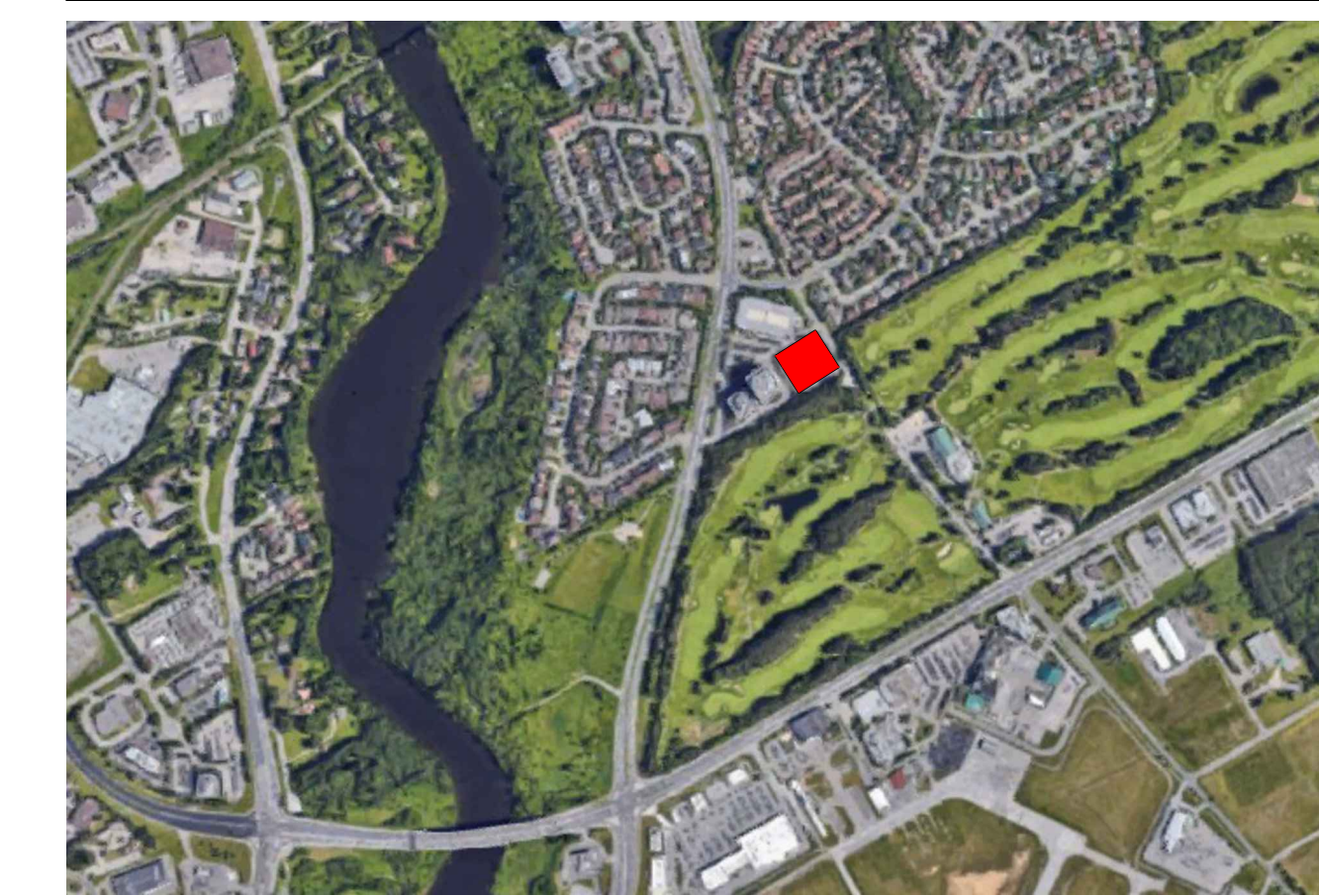
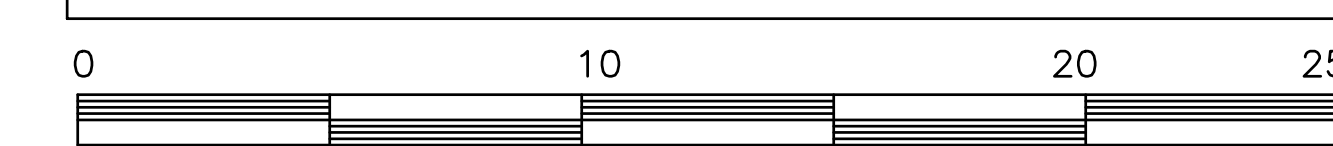
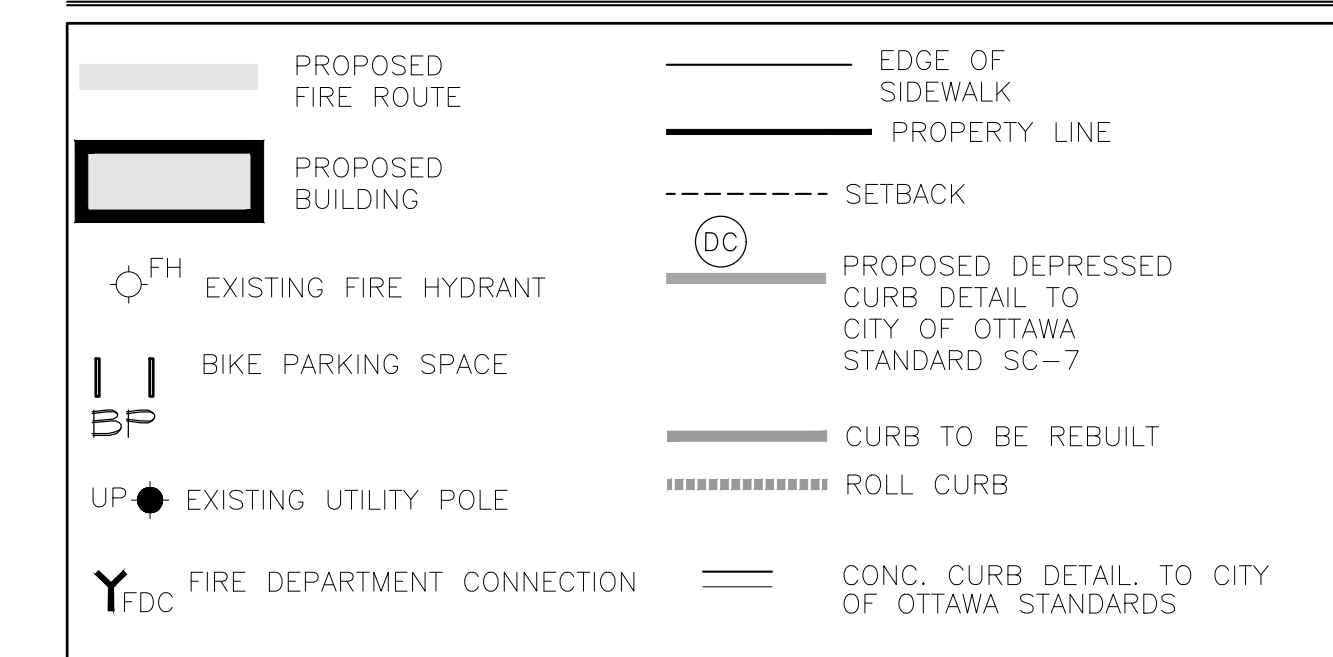


LOCATION PLAN 1:10,000



BUILDING PARKING REQUIREMENTS



SCALE 1 : 150



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no.	date	revision
2	22-09-16	ISSUED FOR REZONING SUB. NO. 2
1	22-04-13	ISSUED FOR REZONING

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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PROJECT LOCATION:

3750 NORTH BOWESVILLE
OTTAWA ON.

DRAWING TITLE:

SITE PLAN

DRAWN BY: PFB **DATE:** 22-09-16 **SCALE:** 1/150

PROJECT: 2115

DRAWING NO.: A1.00

REVISION NO.:

ZONING NOTES: CURRENT ZONING: GM F(1.0) H(44) LOT AREA : 6819.5 m²

DEVELOPMENT STATS PHASE 1 + PHASE 2	REQUIRED	PROPOSED
LOT WIDTH	81.16m IRREGULAR	81.16m IRREGULAR
LOT DEPTH	83.7m IRREGULAR	83.7m IRREGULAR
FRONT YARD SETBACK	BOWESVILLE	3m
REAR YARD SETBACK		7.5m
SIDE YARD SETBACK		3m
INTERIOR SIDE YARD SETBACK		3m
TOTAL DEVELOPMENT FSI = 33,394 SQ.M.(TOTAL DEVELOPMENT GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 4.89		
PHASE 1 (SOUTH BUILDING) FSI = 16,767 SQ.M.(PHASE 1 GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 2.46		
PHASE 2 (NORTH BUILDING) FSI = 16,627 SQ.M.(PHASE 2 GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 2.44		

BUILDING STATISTICS:

SOUTH BUILDING PHASE 1		PROPOSED		TOTAL	
TOTAL UNIT COUNT		20	10%	197	
STUDIOS					
1 BEDROOM		99	50%		
1 BEDROOM + DEN					
2 BEDROOM (1 INBOARD BED)					
2 BEDROOM		78	40%		
2 BEDROOM + DEN					
NUMBER OF STOREYS	14 STOREYS				
MAXIMUM HEIGHT	44m				
AREA - TOTAL GFA	+/- 13,731 SQ.M.				
REQUIRED AMENITY SPACE REQUIREMENT					
197 UNITS X 6 SQ.M. = 1,182 SQ.M. TOTAL AMENITY REQUIRED					
REQUIRED AMENITY SPACE TO BE COMMON - 591 SQ.M.					
PROVIDED COMMON AMENITY SPACE - 591 SQ.M.					

NORTH BUILDING PHASE 2		PROPOSED		TOTAL	
TOTAL UNIT COUNT		19	10%	195	
STUDIOS					
1 BEDROOM		98	50%		
1 BEDROOM + DEN					
2 BEDROOM (1 INBOARD BED)					
2 BEDROOM		78	40%		
2 BEDROOM + DEN					
NUMBER OF STOREYS	14 STOREYS				
MAXIMUM HEIGHT	44m				
AREA - TOTAL GFA	+/- 13,621 SQ.M.				
REQUIRED AMENITY SPACE REQUIREMENT					
195 UNITS X 6 SQ.M. = 1,170 SQ.M. TOTAL AMENITY REQUIRED					
REQUIRED AMENITY SPACE TO BE COMMON - 585 SQ.M.					
PROVIDED COMMON AMENITY SPACE - 585 SQ.M.					

TOTAL DEVELOPMENT - REQUIRED AMENITY SPACE: 392 UNITS X 6 SQ.M. = 2,352 SQ.M.
REQUIRED AMENITY SPACE TO BE COMMON - 1,176 SQ.M.
REQUIRED PRIVATE AMENITY SPACE - 1,176 SQ.M.

TOTAL DEVELOPMENT - PROVIDED AMENITY SPACE: 2,352 SQ.M.
PROVIDED AMENITY SPACE TO BE COMMON - 1,176 SQ.M.
PROVIDED PRIVATE AMENITY SPACE - 1,176 SQ.M.

1. BUILDING PARKING REQUIRED: PARKING RATIO OF 1.2/UNIT (473 RESIDENTIAL PARKING REQUIRED FOR 392 UNITS)	PROVIDED VEHICLE PARKING
RENTAL	287 RESIDENTIAL PARKING SPACES PROVIDED FOR 392 UNITS (0.7/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE
2. REQUIRED VISITOR PARKING: VISITOR PARKING RATIO OF 0.2/UNIT (79 VISITOR PARKING FOR 392 UNITS)	PROVIDED VISITOR PARKING
CONDO	40 VISITOR PARKING SPACES PROVIDED FOR 392 UNITS (0.1/UNIT) * LOCATED IN PARKING GARAGE AND AT GRADE
TOTAL PARKING PROVIDED	327 TOTAL PARKING PARKING SPACES (INTERIOR)

3. BUILDING BICYCLE PARKING REQUIRED: 0.5 BICYCLE STALLS PER UNIT (197 STALLS REQUIRED FOR 392 UNITS)	PROVIDED BICYCLE PARKING
	197 BICYCLE PARKING SPACES PROVIDED FOR 392 UNITS (0.5/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE AND AT GRADE