFORMER
- HIGH VOLTAGE SWITCH
- FUTURE BELL PEDESTAL
- SERVICE MANHOLE FOR PRIMARY HYDRO LINE
- PRIMARY SERVICE LINES BY OTTAWA HYDRO. LANDSCAPE CONTRACTOR TO LOCATE PRIOR TO EXCAVATION OF TREE PITS. ALSO SEE ELECTRICAL SITE PLAN BY ZURCHER-SMITH AND CO. INC. DWG. E1.
-  PROPOSED TREE TO BE RELOCATED IF NECESSARY. LOCATION TO BE VERIFIED BY LANDSCAPE ARCHITECT.



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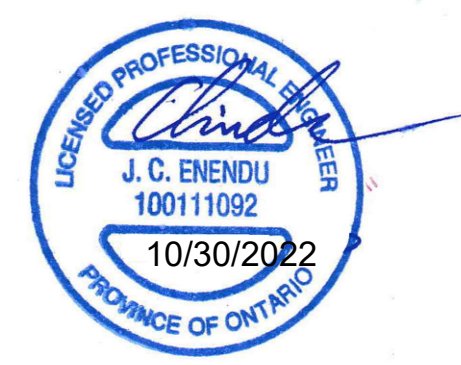
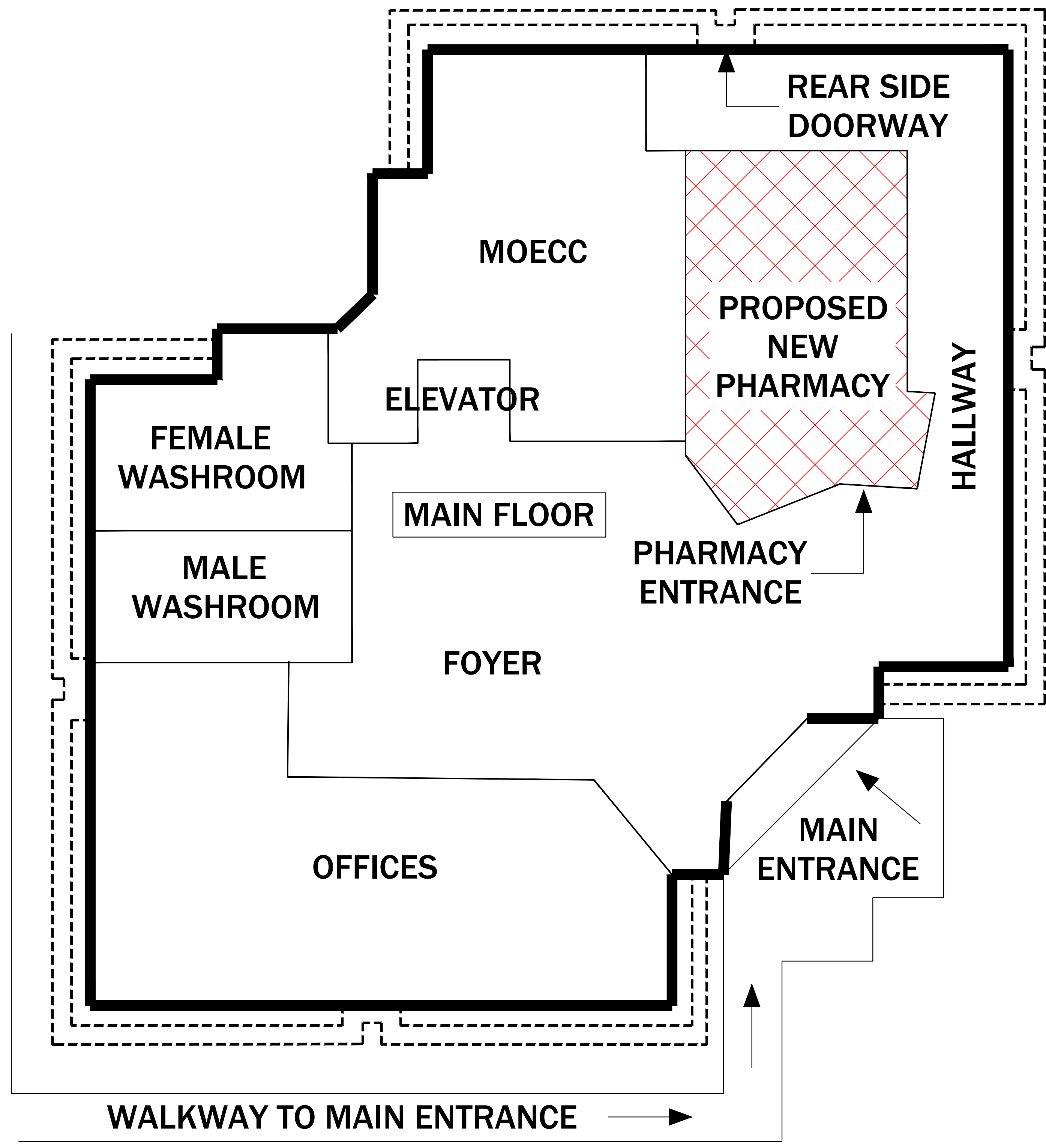
PROJECT:
CHANGE OF USE RENOVATION

CLIENT:
ENGINEER: **ROCKVILLE ENG INC**
323 COVENTRY RD, UNIT 7
OTTAWA
K1K 3X6

SITE: **2430 DON REID DRIVE**
OTTAWA, ON

TITLE: **EXISTING SITE PLAN**

DATE: 10/30/2022	DESIGNED: CE	DRAWN: NE	CHECKED: CE
SCALE: N.T.S.	DRAWING NO: A1	SHEET: 2 of 6	



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PROJECT:
STRUCTURAL CHANGE OF USE RENOVATION

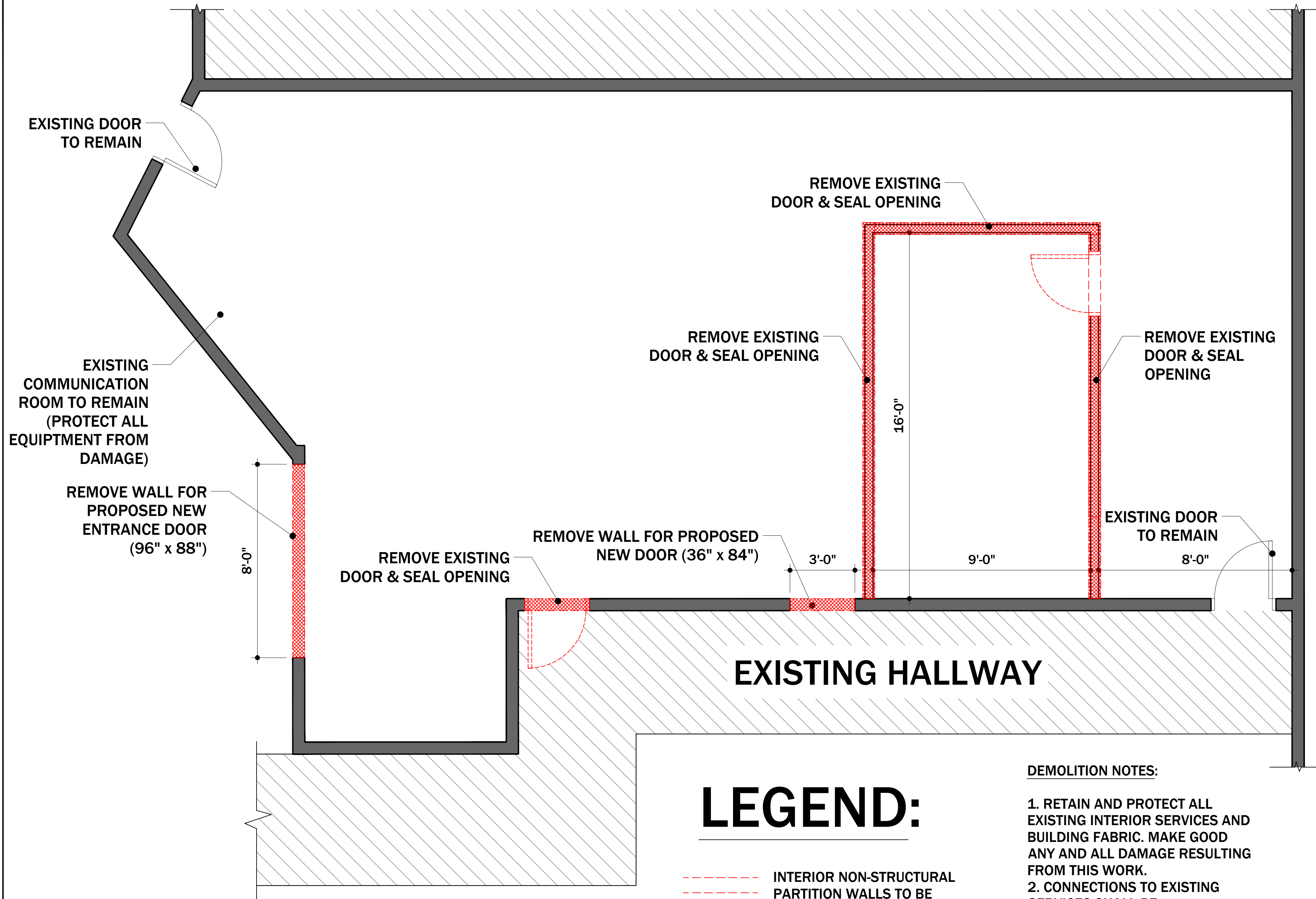
CLIENT:

ENGINEER: ROCKVILLE ENG INC
323 COVENTRY RD, UNIT 7
OTTAWA
K1K 3X6

SITE: 2430 DON REID DRIVE
OTTAWA, ON

TITLE: BUILDING KEY PLAN SCHEMATIC

DATE:	DESIGNED:	DRAWN:	CHECKED:
10/30/2022	CE	NE	CE
SCALE:	DRAWING NO:	SHEET:	
N.T.S.	A2	3 of 6	

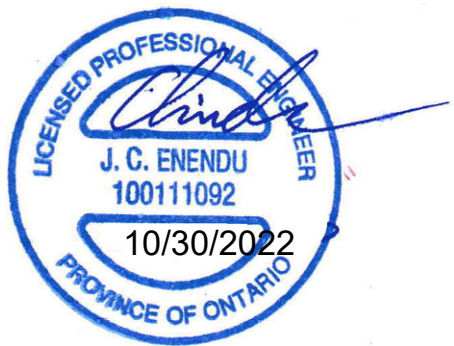


LEGEND:

- - - - - INTERIOR NON-STRUCTURAL PARTITION WALLS TO BE DEMOLISHED
- INTERIOR PARTITION WALLS TO REMAIN

DEMOLITION NOTES:

1. RETAIN AND PROTECT ALL EXISTING INTERIOR SERVICES AND BUILDING FABRIC. MAKE GOOD ANY AND ALL DAMAGE RESULTING FROM THIS WORK.
2. CONNECTIONS TO EXISTING SERVICES SHALL BE COORDINATED WITH THE OWNER.
3. EXECUTE WORK WITH LEAST POSSIBLE INTERFERENCE OR DISTURBANCE TO NORMAL USE OF THE EXISTING BUILDING.
4. DISCONNECT ALL ELECTRICAL OUTLETS PRIOR TO DEMOLITION



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REVISION	DESCRIPTION	DATE

PROJECT: STRUCTURAL CHANGE OF USE RENOVATION

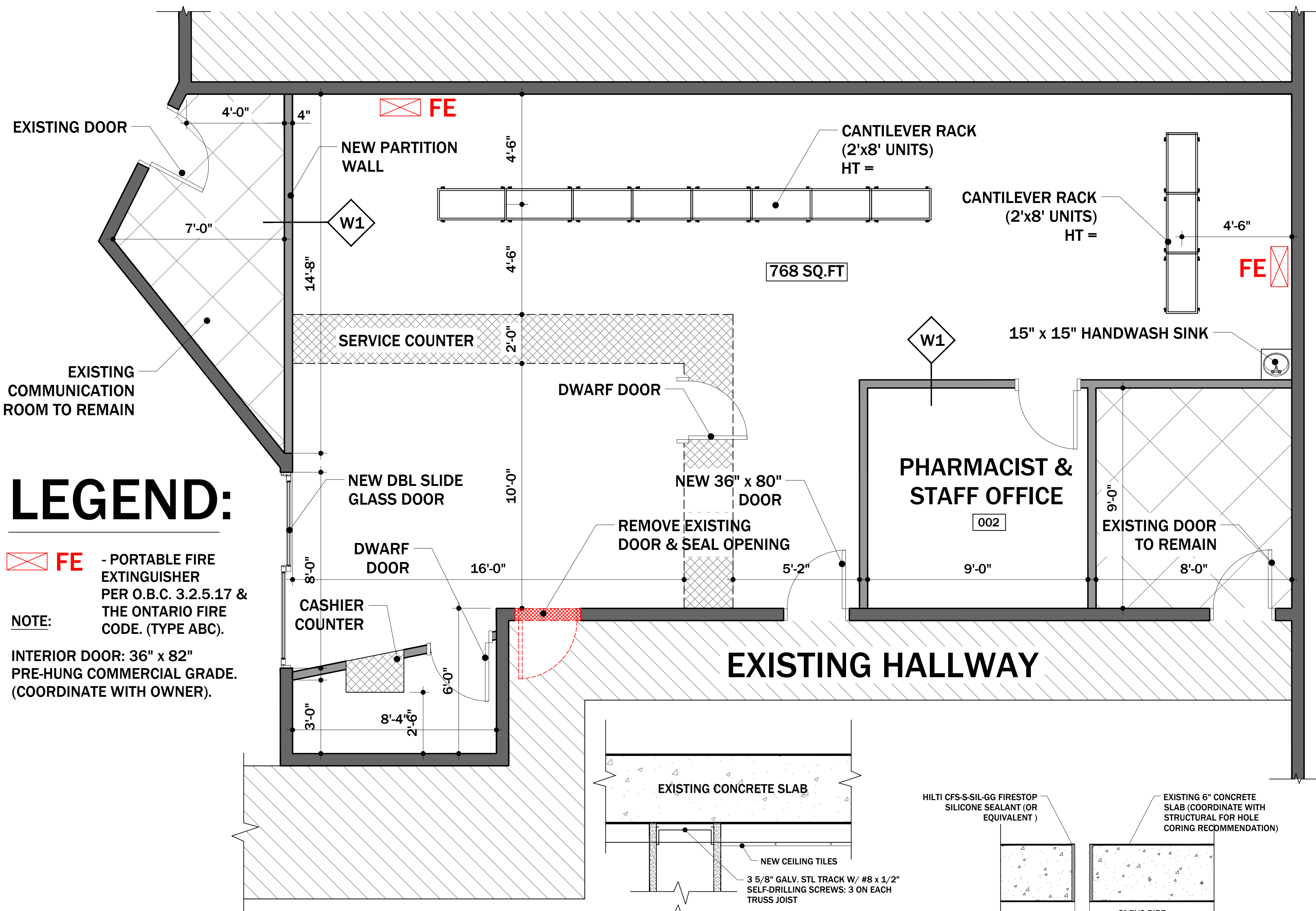
CLIENT:

ENGINEER: ROCKVILLE ENG INC
323 COVENTRY RD, UNIT 7
OTTAWA
K1K 3K6

SITE: 2430 DON REID DRIVE
OTTAWA, ON

TITLE: PHARMACY DEMOLITION FLOOR PLAN

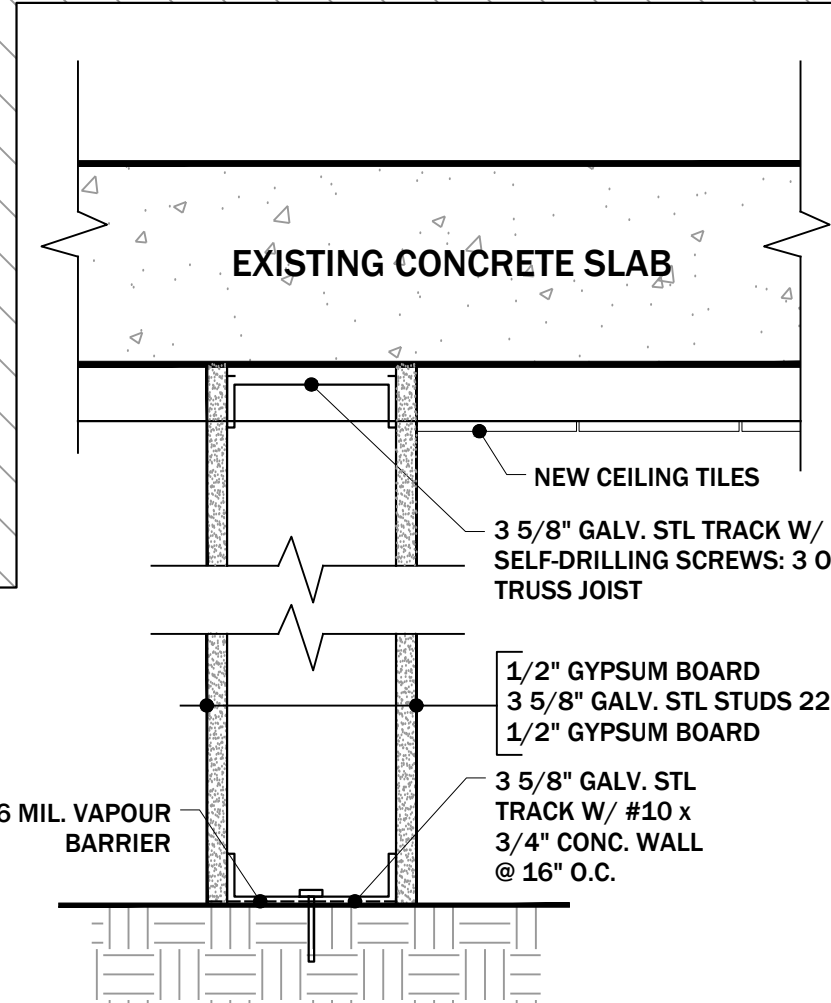
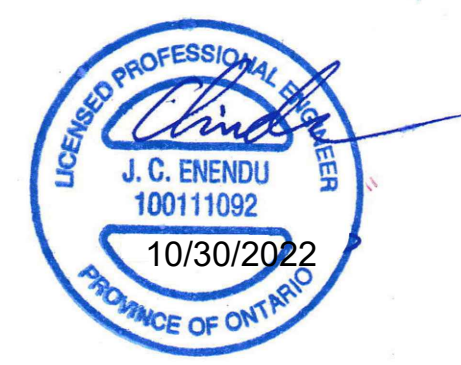
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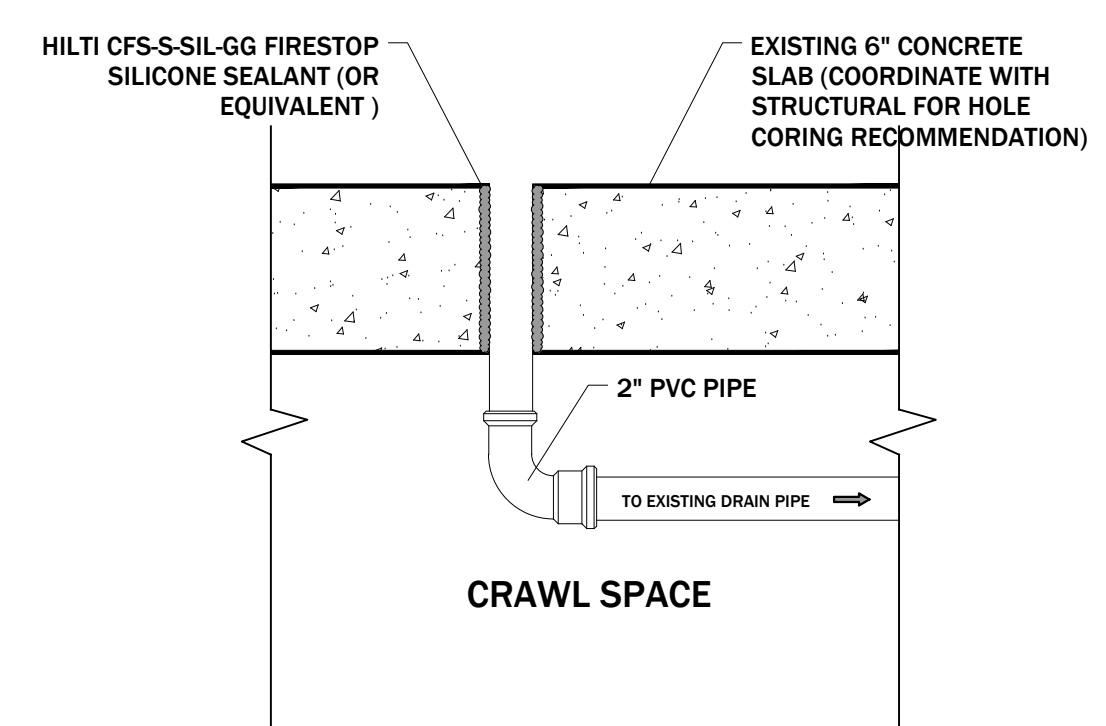
LEGEND:

FE - PORTABLE FIRE EXTINGUISHER PER O.B.C. 3.2.5.17 & THE ONTARIO FIRE CODE. (TYPE ABC).

NOTE:
 INTERIOR DOOR: 36" x 82" PRE-HUNG COMMERCIAL GRADE. (COORDINATE WITH OWNER).



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A4 PARTITION WALL DETAIL
 SCALE: N.T.S.



2
A4 HANDWASH SINK WASTE PIPE DETAIL
 SCALE: N.T.S.

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STRUCTURAL CHANGE OF USE RENOVATION

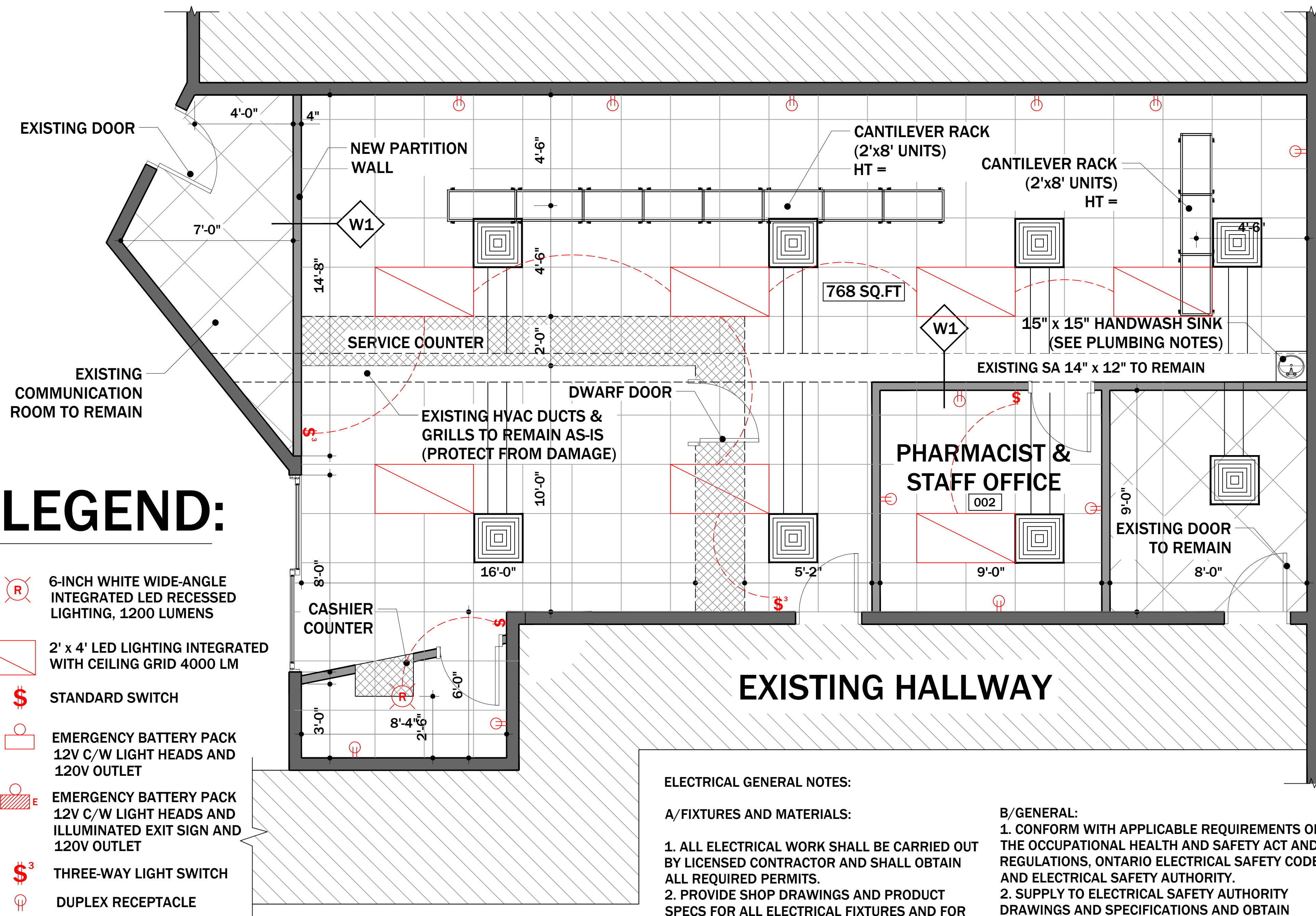
CLIENT:

ENGINEER: **ROCKVILLE ENG INC**
 323 COVENTRY RD, UNIT 7
 OTTAWA
 K1K 3X6








SITE: **2430 DON REID DRIVE OTTAWA, ON**

TITLE: **PROPOSED PHARMACY FLOOR PLAN**

DATE: 10/30/2022	DESIGNED: CE	DRAWN: NE	CHECKED: CE
SCALE: 1/4" = 1'-0"	DRAWING NO: A4	SHEET: 5 of 6	



LEGEND:

-  6-INCH WHITE WIDE-ANGLE INTEGRATED LED RECESSED LIGHTING, 1200 LUMENS
-  2' x 4' LED LIGHTING INTEGRATED WITH CEILING GRID 4000 LM
-  STANDARD SWITCH
-  EMERGENCY BATTERY PACK 12V C/W LIGHT HEADS AND 120V OUTLET
-  EMERGENCY BATTERY PACK 12V C/W LIGHT HEADS AND ILLUMINATED EXIT SIGN AND 120V OUTLET
-  THREE-WAY LIGHT SWITCH
-  DUPLEX RECEPTACLE

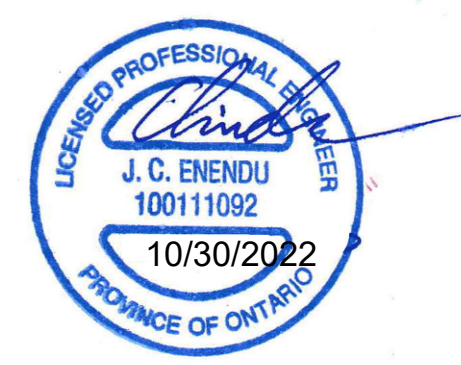
ELECTRICAL GENERAL NOTES:

A/FIXTURES AND MATERIALS:

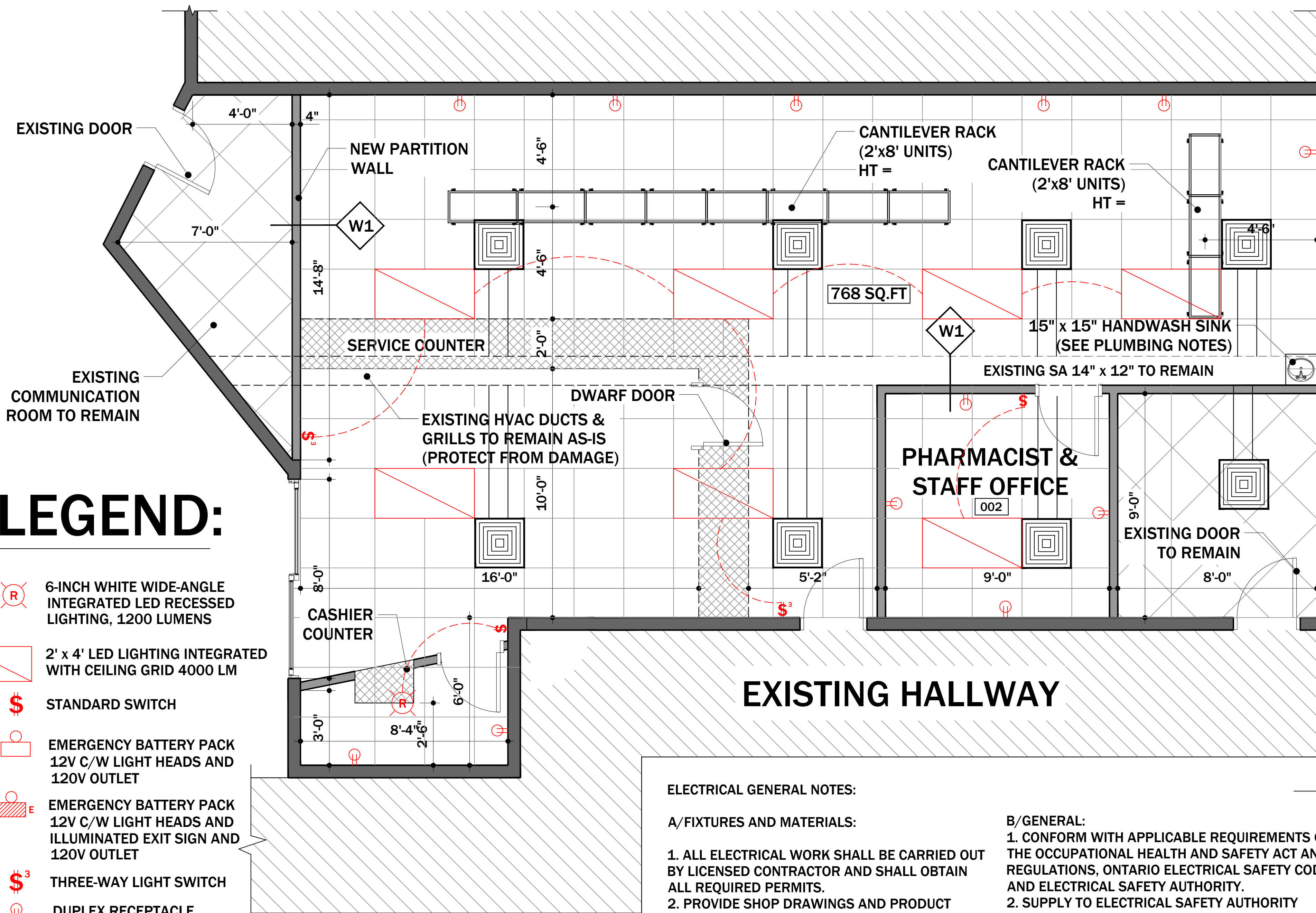
1. ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY LICENSED CONTRACTOR AND SHALL OBTAIN ALL REQUIRED PERMITS.
2. PROVIDE SHOP DRAWINGS AND PRODUCT SPECS FOR ALL ELECTRICAL FIXTURES AND FOR OWNER APPROVAL.
3. INSTALL ALL ELECTRICAL FIXTURES AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
3. FIXTURES AND MATERIALS TO BE CSA CERTIFIED, OR OBTAIN SPECIAL APPROVAL FROM ELECTRICAL SAFETY AUTHORITY.

B/GENERAL:








1. CONFORM WITH APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS, ONTARIO ELECTRICAL SAFETY CODE AND ELECTRICAL SAFETY AUTHORITY.
2. SUPPLY TO ELECTRICAL SAFETY AUTHORITY DRAWINGS AND SPECIFICATIONS AND OBTAIN REQUIRED PERMIT PRIOR TO COMMENCEMENT OF WORK.



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1	REVISION		05/14/2022
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CLIENT:			
ENGINEER: ROCKVILLE ENG INC 323 COVENTRY RD, UNIT 7 OTTAWA K1K 3X6			
SITE: 2430 DON REID DRIVE OTTAWA, ON			
TITLE: ELECTRICAL & PLUMBING SCHEMATIC			
DATE: 10/30/2022	DESIGNED: CE	DRAWN: NE	CHECKED: CE
SCALE: 1/4" = 1'-0"	DRAWING NO: A5	SHEET: 6 of 6	



LEGEND:

-  6-INCH WHITE WIDE-ANGLE INTEGRATED LED RECESSED LIGHTING, 1200 LUMENS
-  2' x 4' LED LIGHTING INTEGRATED WITH CEILING GRID 4000 LM
-  STANDARD SWITCH
-  EMERGENCY BATTERY PACK 12V C/W LIGHT HEADS AND 120V OUTLET
-  EMERGENCY BATTERY PACK 12V C/W LIGHT HEADS AND ILLUMINATED EXIT SIGN AND 120V OUTLET
-  THREE-WAY LIGHT SWITCH
-  DUPLEX RECEPTACLE

ELECTRICAL GENERAL NOTES:

A/FIXTURES AND MATERIALS:

1. ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY LICENSED CONTRACTOR AND SHALL OBTAIN ALL REQUIRED PERMITS.
2. PROVIDE SHOP DRAWINGS AND PRODUCT SPECS FOR ALL ELECTRICAL FIXTURES AND FOR OWNER APPROVAL.
3. INSTALL ALL ELECTRICAL FIXTURES AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
3. FIXTURES AND MATERIALS TO BE CSA CERTIFIED, OR OBTAIN SPECIAL APPROVAL FROM ELECTRICAL SAFETY AUTHORITY.

B/GENERAL:

1. CONFORM WITH APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS, ONTARIO ELECTRICAL SAFETY CODE AND ELECTRICAL SAFETY AUTHORITY.
2. SUPPLY TO ELECTRICAL SAFETY AUTHORITY DRAWINGS AND SPECIFICATIONS AND OBTAIN REQUIRED PERMIT PRIOR TO COMMENCEMENT OF WORK.

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	DESCRIPTION		DATE
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	STATUS:		
PROJECT:			
STRUCTURAL CHANGE OF USE RENOVATION			
CLIENT:			
ENGINEER: ROCKVILLE ENG INC 323 COVENTRY RD, UNIT 7 OTTAWA K1K 3X6			
SITE: 2430 DON REID DRIVE OTTAWA, ON			
TITLE: ELECTRICAL & PLUMBING SCHEMATIC			
DATE: 10/30/2022	DESIGNED: CE	DRAWN: NE	CHECKED: CE
SCALE: 1/4" = 1'-0"	DRAWING NO: A5	SHEET: 6 of 6	