

City of Ottawa 2017 TIA Guidelines Screening Form

1. Description of Proposed Development

Municipal Address	12-24 Hawthorne Avenue
Description of Location	South side of Hawthorne Avenue midblock between Colonel By Drive and Main Street
Land Use Classification	Mid-Rise Multifamily Housing
Development Size (units)	67
Development Size (m ²)	
Number of Accesses and Locations	One on Hawthorne Avenue
Phase of Development	One
Buildout Year	2025

If available, please attach a sketch of the development or site plan to this form.

2. Trip Generation Trigger

Considering the Development's Land Use type and Size (as filled out in the previous section), please refer to the Trip Generation Trigger checks below.

Land Use Type	Minimum Development Size
Single-family homes	40 units
Townhomes or apartments	90 units
Office	3,500 m ²
Industrial	5,000 m ²
Fast-food restaurant or coffee shop	100 m ²
Destination retail	1,000 m ²
Gas station or convenience market	75 m ²

** If the development has a land use type other than what is presented in the table above, estimates of person-trip generation may be made based on average trip generation characteristics represented in the current edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.*

If the proposed development size is greater than the sizes identified above, the Trip Generation Trigger is satisfied.

3. Location Triggers

	Yes	No
Does the development propose a new driveway to a boundary street that is designated as part of the City's Transit Priority, Rapid Transit or Spine Bicycle Networks?		X
Is the development in a Design Priority Area (DPA) or Transit-oriented Development (TOD) zone?*	✓	

**DPA and TOD are identified in the City of Ottawa Official Plan (DPA in Section 2.5.1 and Schedules A and B; TOD in Annex 6). See Chapter 4 for a list of City of Ottawa Planning and Engineering documents that support the completion of TIA).*

If any of the above questions were answered with 'Yes,' the Location Trigger is satisfied.

4. Safety Triggers

	Yes	No
Are posted speed limits on a boundary street are 80 km/hr or greater?		X
Are there any horizontal/vertical curvatures on a boundary street limits sight lines at a proposed driveway?		X
Is the proposed driveway within the area of influence of an adjacent traffic signal or roundabout (i.e. within 300 m of intersection in rural conditions, or within 150 m of intersection in urban/ suburban conditions)?	✓	
Is the proposed driveway within auxiliary lanes of an intersection?		X
Does the proposed driveway make use of an existing median break that serves an existing site?		X
Is there is a documented history of traffic operations or safety concerns on the boundary streets within 500 m of the development?		X
Does the development include a drive-thru facility?		X

If any of the above questions were answered with 'Yes,' the Safety Trigger is satisfied.

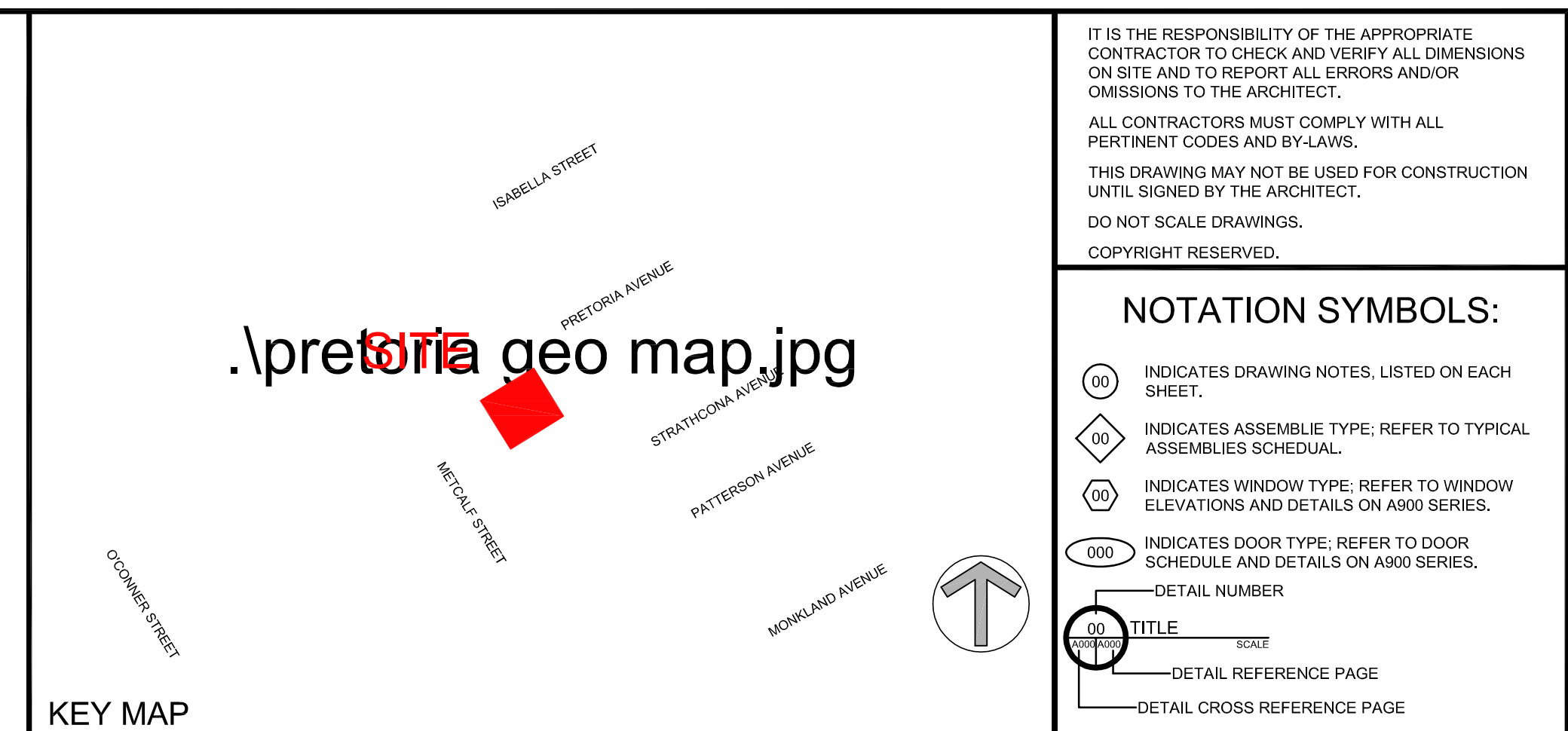
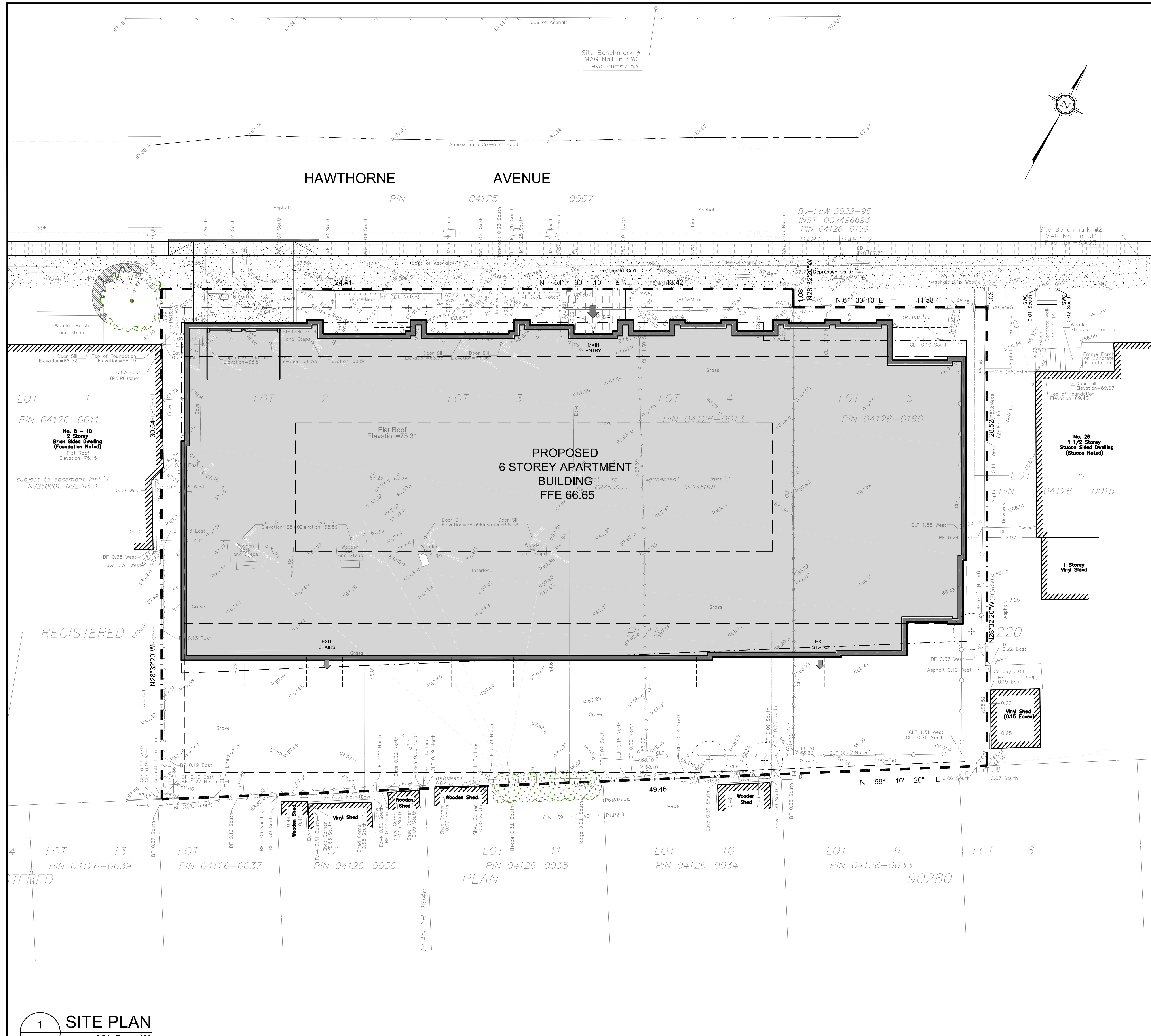
5. Summary

	Yes	No
Does the development satisfy the Trip Generation Trigger?		X
Does the development satisfy the Location Trigger?	✓	
Does the development satisfy the Safety Trigger?	✓	



Transportation Impact Assessment Screening Form

If none of the triggers are satisfied, the TIA Study is complete. If one or more of the triggers is satisfied, the TIA Study must continue into the next stage (Screening and Scoping).



- ### DRAWING NOTES
- PROPERTY LINE
 - BUILDING SETBACKS
 - PAD MOUNTED HYDRO TRANSFORMER
 - DEPRESSED CURB & SIDEWALK TO CITY STANDARDS
 - 2.0 M WIDE SIDEWALK & CURB TO CITY STANDARDS
 - ASPHALT DRIVE WAY WITH 150 BARRIER CURBS
 - REPLACE EXISTING DEPRESSED CURB WITH BARRIER CURB TO CITY STANDARDS
 - BICYCLE PARKING SPACE
 - EXISTING FIRE HYDRANT
 - OUTLINE OF UNDERGROUND PARKING LEVEL
 - EXISTING RETAINING WALL
 - EXISTING RETAINING WALL TO BE REMOVED
 - EXISTING TREE TO REMAIN
 - EXISTING CHAIN LINK FENCE
 - EXPOSED FOUNDATION WALL OF PARKING LEVEL
 - EXISTING TIMBER FRAMED PLANTER TO BE REMOVED
 - LOW UNIT PRECAST CONCRETE LANDSCAPE WALL
 - EXISTING TREE TO BE REMOVED
 - SOFT LANDSCAPING
 - 1.2 M HT. WOOD PRIVACY FENCE
 - EXISTING BOARD FENCE
 - OUTLINE OF BUILDING ABOVE
 - BALCONY ABOVE
 - PRIVACY SCREEN
 - EXISTING TIMBER PLANTER - ALTER AS REQUIRED
 - EXISTING BUILDING TO BE REMOVED
 - NATURAL GAS EQUIPMENT
 - STORM WATER TANK WITH ACCESS COVER & OVERFLOW CATCH BASIN - SEE CIVIL PLAN
 - SIAMSESE CONNECTION
 - CAST IN PLACE PLANTER WALL

PROJECT INFORMATION

ZONING	TM12(1839) H(14.5)
SITE AREA	1,093.0 sq. m. (11,765) sq. ft.
BUILDING HEIGHT	14.5 m
FRONT YARD SETBACK - MAXIMUM	3.0 m
FRONT YARD SETBACK - MINIMUM	2.0 m
FRONT YARD SETBACK ABOVE 15m OR 4m FL.	+2.0 m
INTERIOR YARD SETBACK	1.2 m
REAR YARD SETBACK	7.5 m
REAR YARD ANGULAR PLANE	45% @ 15 m
PARKING AREA "Y" - AFTER 12 UNITS	0.5 per unit
VISITOR PARKING AREA "Y" - AFTER 12 UNITS	0.1 per unit
BICYCLE PARKING	0.5 per unit
AMENITY SPACE (6.0 m ² PER UNIT)	360.0 m ²

PROJECT STATISTICS

BUILDING HEIGHT	20.0 M
BUILDING HEIGHT - STOREY'S	6
AVERAGE MEAN GRADE (GEO. ELEV.)	00.00
FRONT YARD SETBACK	1.0 m
INTERIOR YARD SETBACK	1.2 m
REAR YARD SETBACK	7.0 m

GROSS BUILDING - AREAS (CITY OF OTTAWA ZONING AREA)

BASEMENT LEVEL	0.0 sq. m.
GROUND FLOOR	912 sq. ft.
2nd to 5th FLOOR	4 x 472.3 sq. m. 1,416.7 sq. ft.
6th FLOOR	4 x 508.0 sq. ft. 4,268 sq. ft.
TOTAL AREA	2,376.0 sq. m. 25,582 sq. ft.

- ### SITE PLAN SYMBOLS
- CONCRETE UNIT PAVERS SURFACE
 - CITY SIDEWALK
 - ASPHALT WALK / DRIVEWAY
 - SOFT LANDSCAPING
 - BIKE RACK
 - TWO WAY VEHICLE CIRCULATION
 - MAIN ENTRANCE
 - COMMERCIAL DOOR / FIRE EXIT
 - PROPERTY LINE
 - CITY STREET LIGHTING

UNIT STATISTICS

STUDIO UNIT	67
ONE BEDROOM UNIT	
TWO BEDROOM UNIT	
TOTAL	67

CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	-0.5 PER DWELLING UNIT (AFTER 12 UNITS)
VISITOR	-0.1 PER DWELLING UNIT (AFTER 12 UNITS)
TOTAL	

PROVIDED

RESIDENCE	
VISITOR	
TOTAL	

BICYCLE PARKING

REQUIRED

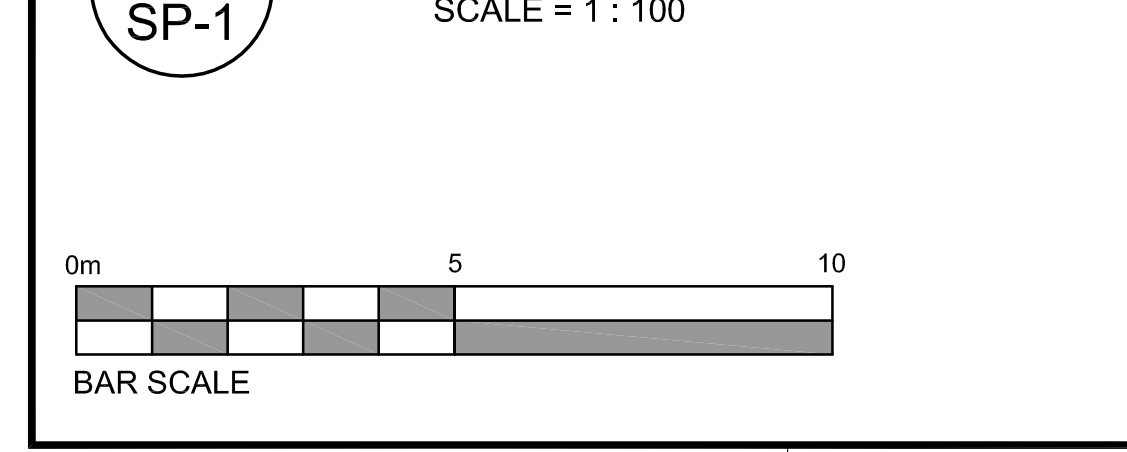
REQUIRED	-0.5 PER UNIT (48 UNITS)
PROVIDED	

LOT COVERAGE

PAVED SURFACE =	
BUILDING FOOTPRINT =	
LANDSCAPE OPEN SPACE =	
LANDSCAPE DECK =	
TOTAL =	

AMENITY SPACE

EXTERIOR AT GRADE =	
2nd FLOOR PRIVATE PATIO =	
BASEMENT COMMUNAL INTERIOR =	
PRIVATE BALCONIES =	
PRIVATE DECKS (6th FLOOR) =	
TOTAL =	
TOTAL COMMUNAL =	
REQUIRED - 6.0M ² PER UNIT (48) =	
REQUIRED COMMUNAL @ 50% =	



LEGAL DESCRIPTION
TOPOGRAPHIC PLAN OF SURVEY OF LOTS 1 AND 2 (SOUTH PRETORIA AVENUE) REGISTERED PLAN 53786 CITY OF OTTAWA

SURVEYOR
Farley, Smith & Denis Surveying Ltd.
10-190 Colonnade Road
Ottawa, Ontario K2E 7J5
Office: 613 727-8226
Fax: 613 727-1823
Cell: 613 862-1287
E-Mail: jleslie@bellnet.ca

LANDSCAPE ARCHITECT
Kallala Design
26 O'Rourke Road
Low, Quebec, J0X 2C0
Tel: (819) 775-6705
Email: kallaladesign@xplornet.com

CIVIL ENGINEER
Novatech Eng. Consultants Limited
200 - 240 Michael Cowpland Drive
Ottawa, Ontario, K2M 1P6
Tel: 613 254-9643
Fax: 613 254-5867
Email: c.ruddle@novatech-eng.com

URBAN PLANNER
FoTenn Consultants Inc.
223 McLeod Street
Ottawa, ON Canada, K2P 0Z8
Tel: (613) 730-5709
Cell: (613) 239-2777
E-Mail: nitsche@fotenn.com

PROJECT DEVELOPER
JB Holdings Inc.
107 Pretoria Ave.
Ottawa, Ontario K1S 1W8
Tel: (613) 695-6767
Cell: (613) 239-2777
Email: john@jbpa.ca

BUILDING CONSTRUCTION AREAS

PARKING LEVEL	967.3 sq. m.	10,412 sq. ft.
GROUND FLOOR	629.6 sq. m.	6,766 sq. ft.
2nd to 5th FLOOR	4 x 628.8 sq. m. 2,495.4 sq. m.	4 x 6,716 sq. ft. 26,860 sq. ft.
6th FLOOR	521.5 sq. m.	5,613 sq. ft.
TOTAL AREA (ABOVE GROUND)	1,556.3 sq. m.	16,752 sq. ft.

AMENITY SPACE

EXTERIOR AT GRADE =	
2nd FLOOR PRIVATE PATIO =	
BASEMENT COMMUNAL INTERIOR =	
PRIVATE BALCONIES =	
PRIVATE DECKS (6th FLOOR) =	
TOTAL =	
TOTAL COMMUNAL =	
REQUIRED - 6.0M ² PER UNIT (48) =	
REQUIRED COMMUNAL @ 50% =	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
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NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- DETAIL NUMBER
- TITLE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

KEY MAP

PROJECT INFORMATION

PROJECT STATISTICS

UNIT STATISTICS

CAR PARKING

BICYCLE PARKING

LOT COVERAGE

AMENITY SPACE

SITE PLAN

18 HAWTHORNE AVENUE
OTTAWA ONTARIO

DRAWN: R.V. CHECKED: R.V.
SCALE: 1:100 SHEET No. SP-1
PROJECT No. 2207