

BASELINE AVENUE

SITE STATISTICS:

ZONING CHARACTERISTICS:

PROPOSED: R4.1D  
LEGAL DESCRIPTION:  
NO. 222, LOT 72 - REGISTERED PLAN 576, PIN 04085-0001

PHYSICAL CHARACTERISTICS (PART 1, 5R-13215):

LOT WIDTH: 75'-10 1/2" [23.13 m]  
LOT DEPTH: 92'-0" [28.04 m]  
LOT AREA: 7448.31 FT<sup>2</sup> [691.78 m<sup>2</sup>]  
PROP. LOT COVER: 4140.69 FT<sup>2</sup> [384.68 m<sup>2</sup>] / 55.01%

SUBZONE PROVISIONS (T.162 R4, UNLESS NOTED):

SUBZONE: R4.1D  
DWELLING TYPE: LOW-RISE APARTMENT (0, OR MORE UNITS)  
MIN. LOT WIDTH: 49'-2 1/2" [15.0 m]  
MIN. LOT AREA: 4843.76 FT<sup>2</sup> [450.0 m<sup>2</sup>]  
REQD. FRONT YARD: 14'-9" [4.50 m]  
REQD. CORNER S/Y: 14'-9" [4.50 m]  
REQD. INTERIOR S/Y: 5'-0" [1.50 m]  
REQD. REAR YARD: 4'-0" [1.20 m] | S.144 (4)(6)(8)  
\*REQD. INT. YARD W: 25'-0" [7.63 m] | S.144 (6), 1/2 LOT WIDTH  
\*REQD. INT. YARD D: 25'-9" [7.85 m] | T.144B(8), | ABUTTING  
BUILDING HEIGHT: 47'-7" [14.50 m]

PERMITTED PROJECTIONS (S. 65 OF BY-LAW 2008-250):

REAR BALCONIES: N/A  
FRONT BALCONIES: 50% OF LEXINGTON, 50% OF BASELINE;  
CANOPIES: SAME AS ABOVE, BUT 1-0.6 m

LANDSCAPING PROVISIONS:

WALKWAYS: 6'-0" [1.80 m] | S.109(3)(b)  
DRIVEWAYS: 9'-10" [3.00 m] | S.139(2)(c)  
...BUFFERED BY 4'-0" [1.20 m]

BIKE PARKING SPACE RATES  
NO. REQUIRED: 8 STALLS (0.5 / UNIT) | T.111A, ROW (a)  
...SIZED AT 2'-0" [0.6 m] W x 6'-0" [1.8 m] | T.111B, ROW (a)

ACCESSORY USE PROVISIONS:

ROOFTOP TERRACE:  
...(< 4 STORIES): 5'-0" [1.50 m] | T.55(8)(a)

OPAQUE SCREEN REQD @ REAR YARD & INTERIOR S/Y (+1.5 m)

ADDITIONAL NOTES:

CORNER SIGHT TRIANGLE TO BE DETERMINED BY ZONING PLAN EXAMINER, OR PLANNING OFFICIAL; 6.0 m SHOWN AS PLACEHOLDER.

FOOTNOTES:

[1] LOT WIDTH, AS TAKEN FROM REQUIRED FRONT YARD SETBACK AT RIGHT ANGLES FROM INNER LOT LINE TO INNER LOT LINE.

GRAPHIC LEGEND:

ZONING ENVELOPE  
HIDDEN ABOVE / BELOW  
PROPERTY LINE  
SETBACK / EASEMENT LINE  
FENCE LINE  
OVERHEAD WIRES



VAPIA ARCHITECTURE: DRAFTING & DESIGN INC.

14 RUE DE SÉTO (APT. 11)  
MONTREAL, QC  
H3H 4E9  
438-1877@vapia.ca  
514-552-9973

CLIENT:

GENERAL NOTES:

DO NOT SCALE THESE DRAWINGS.  
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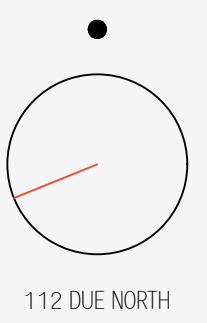
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REVISIONS:

Table with 3 columns: NO., DESCRIPTION, DATE. Row 1: 1 ISSUED FOR INTERNAL REVIEW APR/18/2022. Row 2: 2 V2 LAYOUTS, POST-PRECON JUN / 20 / 2022

NORTH ARROW:



PROJECT TITLE:

LOW-RISE MULTI-UNIT RESIDENCE PROPOSAL: 222 BASELINE RD, OTTAWA, ON, K2C 0A2

DRAWING NAME: ARCHITECTURAL SITE PLAN: (ZONING + STATISTICS)

DRAWN BY: CORY DUBEAU

REVIEWED BY: N/A

SCALE: 3/16" = 1'-0" SHEET NUMBER

PROJECT NO.: 0029 A100a

NO. 222:  
PROPOSED FOUR-STOREY, LOW-RISE MULTI-UNIT RESIDENTIAL DWELLING (9 UNITS, OR MORE); 4140.69 FT<sup>2</sup> [384.68 m<sup>2</sup>]

REGISTERED PLAN 576  
PIN 04085-0001



PROPOSED SITE PLAN DERIVED FROM COORDINATES GENERATED BY STANTEC GEOMATICS, LTD. PROJECT NO. USED: 161614544-111.

PROJECT DIR: C:\Users\coryd\OneDrive\Documents\OnDrive - Vapia Architecture Drafting & Design\1. Vapia Architecture\09 - Home, 222 Baseline Ave\04\222-Baseline-Proposing ARCH-EXPAND D (86.00 x 24.00 INCHES) PLOTTED: November 24, 2022 11:35:02 AM

CLIENT:

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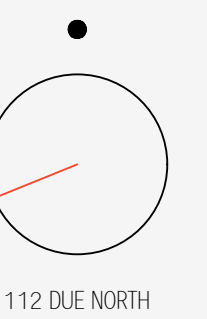
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NORTH ARROW:



PROJECT TITLE:

LOW-RISE MULTI-UNIT  
RESIDENCE PROPOSAL: 222  
BASELINE RD, OTTAWA, ON,  
K2C 0A2

DRAWING NAME:  
BASEMENT LEVEL:  
(SCHEMATIC LAYOUT)

DRAWN BY: CORY DUBEAU

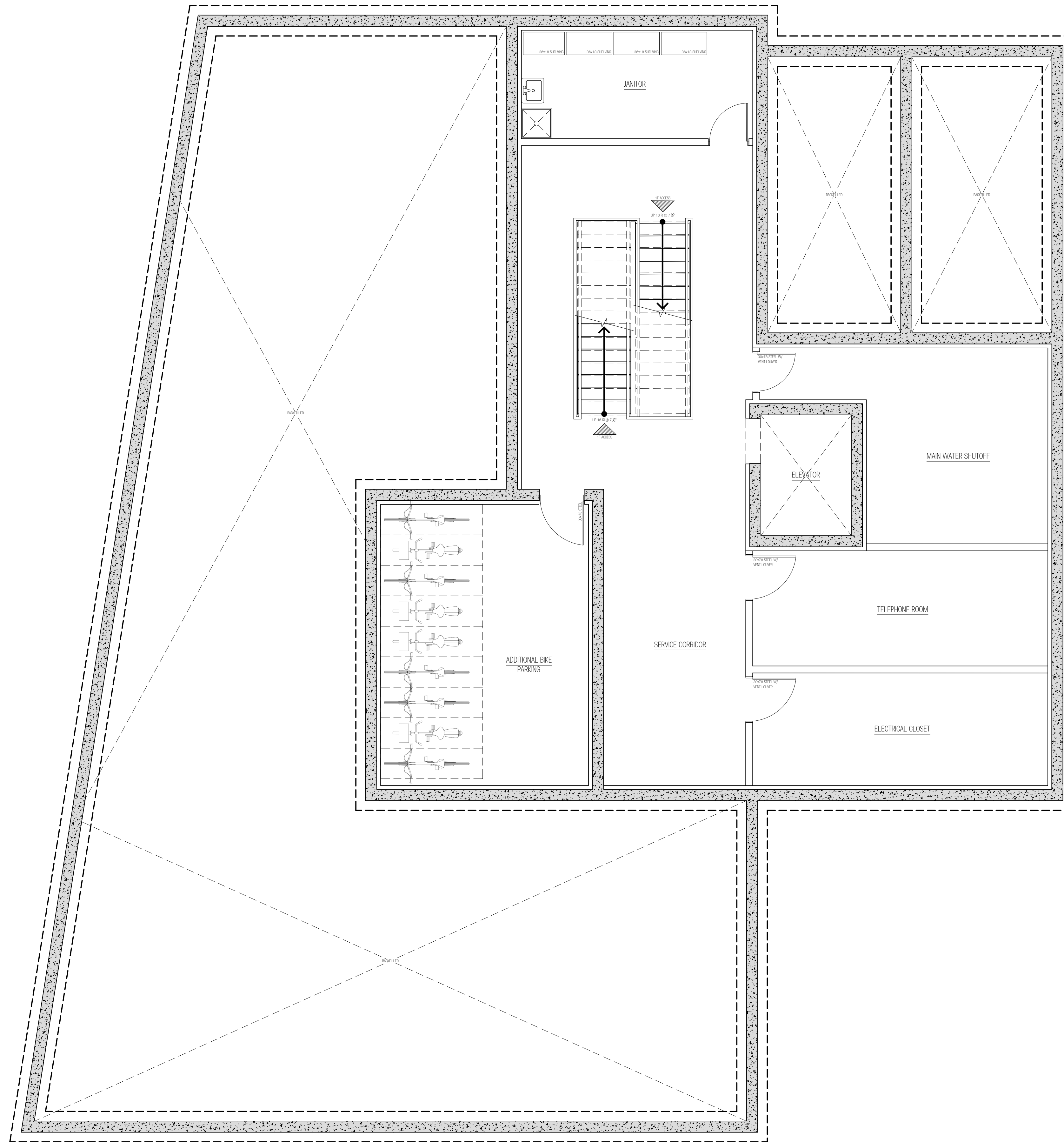
REVIEWED BY: N/A

SCALE: 1/4" = 1'-0"

PROJECT NO: 0029

SHEET NUMBER:

A101





CLIENT:

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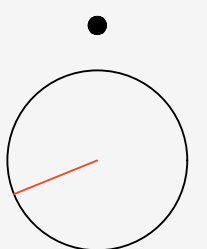
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NORTH ARROW:



112 DUE NORTH

PROJECT TITLE:

LOW-RISE MULTI-UNIT  
RESIDENCE PROPOSAL: 222  
BASELINE RD, OTTAWA, ON,  
K2C 0A2

DRAWING NAME:  
GROUND FLOOR  
(SCHEMATIC LAYOUT)

DRAWN BY: CORY DUBEAU

REVIEWED BY: N/A

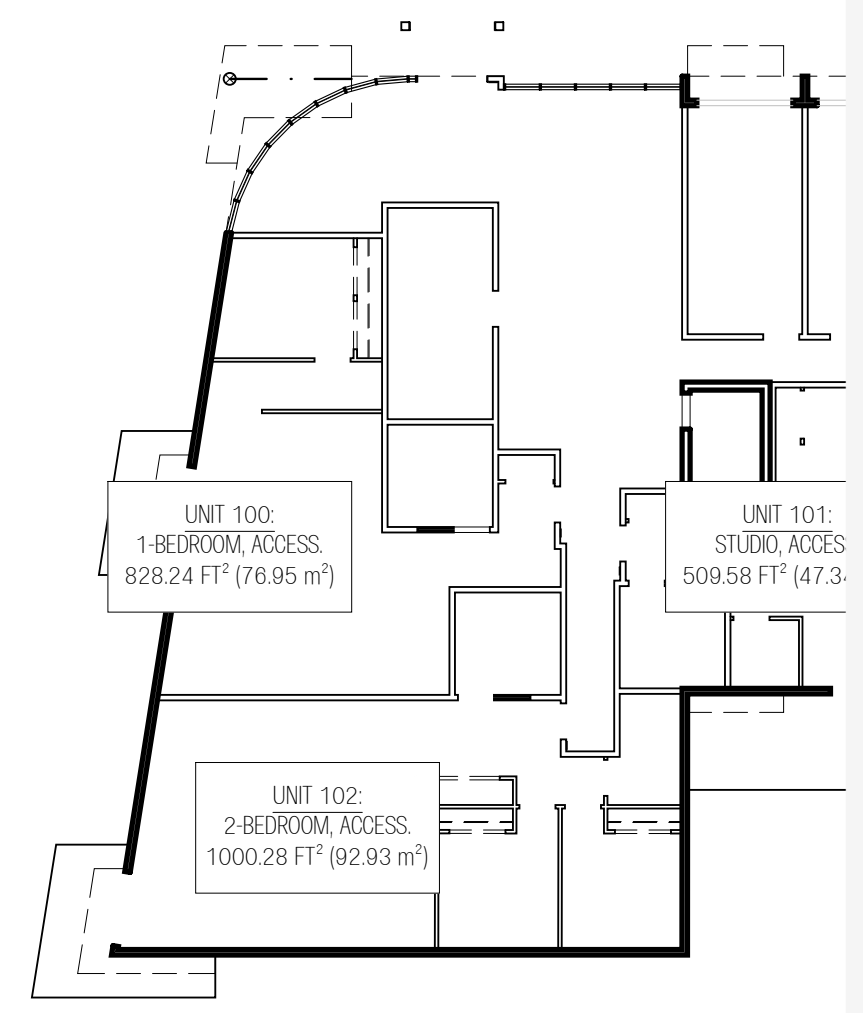
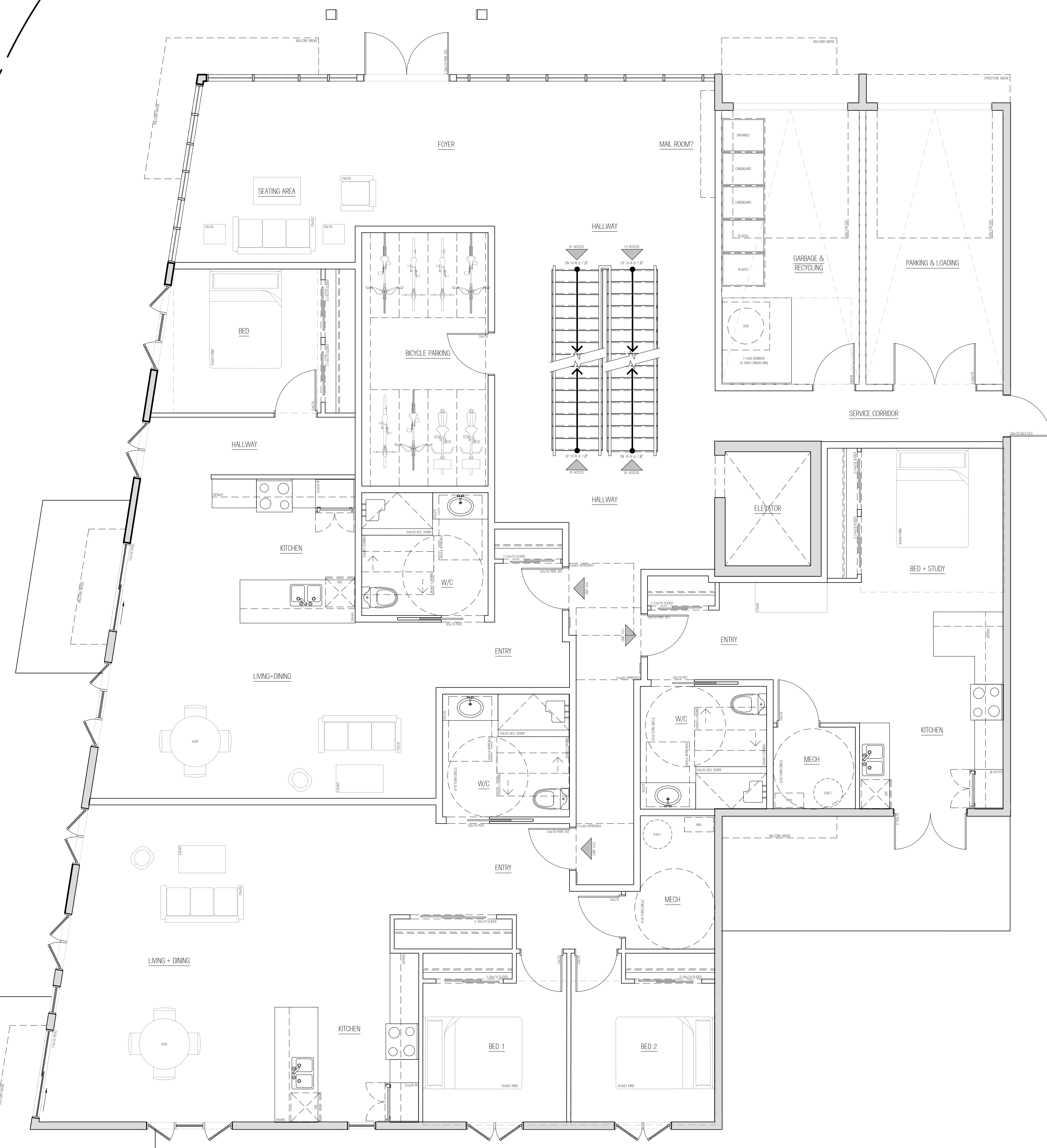
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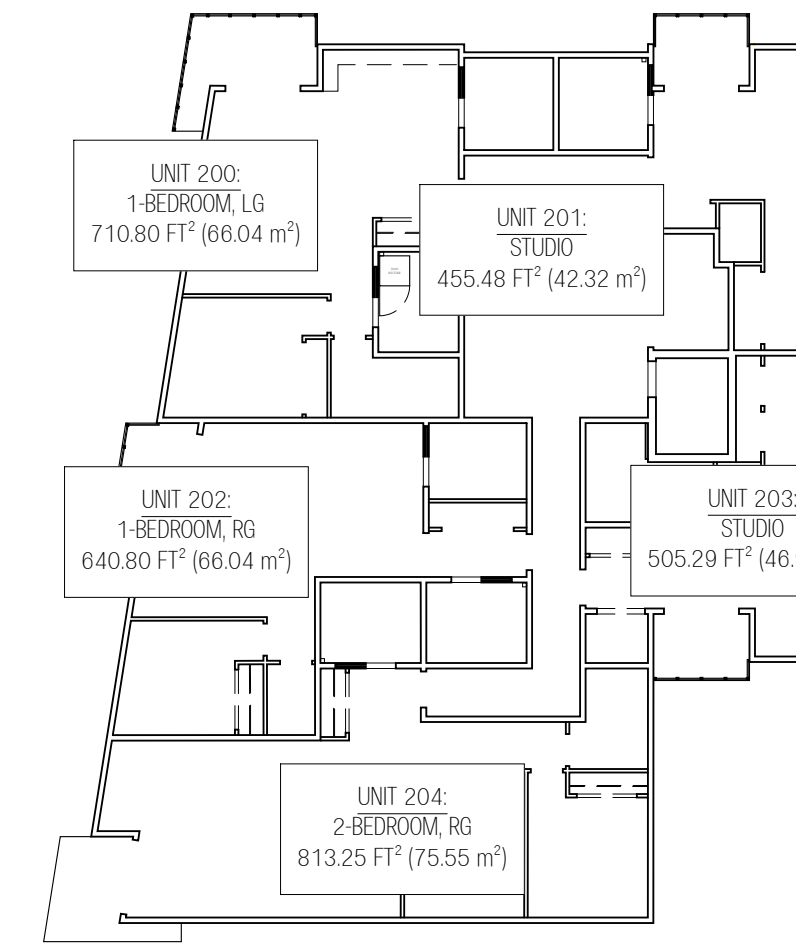
PROJECT NO: 0029

A102

LEXINGTON AVENUE



CLIENT:



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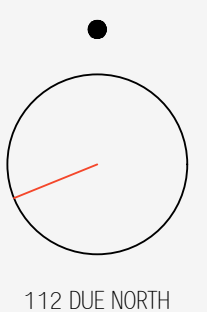
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NORTH ARROW:



PROJECT TITLE:

LOW-RISE MULTI-UNIT  
RESIDENCE PROPOSAL: 222  
BASELINE RD, OTTAWA, ON,  
K2C 0A2

DRAWING NAME:  
SECOND FLOOR  
(SCHEMATIC LAYOUT)

DRAWN BY: CORY DUBEAU

REVIEWED BY: N/A

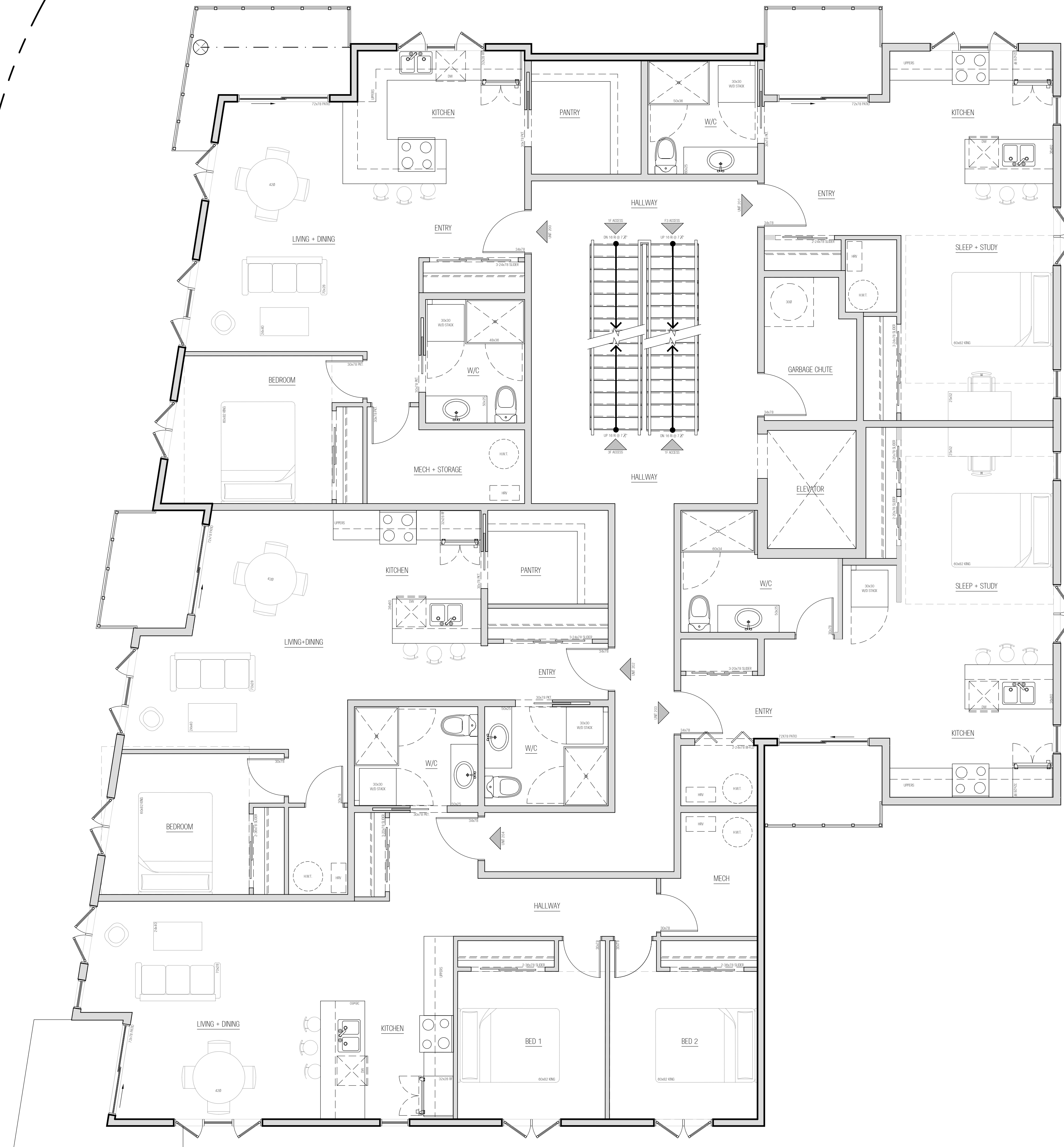
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PROJECT NO: 0029

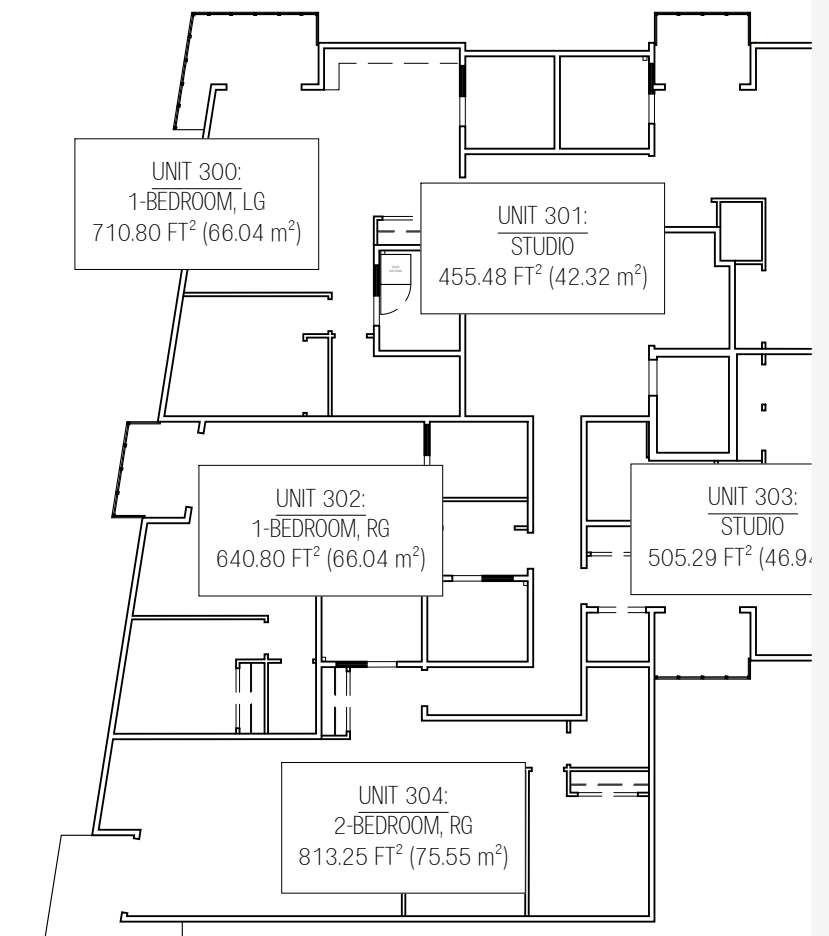
A103

LEXINGTON  
AVENUE





CLIENT:



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PROJECT TITLE:

LOW-RISE MULTI-UNIT  
RESIDENCE PROPOSAL: 222  
BASELINE RD, OTTAWA, ON,  
K2C 0A2

DRAWING NAME:

THIRD FLOOR:  
(SCHEMATIC LAYOUT)

DRAWN BY: CORY DUBEAU

REVIEWED BY: N/A

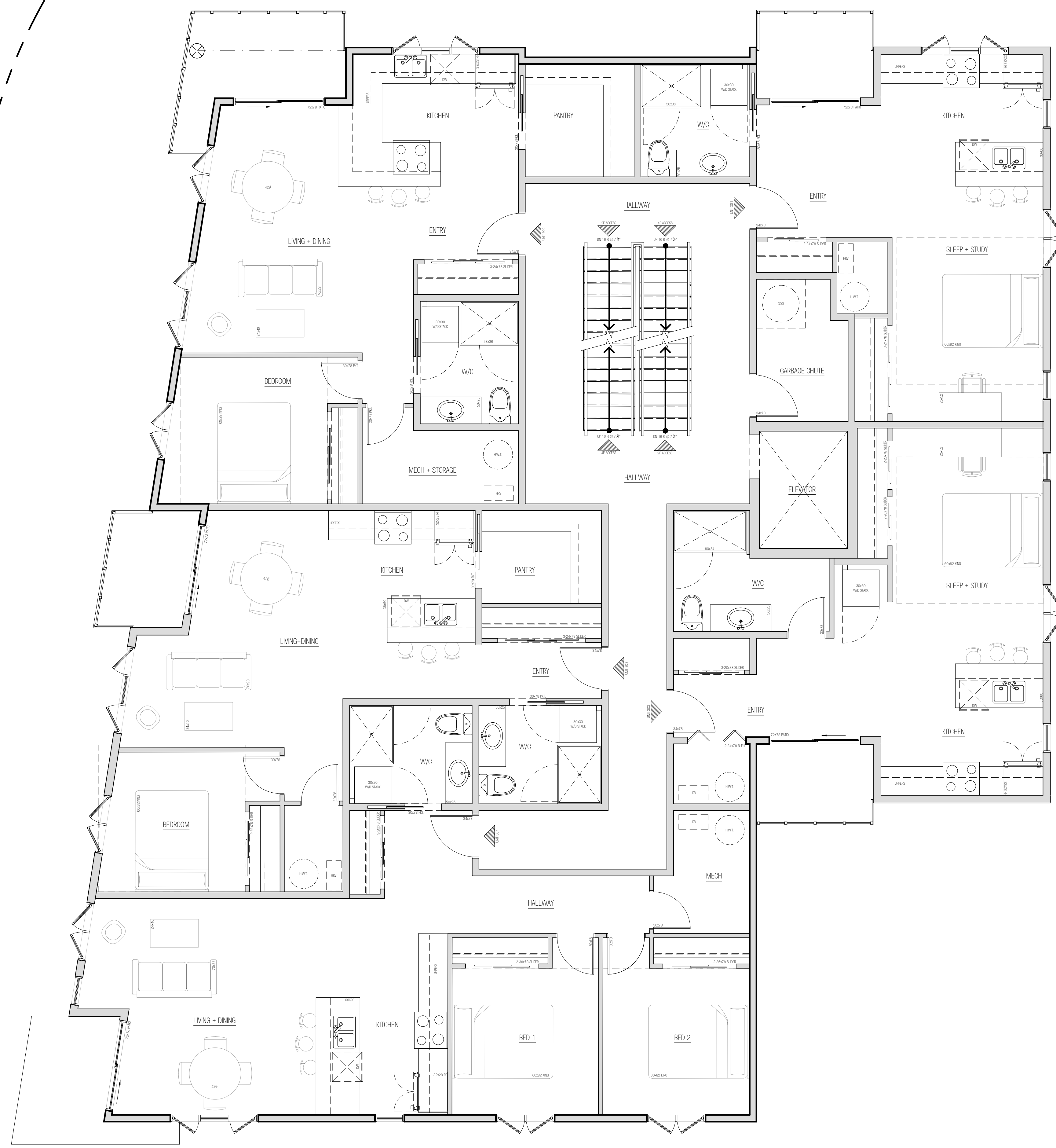
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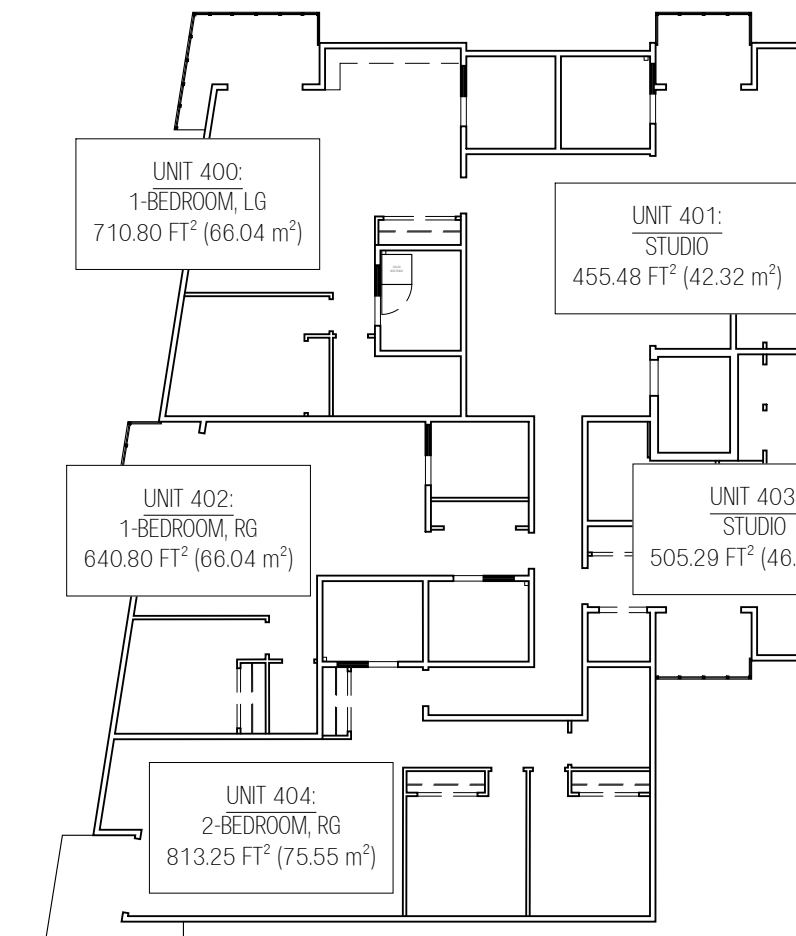
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A104

LEXINGTON AVENUE



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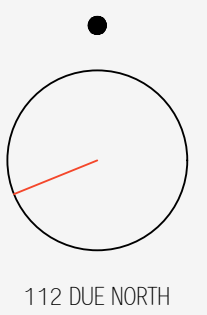
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NORTH ARROW:



PROJECT TITLE:

LOW-RISE MULTI-UNIT  
RESIDENCE PROPOSAL: 222  
BASELINE RD, OTTAWA, ON,  
K2C 0A2

DRAWING NAME:  
FOURTH FLOOR:  
(SCHEMATIC LAYOUT)

DRAWN BY: CORY DUBEAU

REVIEWED BY: N/A

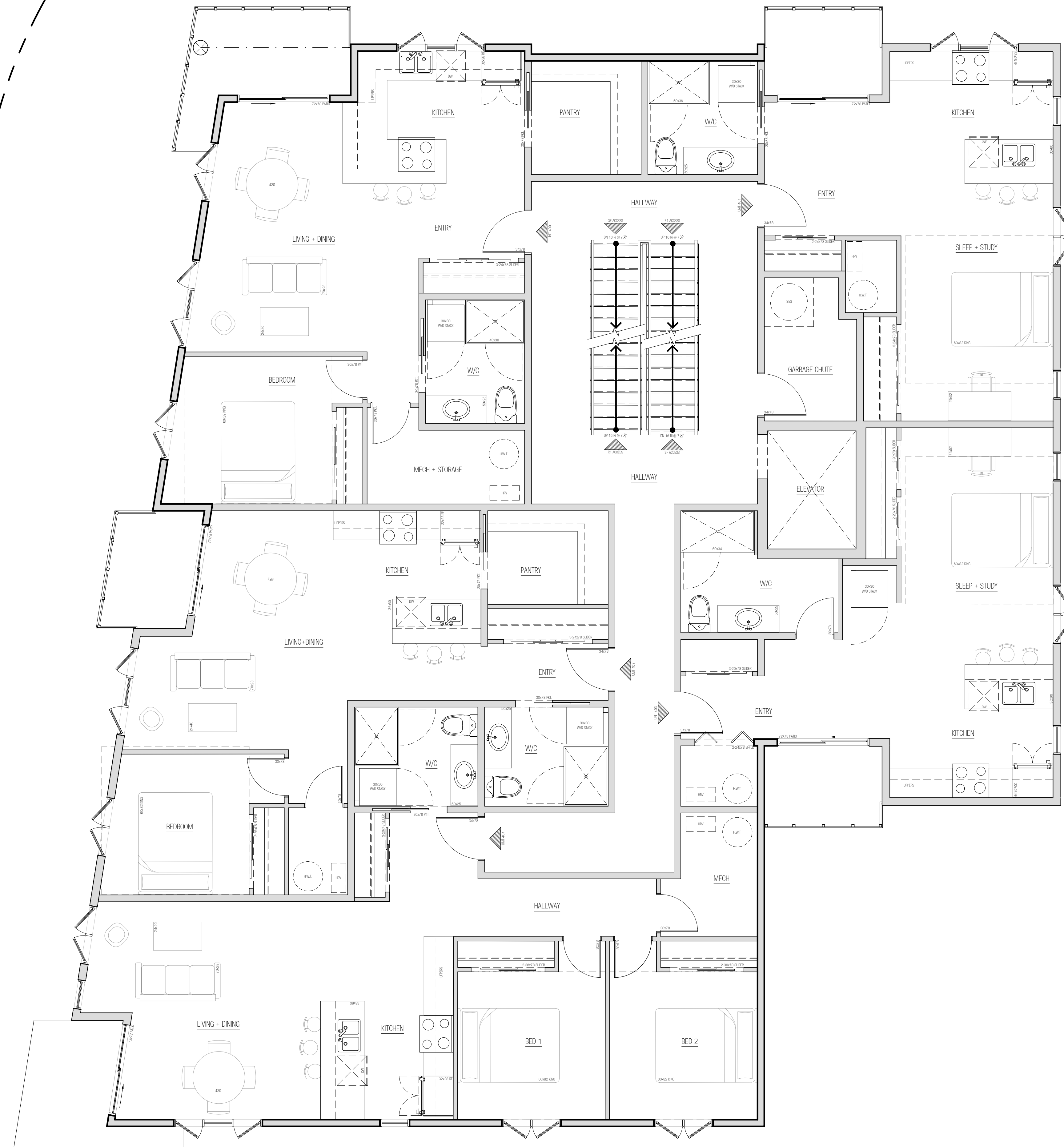
SCALE: 1/4" = 1'-0"

PROJECT NO: 0029

SHEET NUMBER:

A104

LEXINGTON AVENUE





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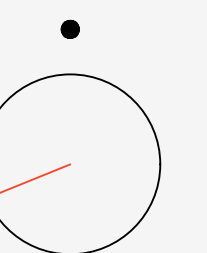
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NORTH ARROW:



112 DUE NORTH

PROJECT TITLE:

LOW-RISE MULTI-UNIT  
RESIDENCE PROPOSAL: 222  
BASELINE RD, OTTAWA, ON,  
K2C 0A2

DRAWING NAME:  
**COMMUNAL ROOFTOP TERRACE  
(SCHEMATIC LAYOUT)**

DRAWN BY: CORY DUBEAU

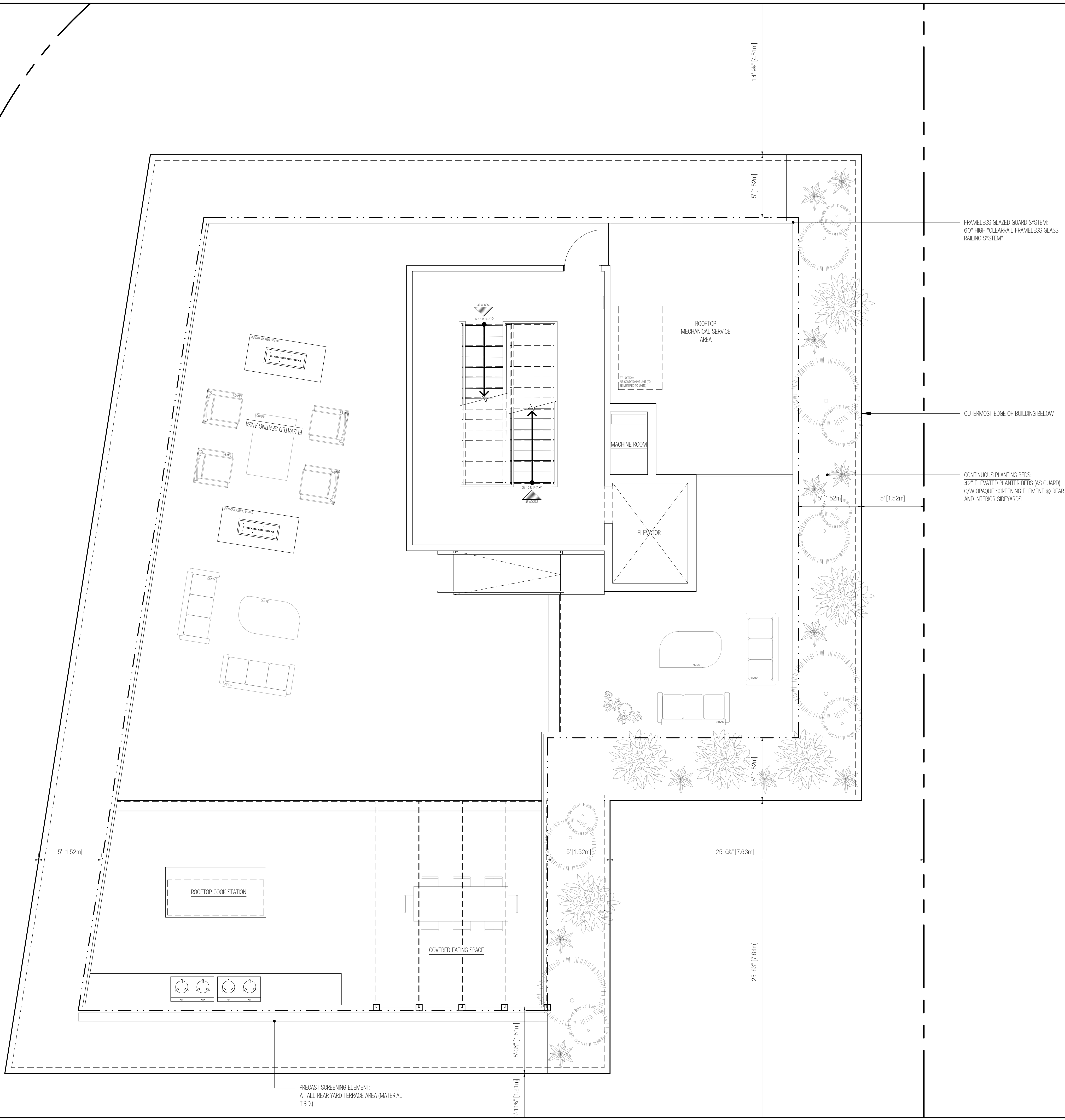
REVIEWED BY: N/A

SCALE: 1/4" = 1'-0"

SHEET NUMBER:

PROJECT NO: 0029

**A105**



LEXINGTON AVENUE

14'-11 1/2" [4.56m]

5' [1.52m]

5'-9 3/4" [1.61m]

5'-11 1/4" [1.21m]

5' [1.52m]

25'-0 1/4" [7.63m]

25'-8 1/4" [7.84m]

5' [1.52m]

5' [1.52m]

14'-9 1/2" [4.51m]

PRECAST SCREENING ELEMENT  
AT ALL REAR YARD TERRACE AREA (MATERIAL  
T.B.D.)

FRAMELESS GLAZED GUARD SYSTEM  
80" HIGH CLEARANCE FRAMELESS GLASS  
RAILING SYSTEM

OUTERMOST EDGE OF BUILDING BELOW

CONTINUOUS PLANTING BEDS  
42" ELEVATED PLANTER BEDS (AS GLIARD)  
C/W OPAQUE SCREENING ELEMENT @ REAR  
AND INTERIOR SIDERYARDS