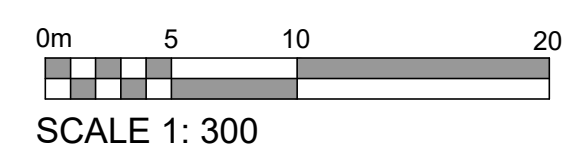




PROJECT INFORMATION		
ZONING	GM	
SITE AREA	14,294.4 sq. m. (153,864 sq. ft.)	
REQUIRED	PROVIDED	
BUILDING HEIGHT	18.0m	
MAXIMUM FLOOR SPACE INDEX	2.0	
FRONT YARD SETBACK	3.0m	
CORNER YARD SETBACK	3.0m	
INTERIOR YARD SETBACK (VARIES)	0.0 - 5.0m	
REAR YARD SETBACK (VARIES)	3.0m - 7.5m	
MINIMUM WIDTH OF LANDSCAPE AREA (ABUTTING A STREET OR RESIDENTIAL ZONE)	3.0m	
MINIMUM WIDTH OF LANDSCAPE BUFFER	0.0m / 3.0m	
AMENITY SPACE - PER UNIT	6.0 sq. m.	
PARKING - PER UNIT AFTER 12 UNITS	0.5	
PARKING - VISITOR ONLY PER UNIT	0.2	
PARKING - COMMERCIAL RESTAURANT	5.0 PER 100m ² GFA	
PARKING - COMMERCIAL RETAIL	1.25 PER 100m ² GFA	
PARKING - COMMERCIAL P.S.B.	1.25 PER 100m ² GFA	
BICYCLE PARKING - RESIDENTIAL PER UNIT	0.5	
BICYCLE PARKING - COMMERCIAL	1 PER 250m ² GFA	
MAX VEHICLE PARKING - PER UNIT	1.75	
MAX VEHICLE PARKING - COMMERCIAL	VARIES PER USE	
aisle & DRIVEWAY WIDTH - VARIES	6.0m - 6.7m	
CAR PARKING		
REQUIRED - PROVIDED		
RESIDENCE	-0.5 PER UNIT AFTER 12 UNITS	
VISITOR	-0.2 PER UNIT	
COMMERCIAL RESTAURANT	-5.0 PER 100m ² GFA	
COMMERCIAL RESTAURANT TAKE-OUT	-2.5 PER 100m ² GFA	
COMMERCIAL RETAIL	-1.25 PER 100m ² GFA	
COMMERCIAL P.S.B.	-1.25 PER 100m ² GFA	
TOTAL	741	
MAXIMUM PARKING AS PER TABLE 103 = 1.75 PER UNIT	1,747	
BICYCLE PARKING		
REQUIRED		
RESIDENCE	-0.5 PER UNIT (998 UNITS)	
COMMERCIAL	-1 PER 250m ² GFA (2,393m ²)	
TOTAL	509	
PROVIDED		
RESIDENCE	-1.0 PER UNIT	
COMMERCIAL	20	
TOTAL	1018	
AMENITY SPACE		
INTERIOR 1st fl. AMENITY - COMMUNAL	300.0 sq. m.	
EXTERIOR TERRACES - PRIVATE	400.0 sq. m.	
INTERIOR 2nd fl. AMENITY - COMMUNAL	900.0 sq. m.	
EXTERIOR 2nd fl. TERRACES - COMMUNAL	600.0 sq. m.	
EXTERIOR ROOF TOP - COMMUNAL	300.0 sq. m.	
INTERIOR ROOF TOP - COMMUNAL	600.0 sq. m.	
AT GRADE EXTERIOR - COMMUNAL	370.0 sq. m.	
PRIVATE BALCONIES	4,000.0 sq. m.	
TOTAL	7,470 sq. m.	
TOTAL COMMUNAL	3,070 sq. m.	
REQUIRED - 6.0M ² PER UNIT (998)	5,988 sq. m.	
REQUIRED COMMUNAL @ 50%	2,994 sq. m.	
LAND PHASE AREA		
PHASE 1 - BUILDING "A"	3,394.0 sq. m. 23.7%	
PHASE 2 - BUILDING "B"	5,061.0 sq. m. 35.4%	
PHASE 3 - BUILDING "C"	5,839.4 sq. m. 40.9%	
TOTAL	14,294.4 sq. m. 100.00%	
LOT COVERAGE		
BUILDING FOOTPRINT - "A"	1,474.9 sq. m. 10.32%	
BUILDING FOOTPRINT - "B"	2,839.0 sq. m. 19.86%	
BUILDING FOOTPRINT - "C"	2,326.4 sq. m. 16.27%	
DRIVING SURFACE	2,739.4 sq. m. 19.16%	
LANDSCAPE SURFACE	4,914.7 sq. m. 34.39%	
TOTAL	14,294.4 sq. m. 100.00%	
GROSS BUILDING - AREAS		
BUILDING "A"		
TOTAL AREA	10,699.2 sq. m.	
TOWER FOOTPRINT	203,418 sq. ft.	
UNIT COUNT	288	
VEHICLE PARKING	124 + 02 = 190	
BICYCLE PARKING	150 + 2 = 288	
COMMERCIAL AREA	302.0 sq. m.	
COMMERCIAL AREA	3,291 sq. ft.	
BUILDING "B"		
TOTAL BUILDING AREA	21,972.2 sq. m.	
TOWER FOOTPRINT	760.9 sq. m.	
UNIT COUNT	339	
VEHICLE PARKING - RESIDENTIAL ONLY	140 + 58 = 198	
BICYCLE PARKING	140 + 6 = 339	
COMMERCIAL AREA	1,178.8 sq. m.	
COMMERCIAL AREA	12,689 sq. ft.	
BUILDING "C"		
TOTAL AREA	23,196.1 sq. m.	
TOWER FOOTPRINT	243,573 sq. ft.	
UNIT COUNT	371	
VEHICLE PARKING - RESIDENTIAL ONLY	103 + 64 = 371	
BICYCLE PARKING	150 + 4 = 371	
COMMERCIAL AREA	912.1 sq. m.	
COMMERCIAL AREA	9,818 sq. ft.	
UNIT MIX - 889 UNITS		
TOWNHOUSE	0.6% 6	
STUDIO UNIT	10.2% 102	
ONE BEDROOM UNIT	49.7% 496	
TWO BEDROOM UNIT	27.6% 275	
THREE BEDROOM UNIT	11.9% 119	
TOTAL UNITS	100% 998	
COMMERCIAL AREA	2,393.0 sq. m.	
COMMERCIAL AREA	25,756 sq. ft.	
REVISIONS:		
NO.	DESCRIPTION	DATE
1	REVISED AS PER ROUND 1 2A COMMENTS	Sept 27, 22
2	ISSUED FOR ZONING AMENDMENT APPLICATION	Mar. 16, 22
3	ISSUED FOR OWNER / CONSULTANT REVIEW	Mar. 10, 22
ARCHITECT SEAL: 		
CLIENT: Theberge Developments Ltd.		
ARCHITECT: Roderick Lahey Architect Inc. 56 Beech Street, Ottawa, Ontario K1S 3J6 1.613.724.9932 1.613.724.1209 www.rodericklahey.ca		
PROJECT TITLE: 780 Baseline Road		
OTAWA ONTARIO		
SHEET TITLE: SITE PLAN OVERALL		
DRAWN: RV	CHECKED: T.Z.	SHEET No.: SP-1
SCALE: 1:300	PROJECT No.: 2131	

1 SITE PLAN - PHASE 1
SCALE = 1:300



KEY MAP