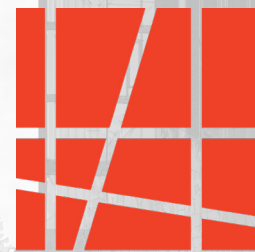


2026 SCOTT STREET

FORMAL URBAN DESIGN REVIEW PANEL

22.09.09

FOTENN
PLANNING+DESIGN



HOBIN
ARCHITECTURE

PROJET | PAYSAGE

**COLONNADE
BRIDGEPORT**
Property Investment & Management

**MORLEY
HOPPNER**

2026 SCOTT STREET DESIGN BRIEF

CONTEXT

2026 Scott Street is located in Ottawa's Westboro community. The site's close proximity to a future LRT transit station will result in the future development becoming an active residential and commercial node within the city.

The site, situated between residential neighbourhoods, Richmond Avenue's arterial shopping, and a transit corridor to the North allows for a variation of uses and demographics to reside, visit, and utilize the proposed development. This valued location sits in close proximity to nature via walking and cycling trails along the Ottawa River. Simultaneously, 2026 Scott Street's adjacent infrastructure provide urban living essentials.

The Westboro neighbourhood consists of a hybrid of small scale homes, and multi-unit residential dwellings of various scales. The urban fabric of the neighbourhood therefore varies from brick clad two storey homes to metal panelized towers. This range in typology therefore results in an ever-evolving neighbourhood, where density, demographics, and the experience of space create a vibrant atmosphere.

The property is currently divided into five parcels, occupied by the Granite Curling Club, a few commercial businesses, and surface parking. The North edge of the site meets the public along one of Ottawa's busiest thoroughfares. Towards the West, the site is met by Athlone Avenue, a residential street. Along the South edge, a large park services the community. This park, historically and currently, acts as

bridge between community oriented infrastructures such as a Gymnastic Club, and Curling Club, flanking its South and North edges. Therefore, the redevelopment of this site seeks to maintain this community space, while further enhancing the experience of the site, it's contextual fabric, and the connections it will provide to the future LRT transit station.

PROPOSED DEVELOPMENT

The proposed redevelopment, consisting of two residential high-rise buildings and a pedestrian plaza and thoroughfare, intends to activate the encompassing streetscapes surrounding the site. The redevelopment of this site will require the demolition of the existing Granite Curling Club, commercial units, and their adjacent surface parking lots.

The proposed towers, each comprised of 40 storeys, encompass six storey podiums. The podium's consistent datum lines along Scott Street varies as the podium steps down towards the south to maintain a sense of scale and materiality with the surrounding architecture.

The ground levels of the building's podiums will house commercial spaces, amenity spaces, a gym, and bicycle storage. The utilization of these permeable spaces and services by future residents and visitors will result in a consistently vibrant relationship between the interior and exterior spaces at grade. To enhance this relationship further, the ground level will be glazed in select locations to allow for an activated street front along Scott Street, Athlone Avenue, and within the arterial walkways within the site. This lively duality between interior and exterior, public and private, will be continued around the interior facades of the ground floor. The porosity at specific locations at ground level will emphasize the relationship between the towers at grade. Primary entrances diagonally opposing each other within the interior courtyard form an interactive space for residents of each building. Landscape features paralleling the architectural intent of this space result in a vivid and lush common gathering space.

The site's proposed landscaping intends to create a clear connection between the future LRT station, and the existing park, by creating places for users to rest, play, and

experience the development, while meandering from one destination to another. The site's previous use as a curling club, and the adjacent park and gymnastics club, indicate the desire for a place of leisure. The proposed landscaping concept replicates this notion and provides various settings for this to occur. A seating area South of Building 1 creates a place of relaxation, while the meandering pedestrian path, provides a space for bustling activity. The lawn to the East of Building 1 allows for playful interaction between users, and bridges the dynamic activities of the park and those of the proposed development.

The towers provide density to the neighbourhood, as they contain a total of 850 units. These unit's views benefit from the varied landscape and topography of the city. To the south, units will have an unobstructed view of the park, while along the north facades, residents will see the Ottawa River, and beyond, the Gatineau hills. To the north-east, residents will view the city's downtown core.

Ease of access to the site is further reinforced by the siting of the two towers, and the landscaping at grade. The site is serviced by OC Transpo bus routes and is within walking distance of the future OC Transpo LRT Transit Station. Additionally, the site is accessed by vehicular traffic, pedestrians, and cyclists. The precise location of both towers, the angled mass of Building 2 at grade, and landscaping aids in funneling users on foot into and through the site, towards entrances, and outdoor amenity spaces. Additionally, the extra frontage gained by chamfering Building 2 allows for greater landscaping to buffer traffic, noise, and wind, while creating safe and enjoyable designated zones for residents and users. For users travelling by vehicle, the phased development will be completed with underground parking. The project will provide a minimum of 0.6 residential parking spaces (+/- 510), as well as 0.1 visitor parking spaces (+/- 85), for a total of +/- 595 parking spaces. The parking garage will be access via two entrances, one located along Scott Street, and the other along Athlone Avenue.

CONTEXT CITY SCALE





CONTEXT CURRENT CONDITION



CONTEXT

NEIGHBOURHOOD CONTEXT



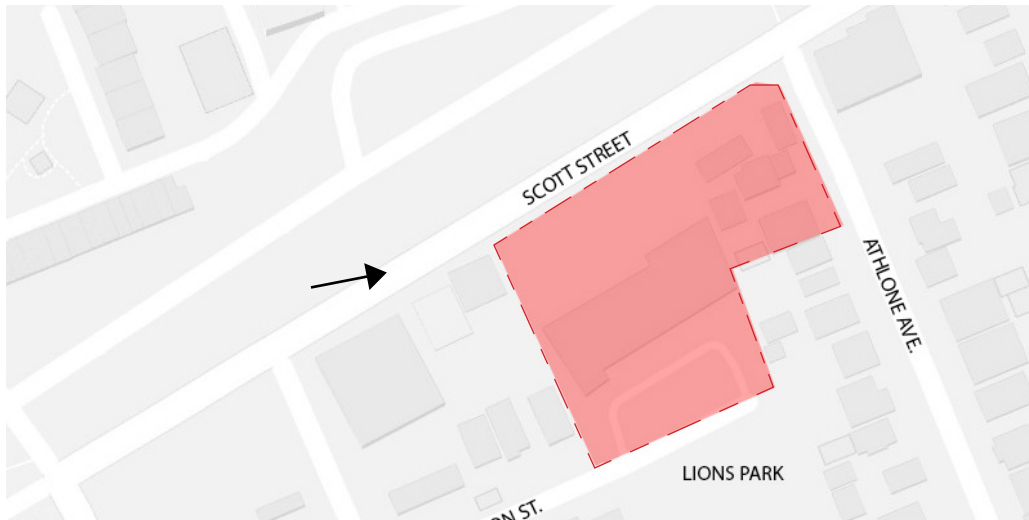
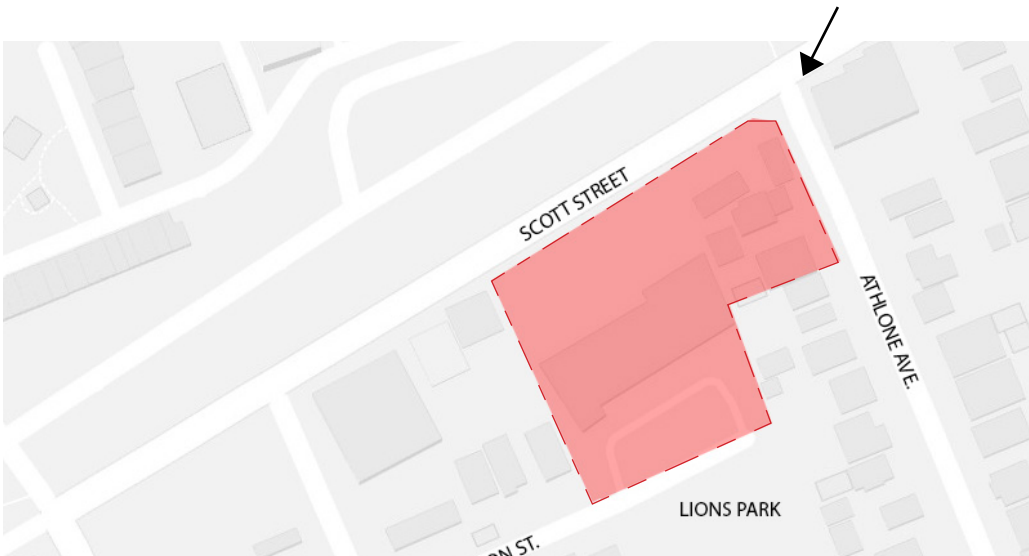
VIEW FROM



VIEW FROM SCOTT STREET LOOKING EAST



VIEW FROM ATHLONE AVE. LOOKING NORTH



CONTEXT

NEIGHBOURHOOD CONTEXT



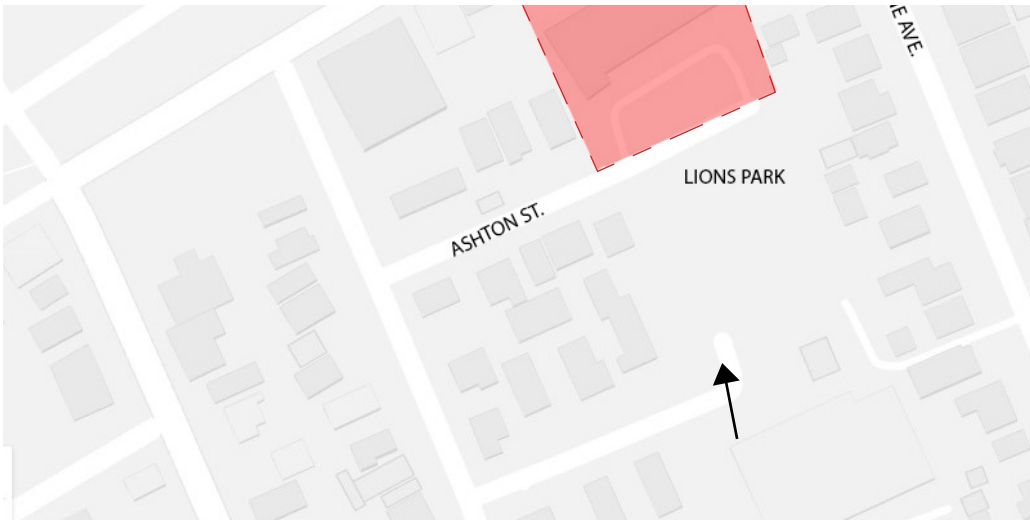
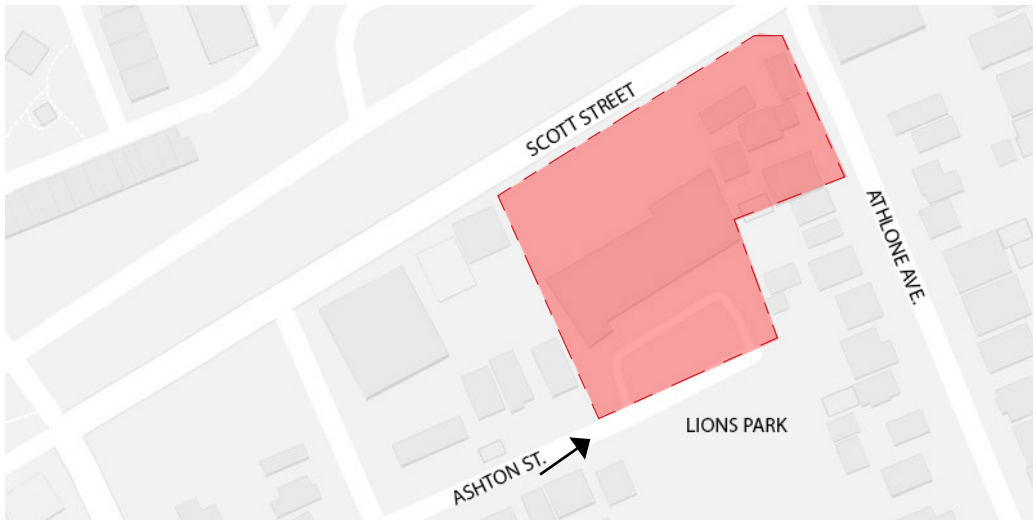
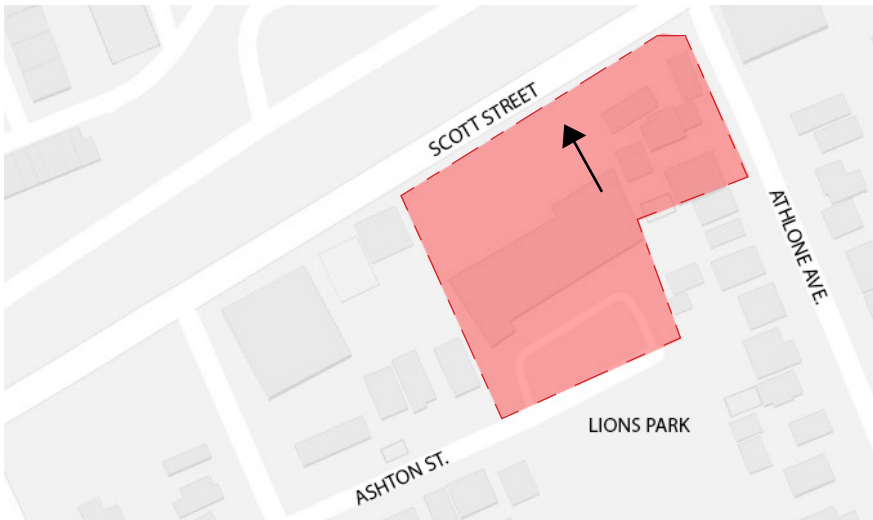
VIEW FROM SITE LOOKING NORTH



VIEW FROM ASHTON STREET LOOKING EAST

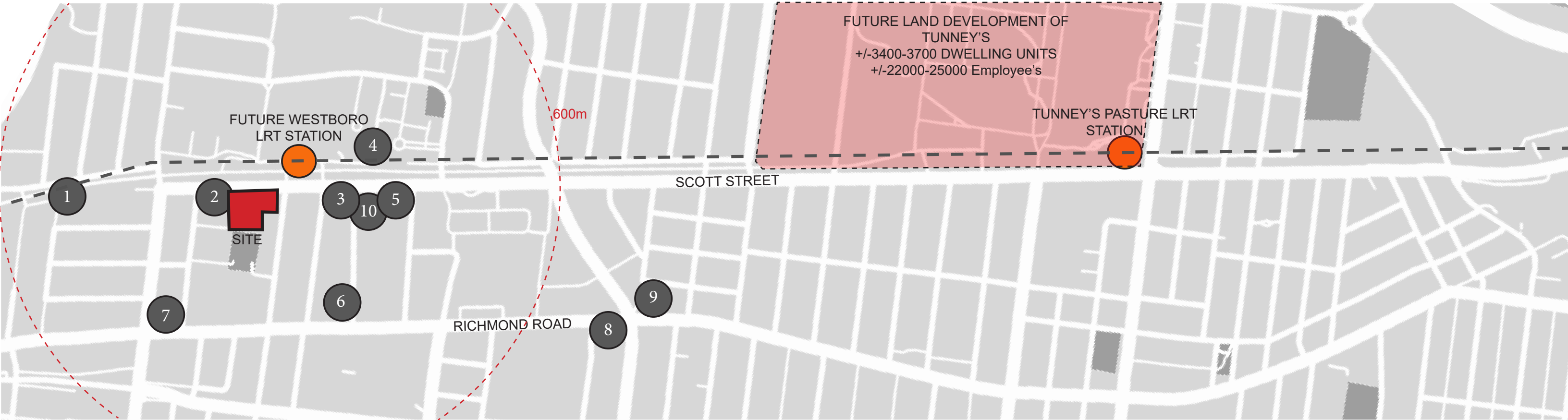


VIEW FROM LIONS PARK LOOKING NORTH



CONTEXT A NEIGHBOURHOOD IN TRANSITION

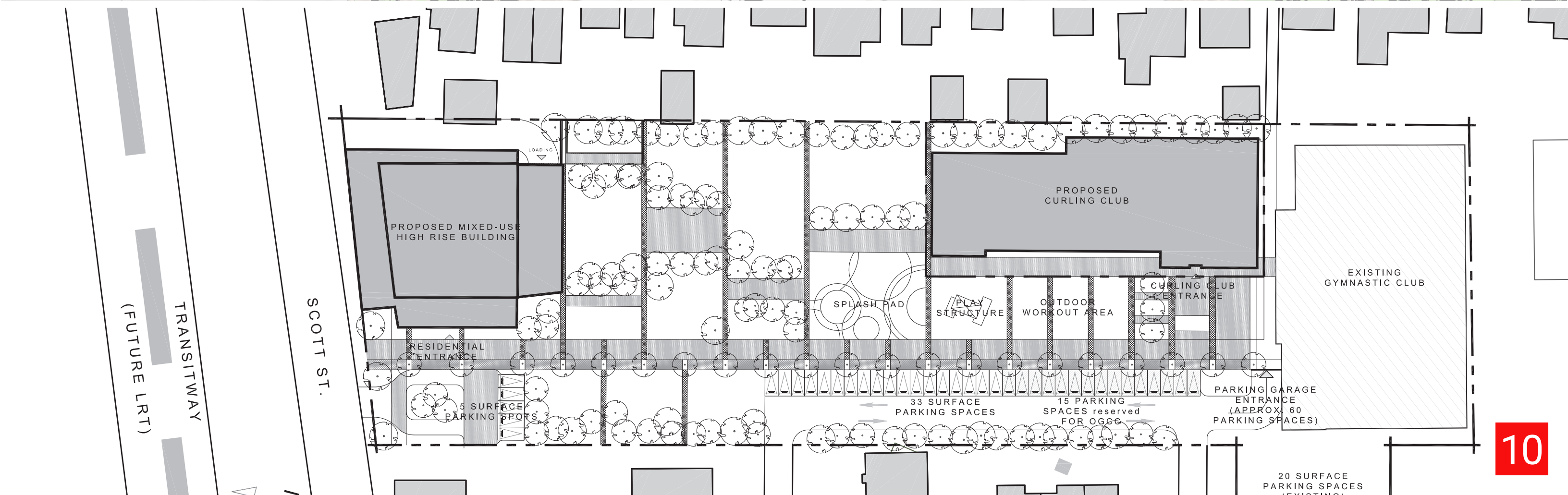
- 1. 335 ROOSEVELT - 12 STOREYS (PROPOSED OR APPROVED)
- 2. 2050-2046 SCOTT STREET - 30 STOREY MIXED USE (PROPOSED OR APPROVED)
- 3. 320 MCRAE - 26 STORIES (PROPOSED OR APPROVED)
- 4. METROPOLE - 33 STORIES (EXISTING)
- 5. 1960 SCOTT STREET - 23 STORIES (PROPOSED OR APPROVED)
- 6. 255 RICHMOND - 9 STORIES (PROPOSED OR APPROVED)
- 7. 327 RICHMOND - 9 STORIES (PROPOSED OR APPROVED)
- 8. 70 RICHMOND - 9 STORIES (PROPOSED OR APPROVED)
- 9. 1451 WELLINGTON - 12 STORIES (PROPOSED OR APPROVED)
- 10. 1950 SCOTT STREET - 25 STORIES (EXISTING)



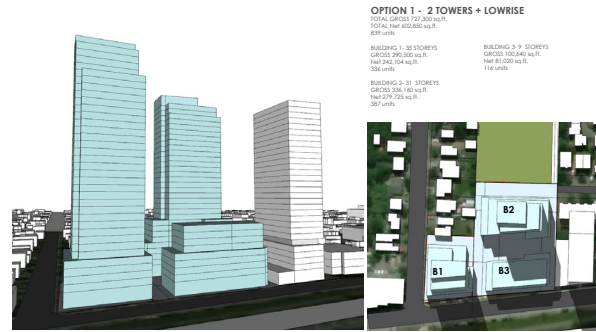
An architectural rendering of a modern urban street scene. The image shows a wide street flanked by multi-story buildings with large windows and brick accents. In the foreground, there are trees, outdoor seating areas with people, and a car driving down the street. The overall scene is bright and clear, with a soft sky. The text "PROJECT HISTORY" is overlaid in the center in a large, bold, black font.

PROJECT HISTORY

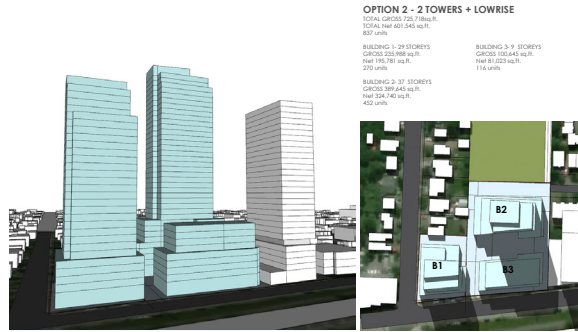
SCHEME 1 - 2019 CURLING CLUB



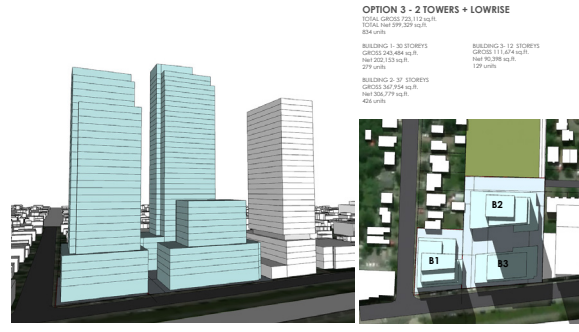
SCHEME 2 - VARIOUS SITE STUDIES



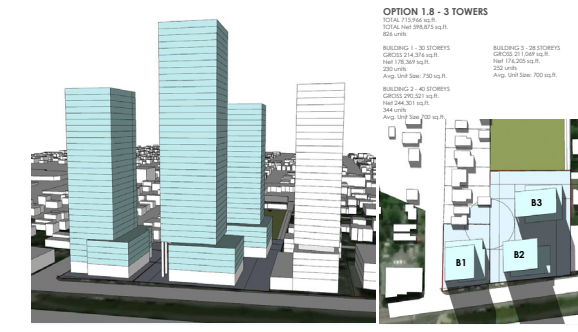
2026 SCOTT STREET
OPTION 1 - 2 TOWERS + LOWRISE
21.07.06



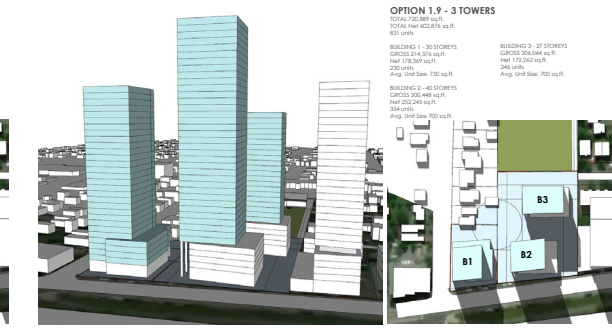
2026 SCOTT STREET
OPTION 2 - 2 TOWERS + LOWRISE
21.07.06



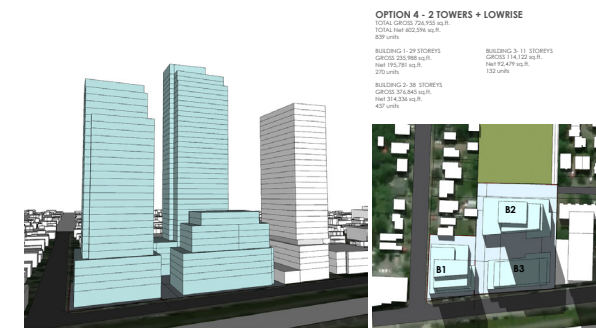
2026 SCOTT STREET
OPTION 3 - 2 TOWERS + LOWRISE
21.07.06



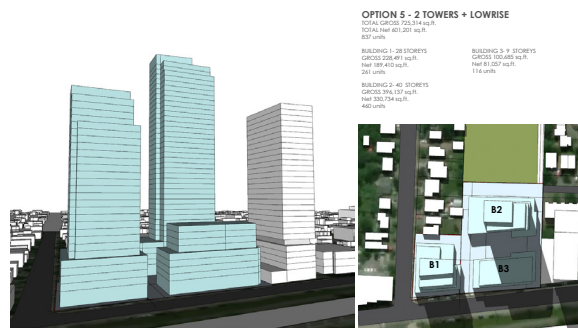
2026 SCOTT STREET
OPTION 1.8 - 3 TOWERS
21.07.30



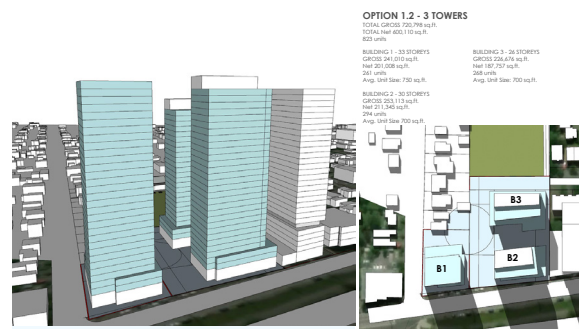
2026 SCOTT STREET
OPTION 1.9 - 3 TOWERS
21.07.30



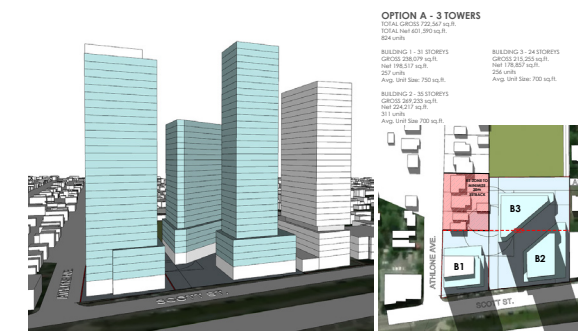
2026 SCOTT STREET
OPTION 4 - 2 TOWERS + LOWRISE
21.07.06



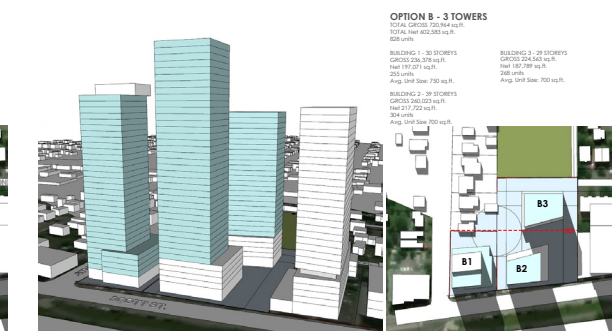
2026 SCOTT STREET
OPTION 5 - 2 TOWERS + LOWRISE
21.07.06



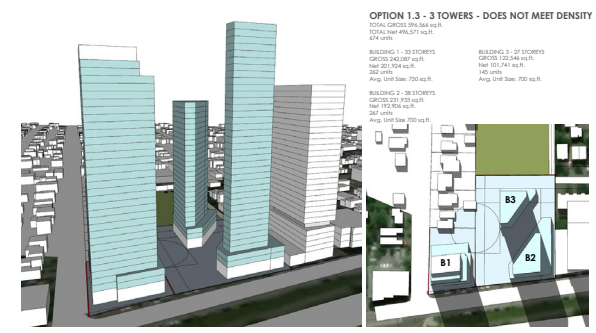
2026 SCOTT STREET
OPTION 1.2 - 3 TOWERS
21.07.30



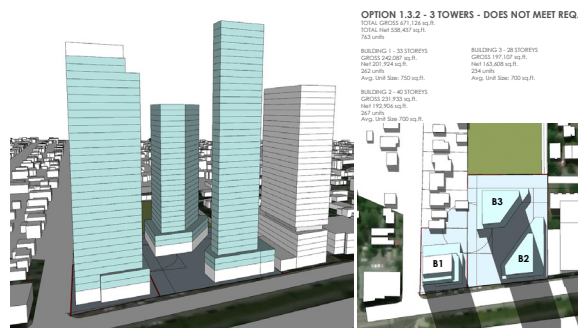
2026 SCOTT STREET
OPTION A - 3 TOWERS
21.09.01



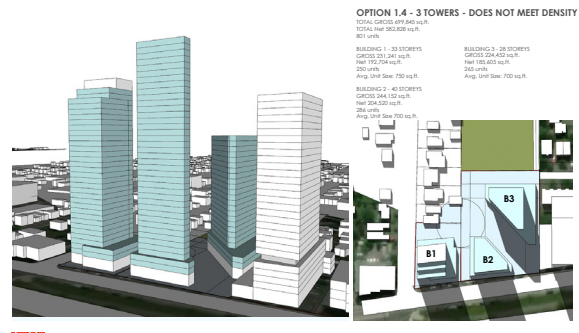
2026 SCOTT STREET
OPTION B - 3 TOWERS
21.09.01



2026 SCOTT STREET
OPTION 1.3 - 3 TOWERS - DOES NOT MEET DENSITY
21.07.30



2026 SCOTT STREET
OPTION 1.3.2 - 3 TOWERS - DOES NOT MEET REQ.
21.07.30



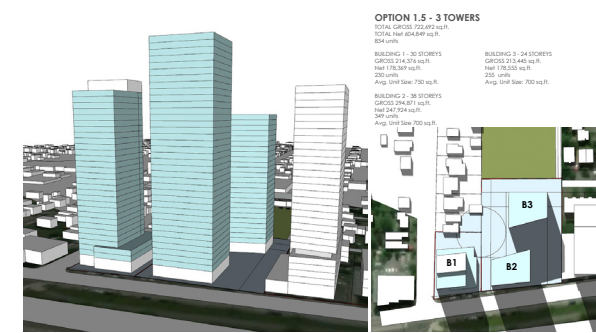
2026 SCOTT STREET
OPTION 1.4 - 3 TOWERS - DOES NOT MEET DENSITY
21.07.30



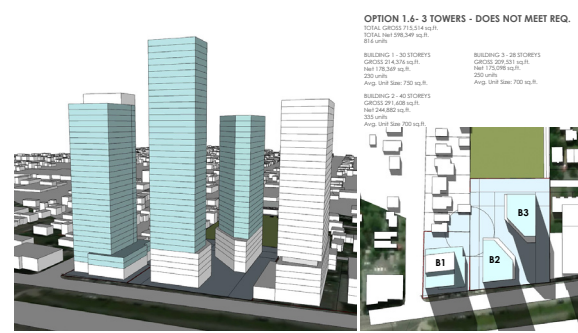
2026 SCOTT STREET
OPTION 1.10 - 3 TOWERS - DOES NOT MEET REQ.
21.07.30



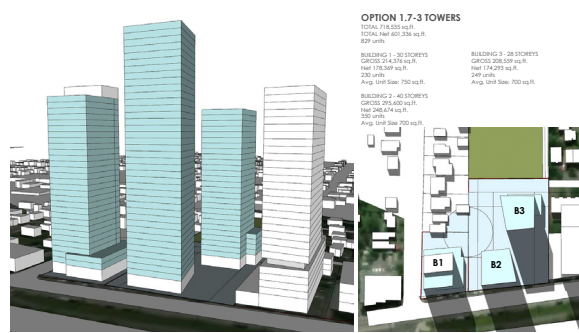
2026 SCOTT STREET
OPTION C - 3 TOWERS
21.08.03



2026 SCOTT STREET
OPTION 1.5 - 3 TOWERS
21.07.30

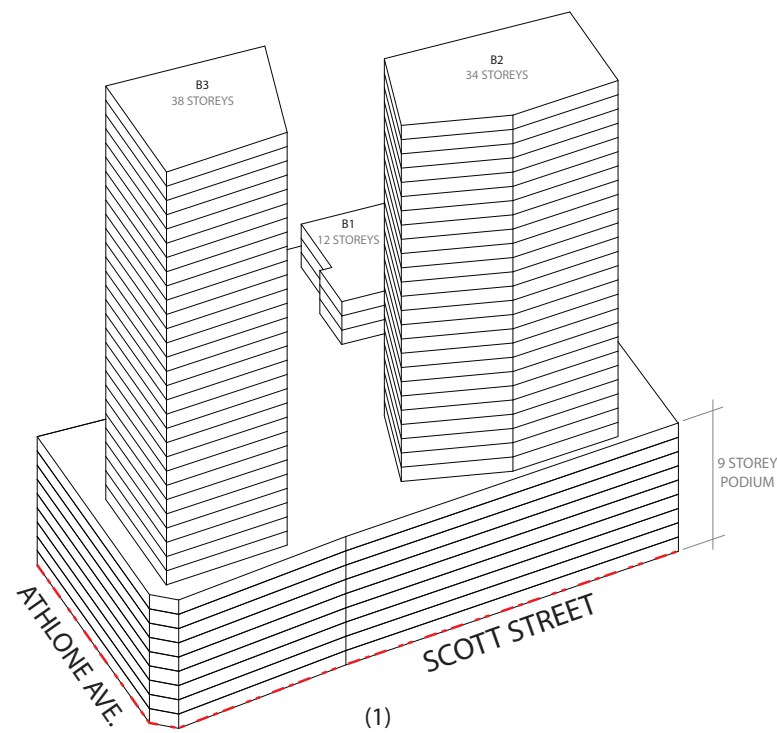
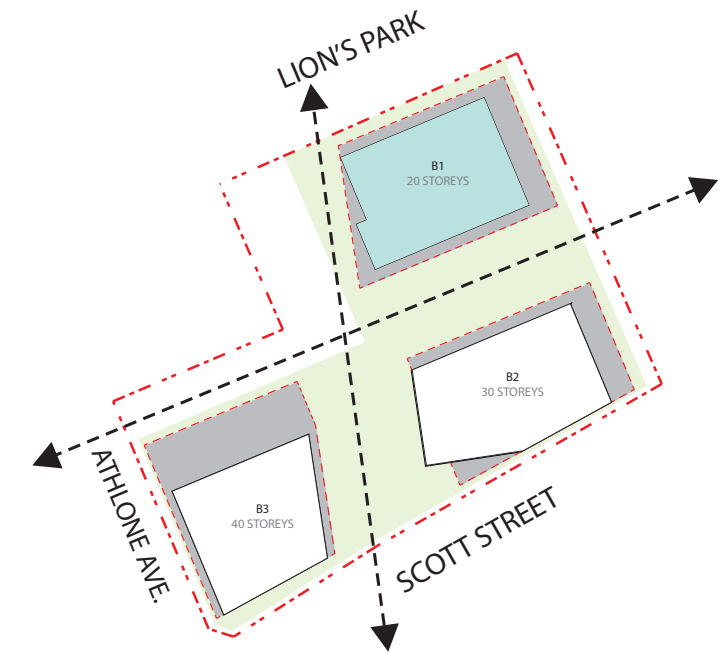
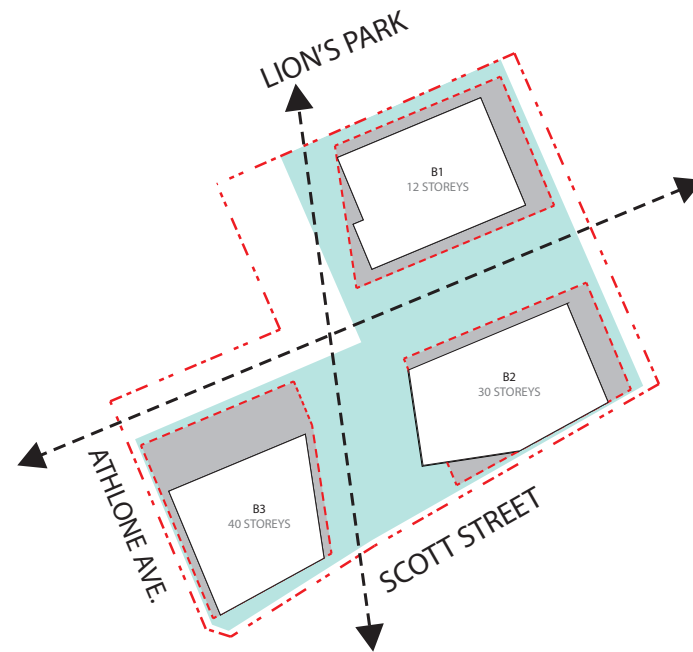
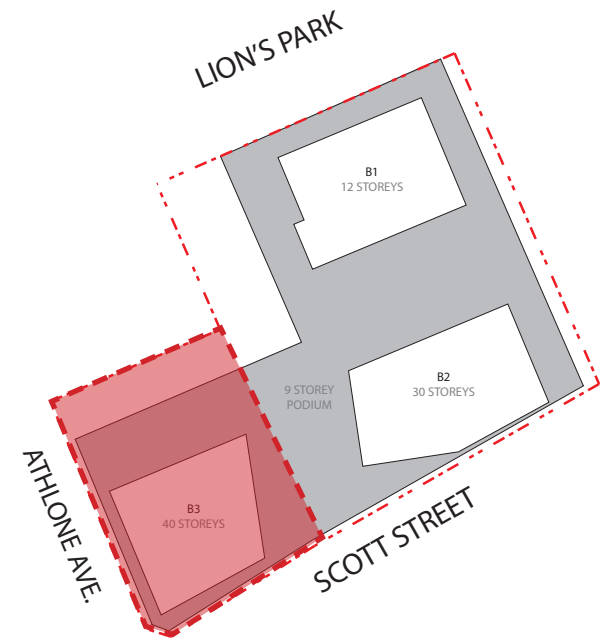


2026 SCOTT STREET
OPTION 1.4 - 3 TOWERS - DOES NOT MEET REQ.
21.07.30

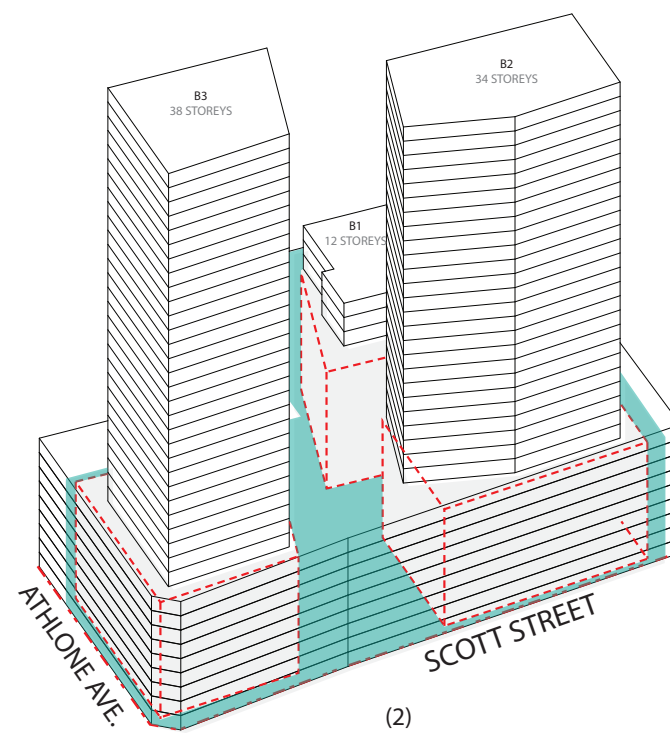


2026 SCOTT STREET
OPTION 1.7 - 3 TOWERS
21.07.30

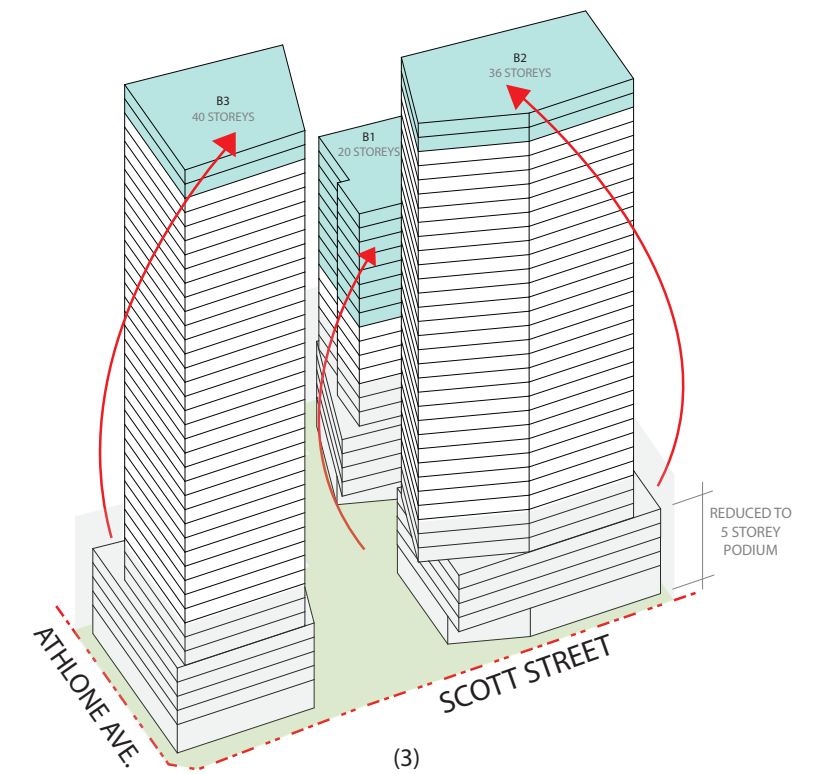
SCHEME 2 - 2022



(1)
9 STOREY PODIUM



(2)
CARVE OUT PUBLIC PLAZA
FROM 9 STOREY
PODIUM TO CREATE
PUBLICALLY ACCESSIBLE PARK
SPACE



(3)
REALLOCATE AREA FROM 9 STOREY
PODIUM TO BUILDING 1, 2 & 3 TO
ALLOW THE PUBLIC TO UTILIZE THE
PROPOSED PARK SPACE



2022 PROPOSAL KEY DESIGN NARRATIVES

BUILT FORM/URBAN FABRIC

PUBLIC SPACE

**STREET LEVEL ANIMATION / MIXED USED
VISIBILITY**

PEDESTRIAN EXPERIENCE



SCHEME 2 - 2022

Building 1 - 20 Storeys
Building 2 - 36 Storeys
Building 3 - 40 Storeys

Approved 30
storey building
located on
adjacent site

View from Scott Street towards the South

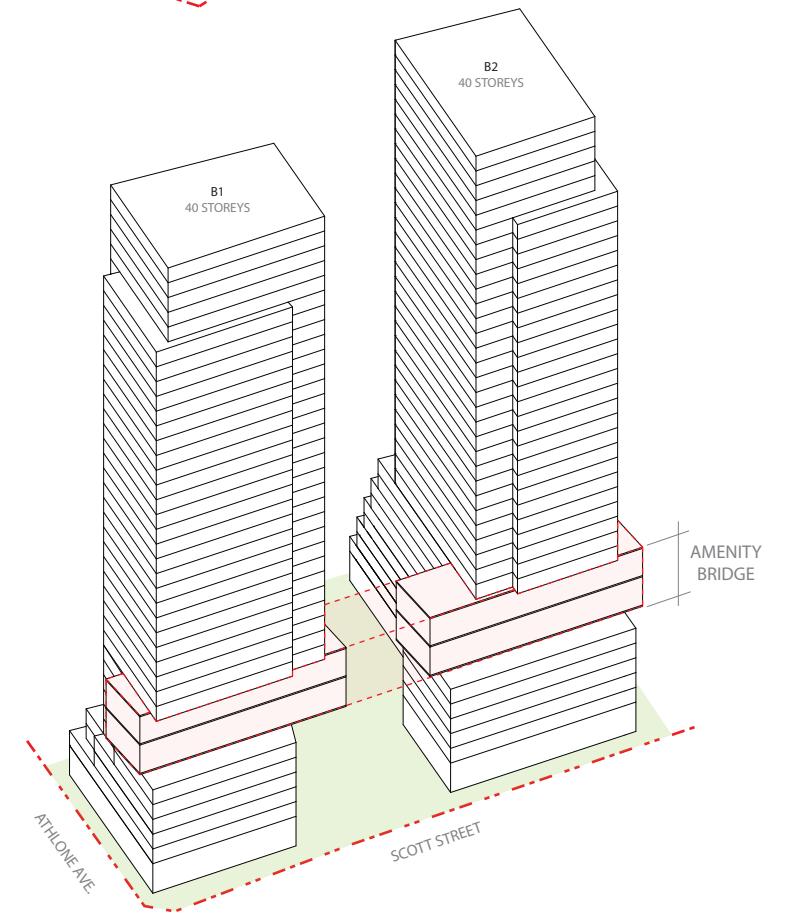
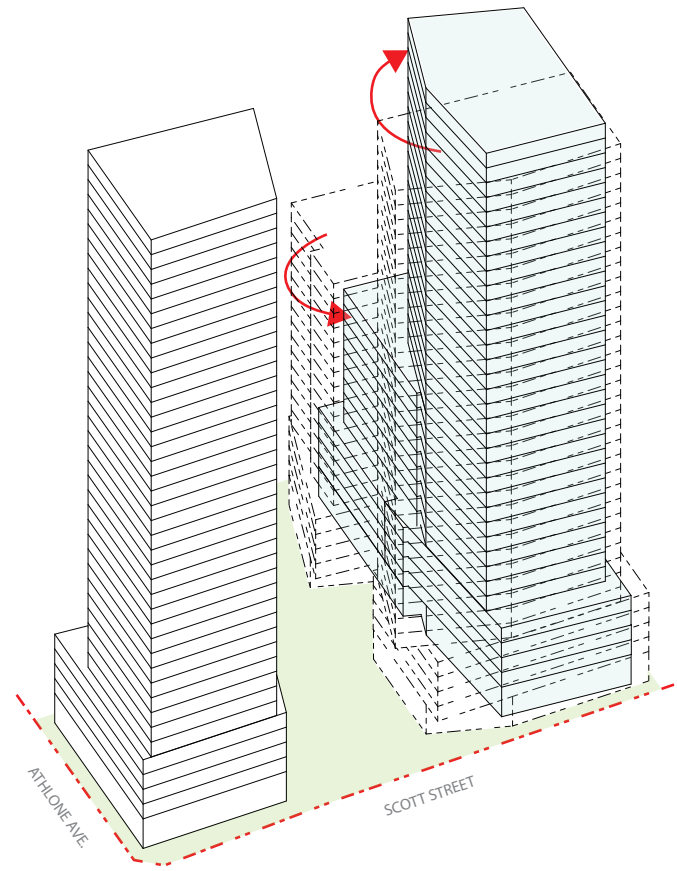
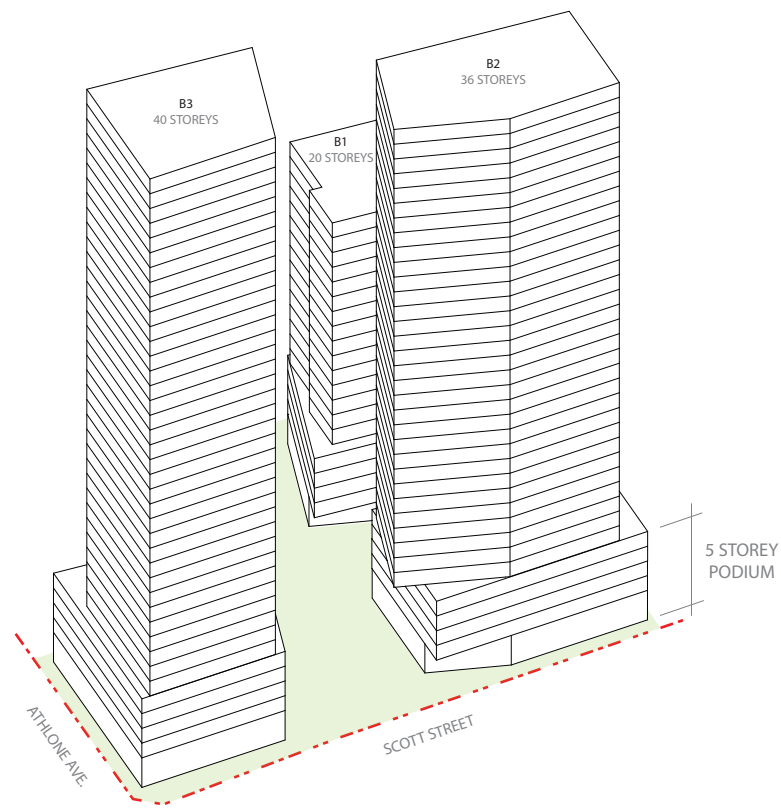
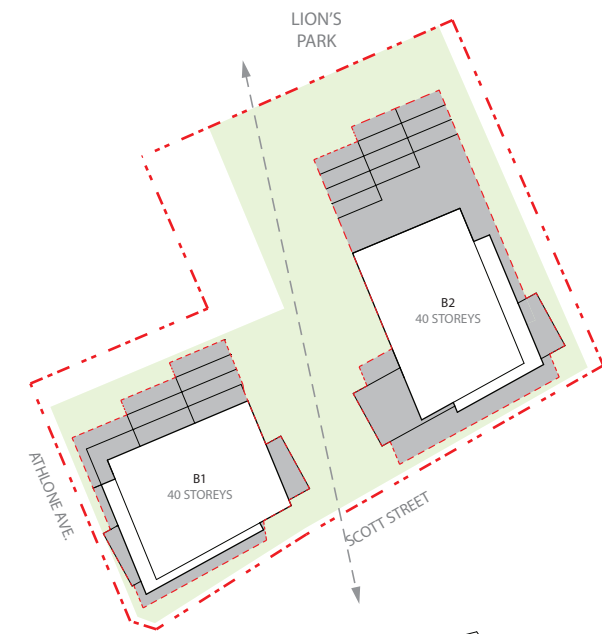
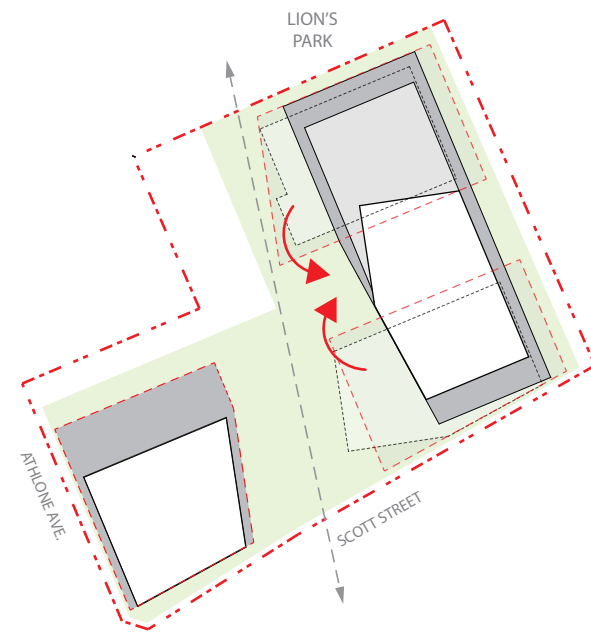
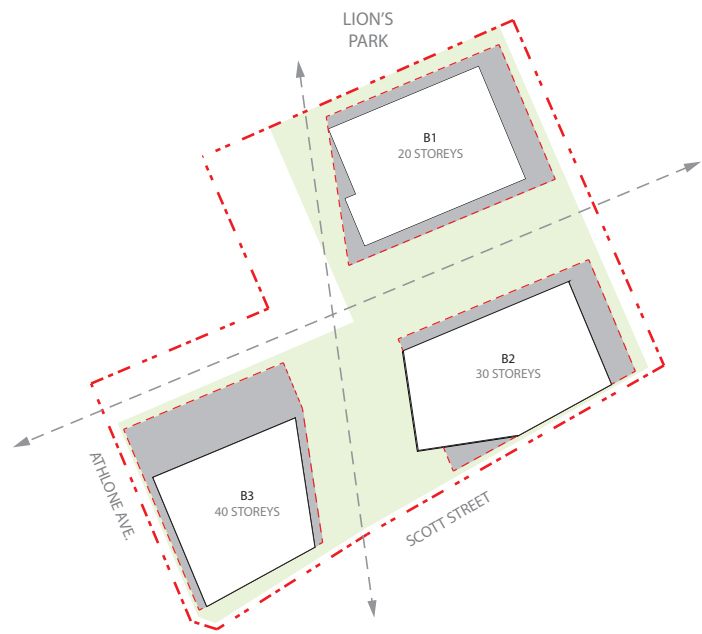
SCHEME 2 - 2022



An architectural rendering of a modern urban street scene. The image shows a wide street flanked by multi-story buildings with large windows and balconies. In the foreground, there are trees, outdoor seating areas with tables and chairs, and a few people walking. A car is visible on the street. The overall style is clean and contemporary, with a focus on urban design and public space.

CURRENT PROPOSAL

REVISED MASSING STRATEGY



(1)

ORIGINAL PROPOSAL FOR A THREE TOWER MASSING SCHEME

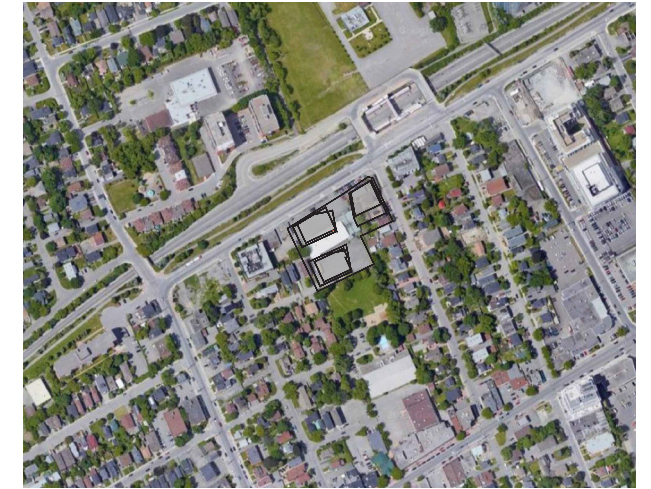
(2)

REDUCTION OF SKY PLANE IMPACT & INCREASE TOWER SEPARATION VIA BUILDING ROTATION AND REALLOCATION OF MASS

(3)

RE-SCULPTING OF BUILDING FORM FOR NEWLY PROPOSED TWO TOWER MASSING SCHEME

PROPOSED DEVELOPMENT



DEVELOPMENT STATISTICS:

TOTAL GROSS AREA: 757,839 SQ.FT.
TOTAL NET AREA: 610,644 SQ.FT.
TOTAL NO. OF UNITS: 850

BUILDING 1: 40 STOREYS
 GFA: 418,251 SQ.FT.
 NET: 338,483 SQ.FT.
 NO. OF UNITS: 470

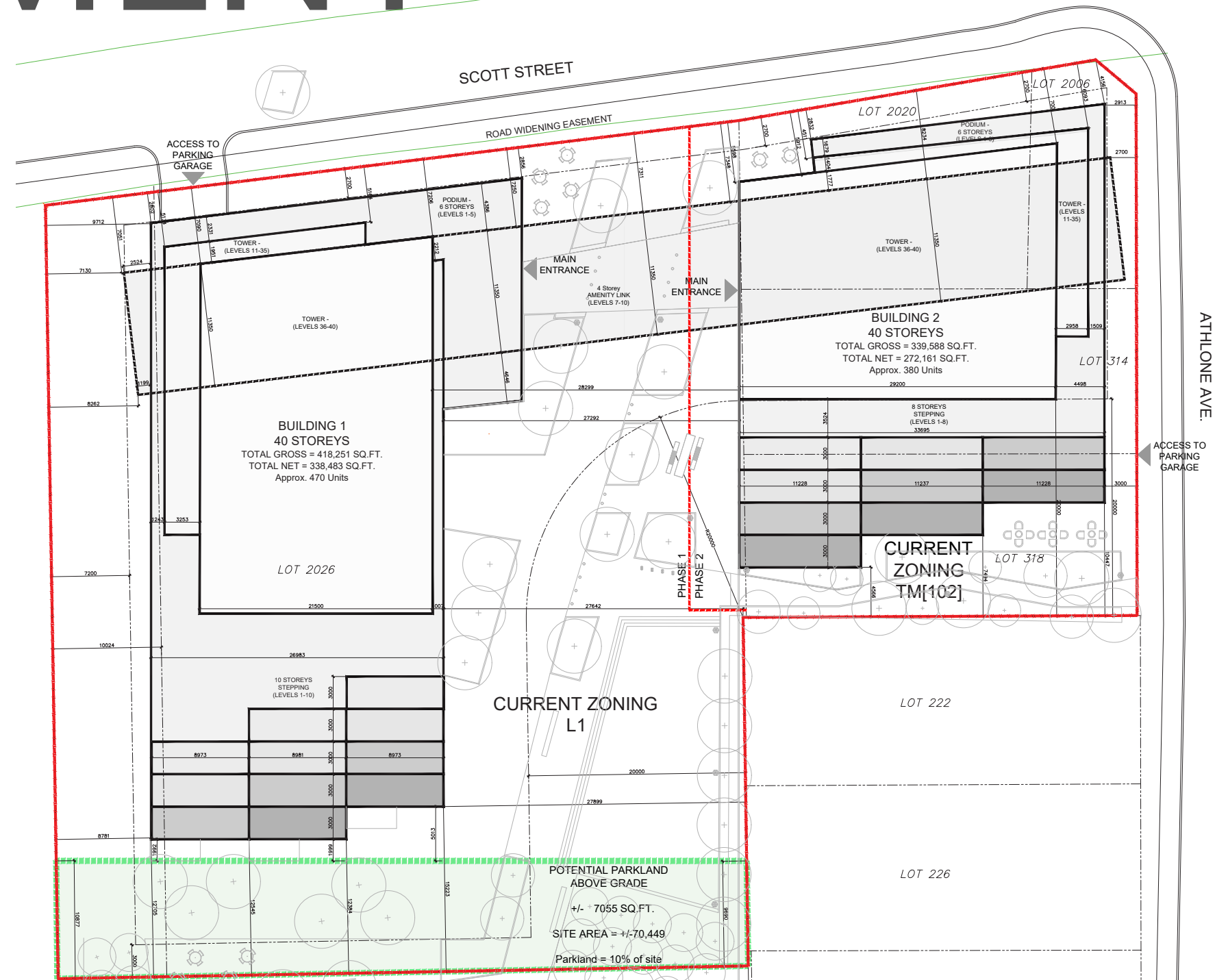
UNIT MIX BREAKDOWN:

	NO.	%
STUDIO	47	10%
1 BEDROOM	235	50%
1 BEDROOM + DEN	47	10%
2 BEDROOM	94	20%
2 BEDROOM + DEN	47	10%

BUILDING 2: 40 STOREYS
 GFA: 339,588 SQ.FT.
 NET: 272,161 SQ.FT.
 NO. OF UNITS: 380

UNIT MIX BREAKDOWN:

	NO.	%
STUDIO	38	10%
1 BEDROOM	190	50%
1 BEDROOM + DEN	38	10%
2 BEDROOM	76	20%
2 BEDROOM + DEN	38	10%





PROPOSED MASSING

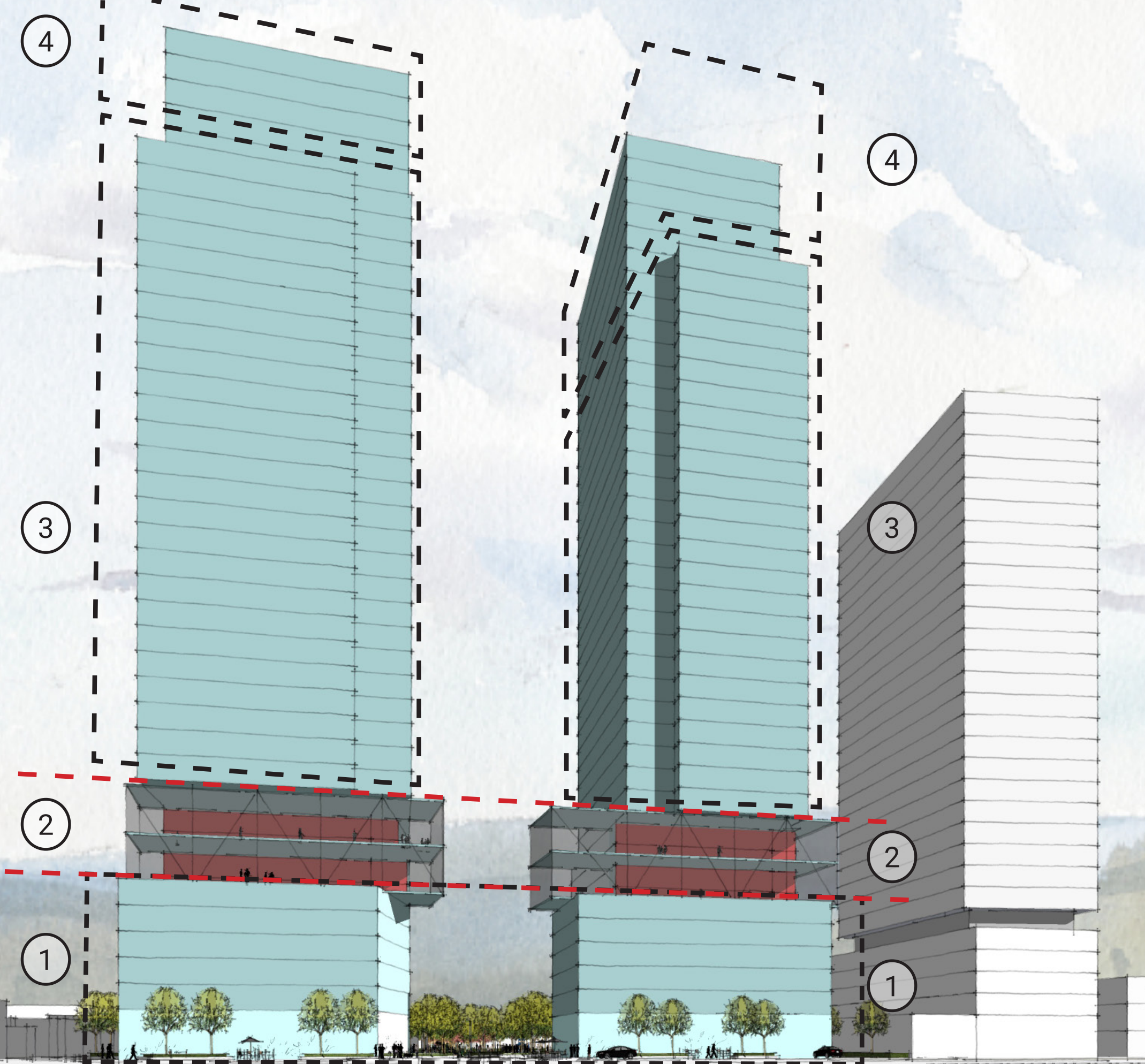


PROPOSED MASSING

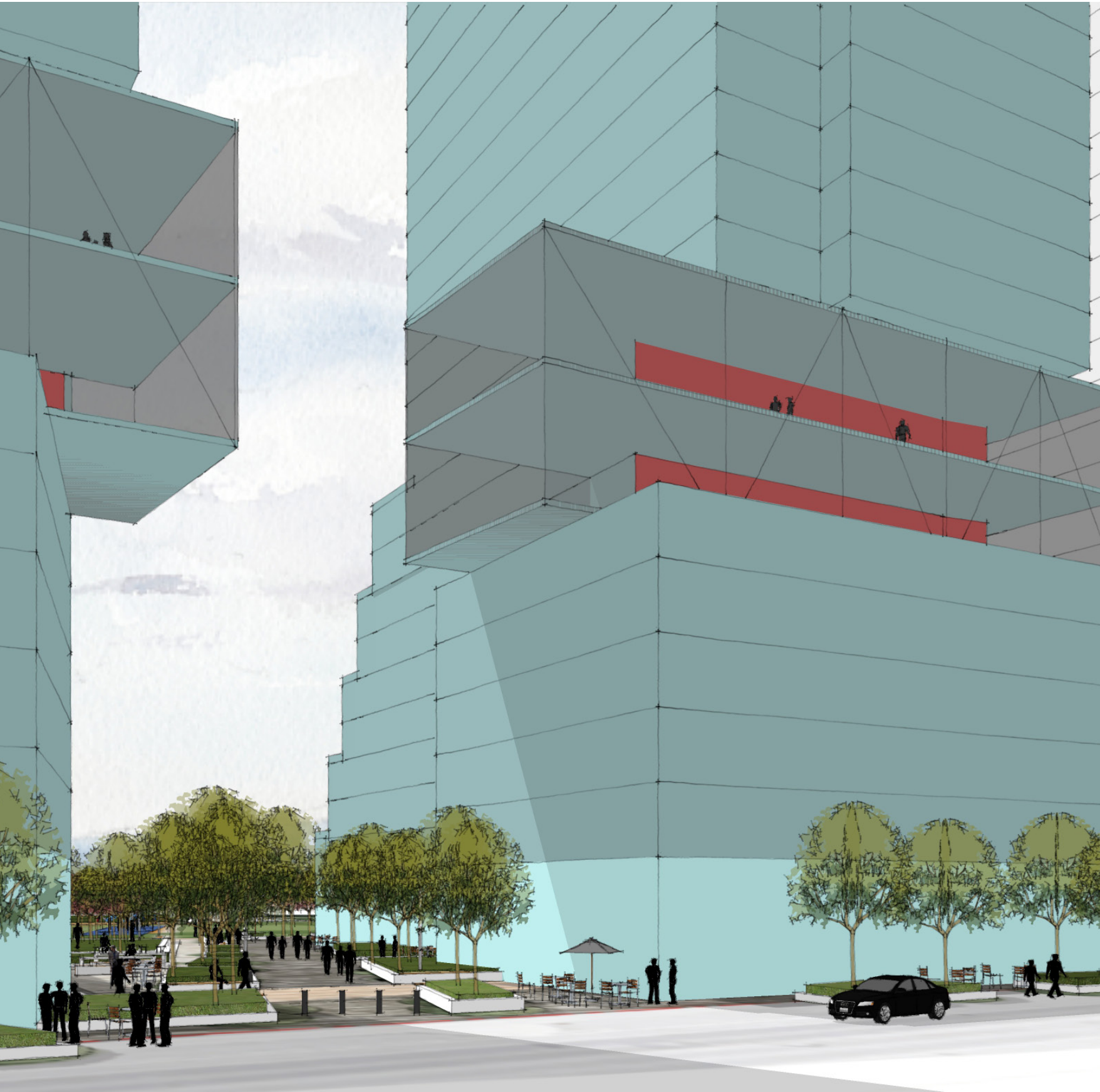


HIGH-RISE FORM

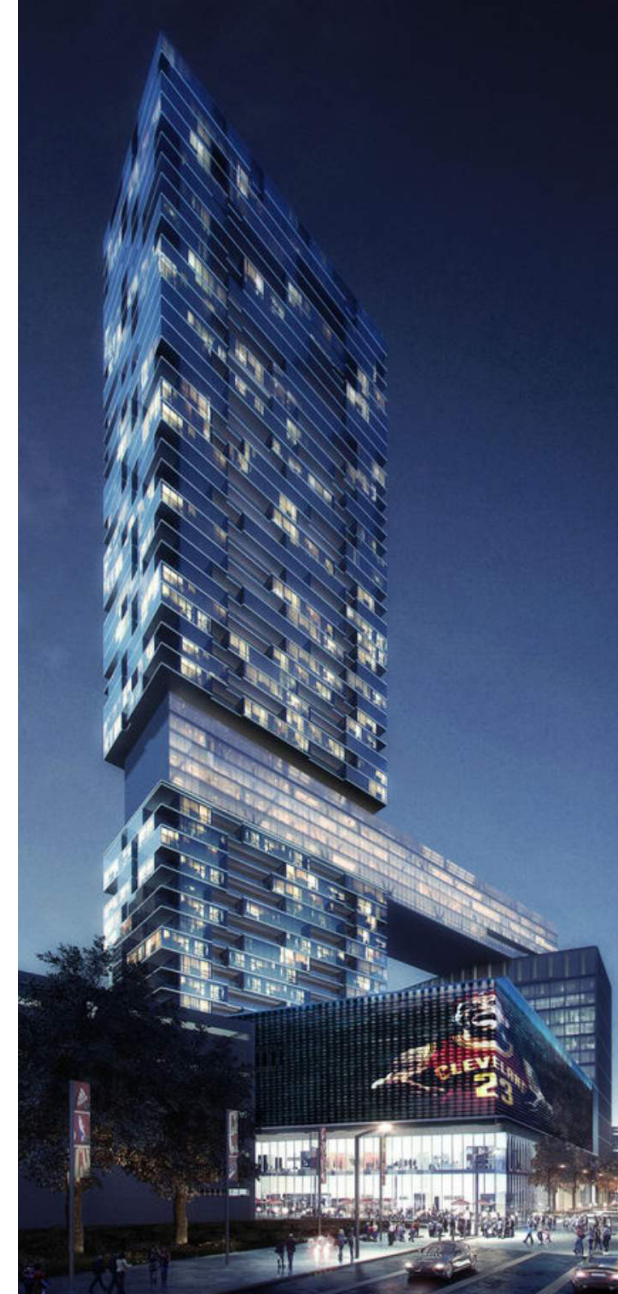
1. GROUND LEVEL ANIMATION AND PODIUM ARTICULATION
2. FEATURE AMENITY LEVEL
3. TOWER BODY
4. TOP



FEATURE AMENITY LEVEL

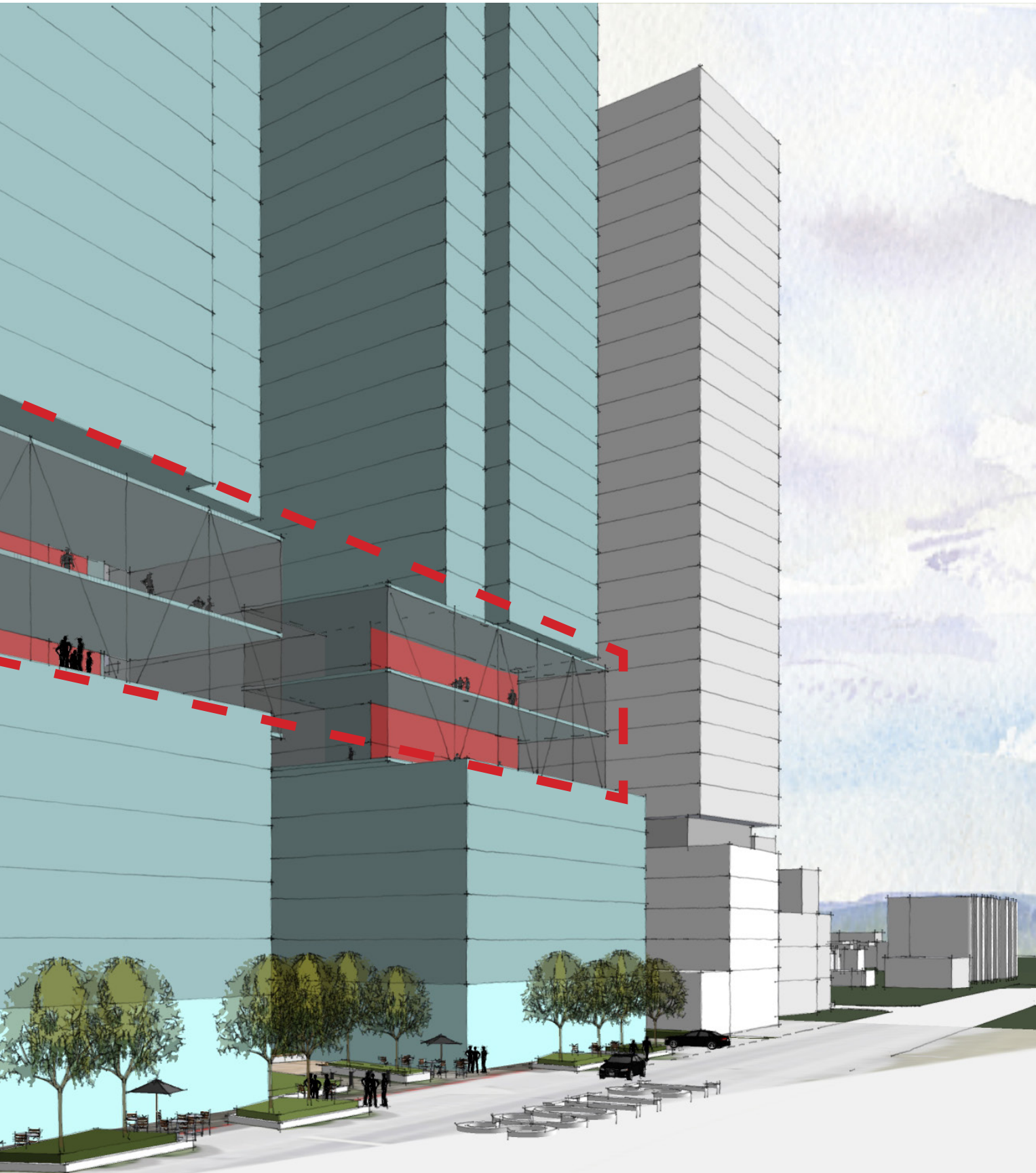


CONSIDER THE POTENTIAL FOR SEPARATE AMENITY COMPONENTS OR A SINGLE UNIFYING ELEMENT.



NUCLEUS TOWER
CLEVELAND, OHIO,
NBBJ ARCHITECTS

FEATURE AMENITY LEVEL



AMERICAN COPPER BUILDINGS
MANHATTAN, NYC,
SHOP ARCHITECTS

BUILT FORM/ URBAN FABRIC

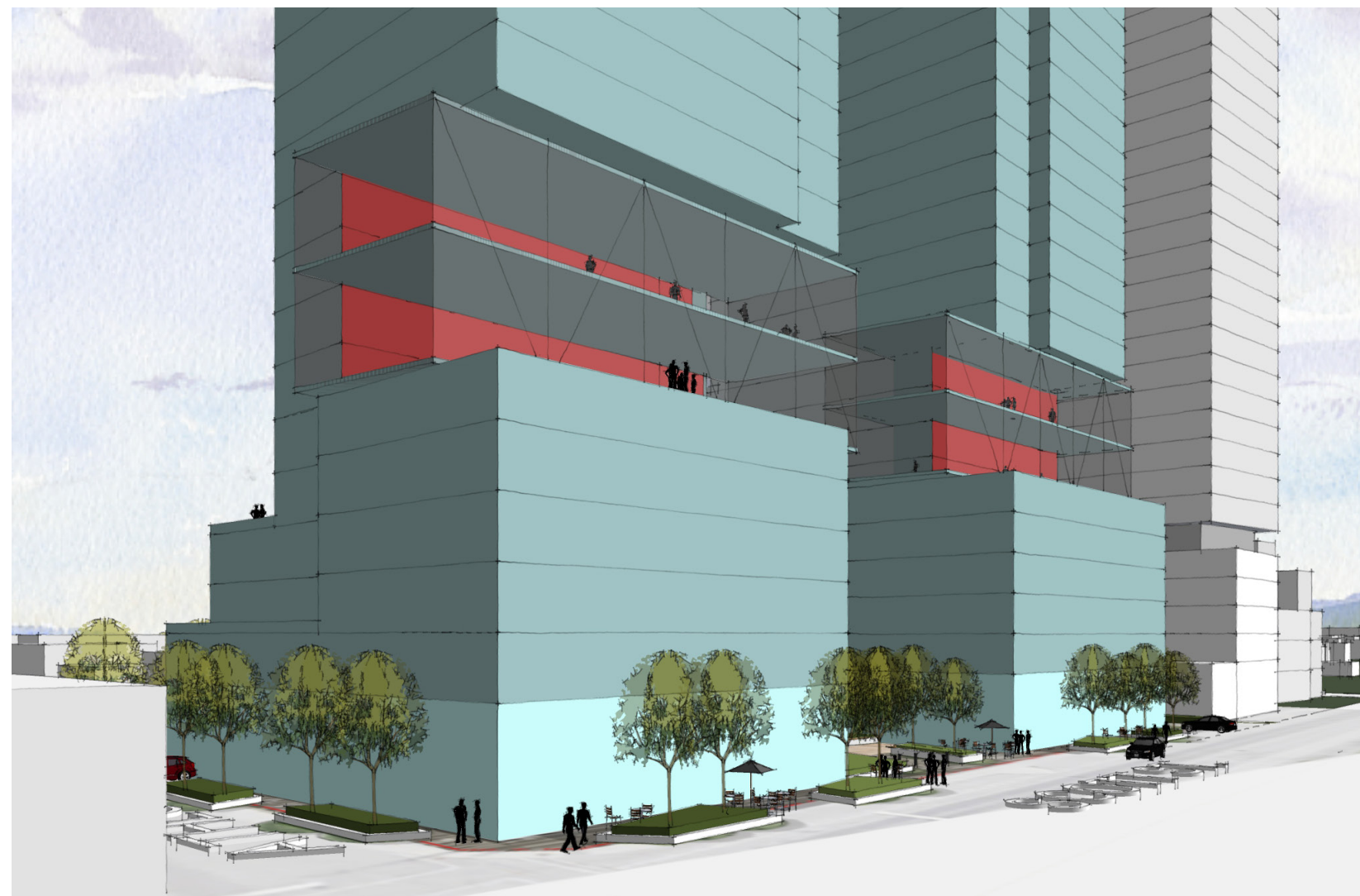
Engage the public by creating various types of spaces and environments through architecture and landscaping



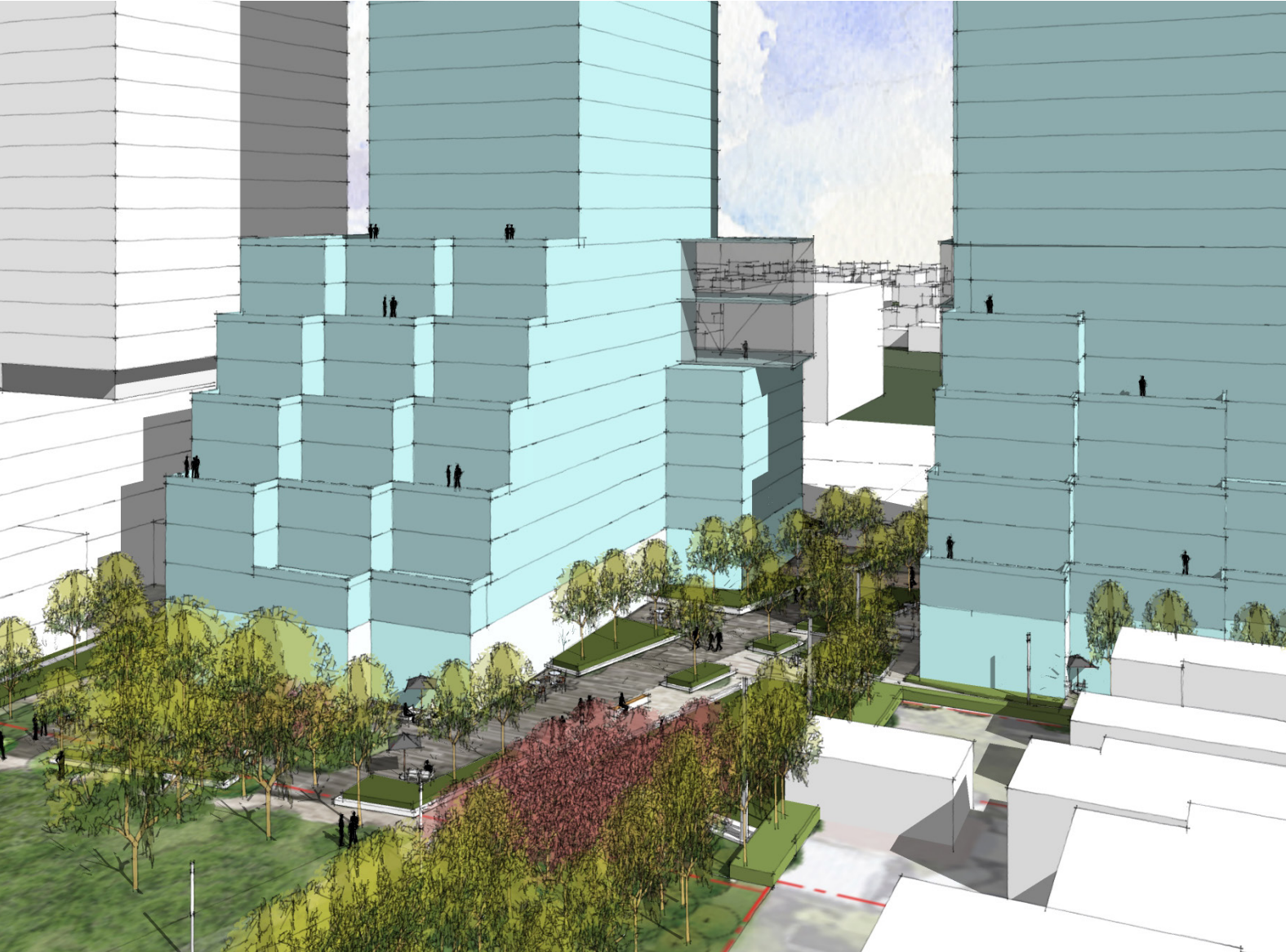
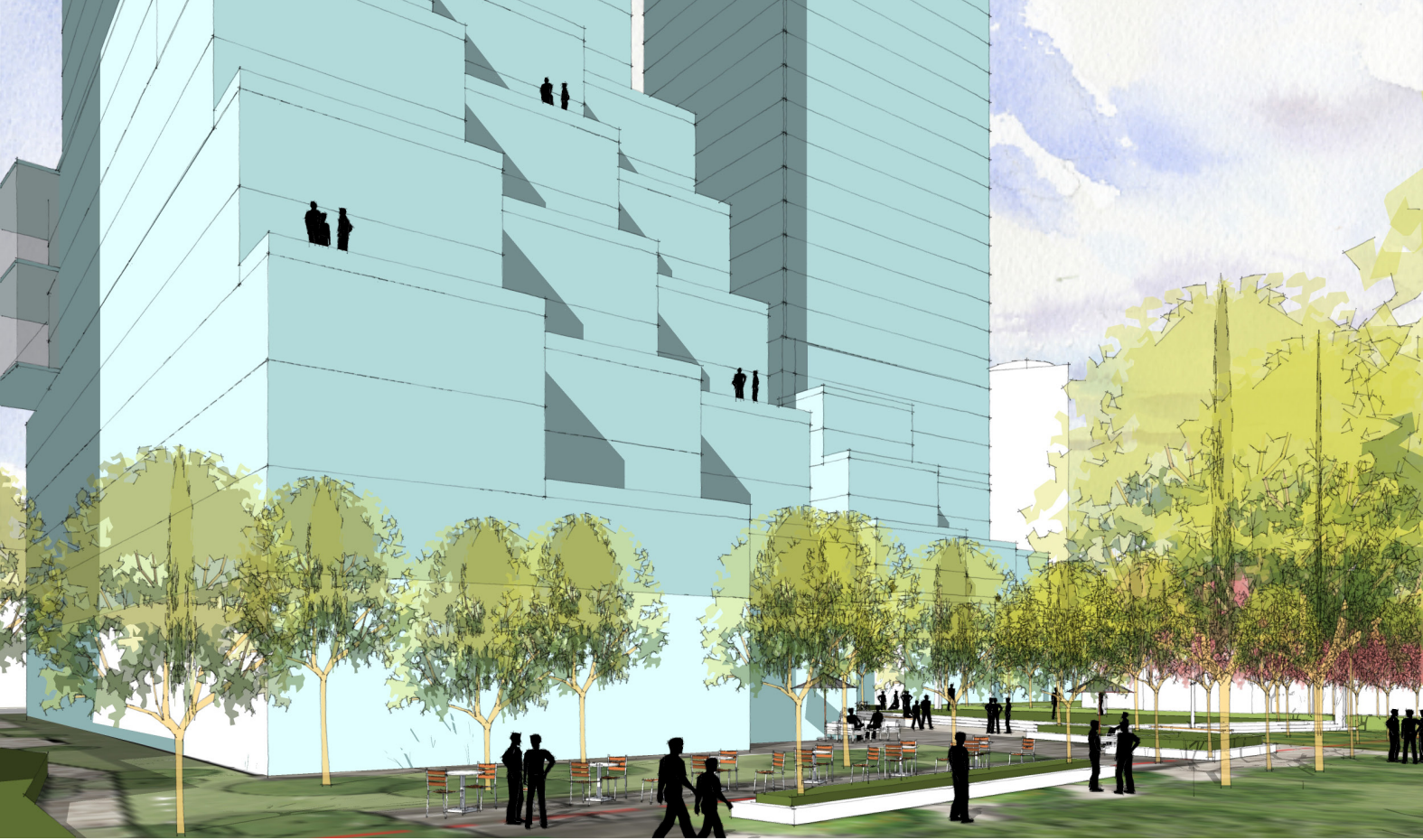
CONNECTING COOKSVILLE,
MISSISSAUGA, ON,
TAS



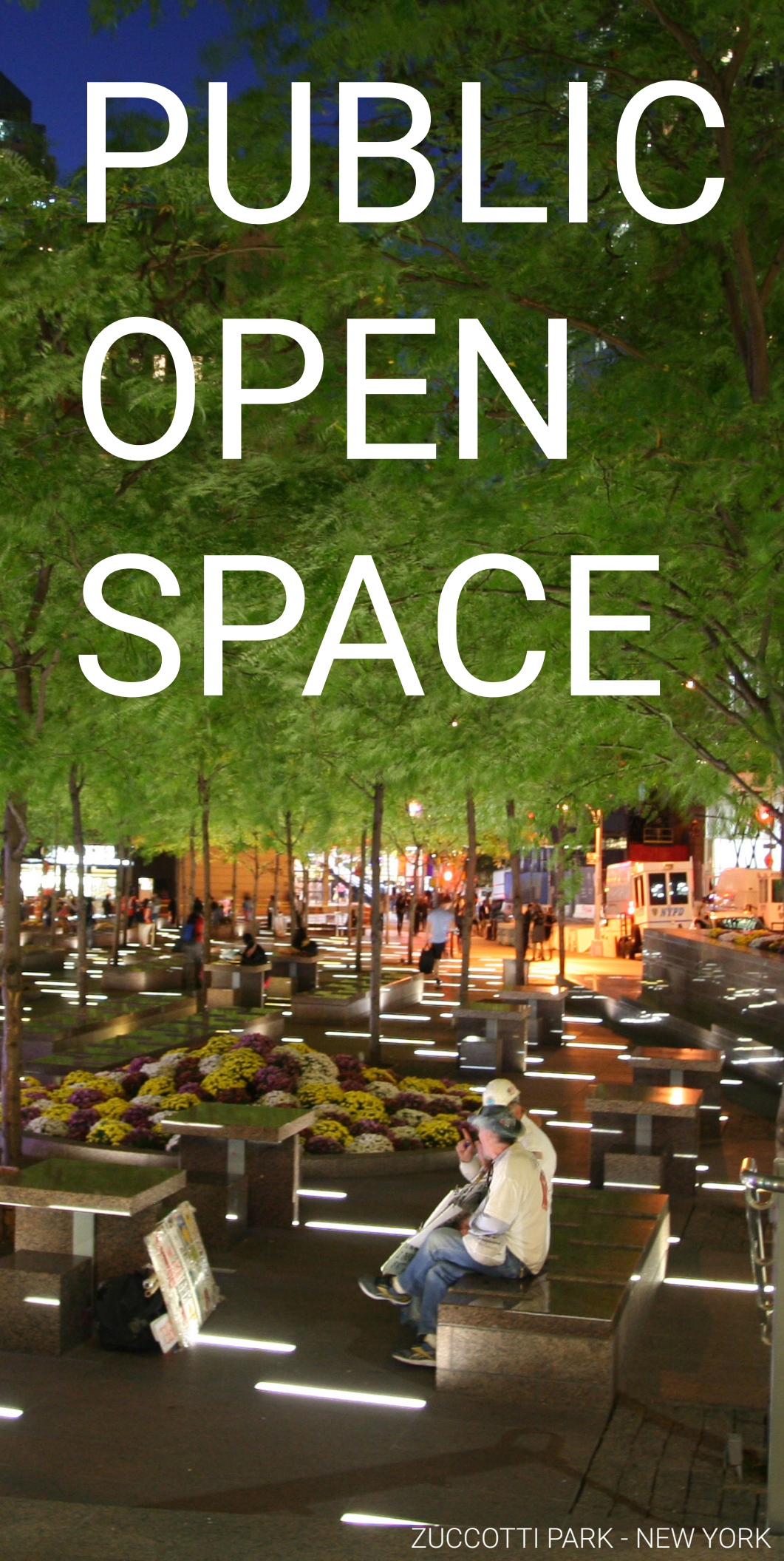
SIX STOREY PODIUM,
FAYNA TOWN,
KIEV, UKRAINE,
ARCHIMATIKA



Consider the existing context and address transition to Lions park and existing context through architectural articulation and landscaping



PUBLIC OPEN SPACE



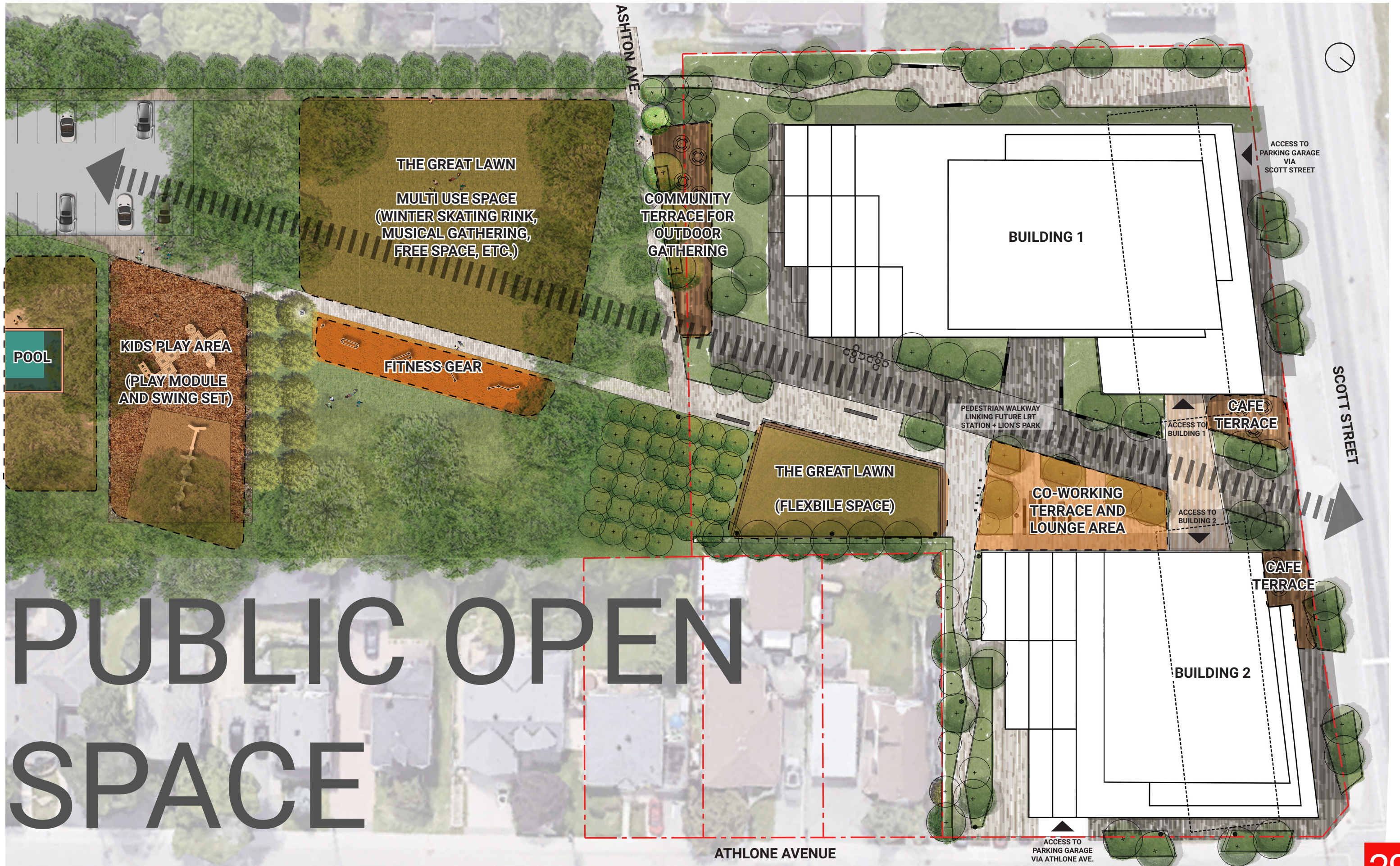
ZUCCOTTI PARK - NEW YORK



LEVINSON PLAZA,
MISSION PARK, BOSTON, MA

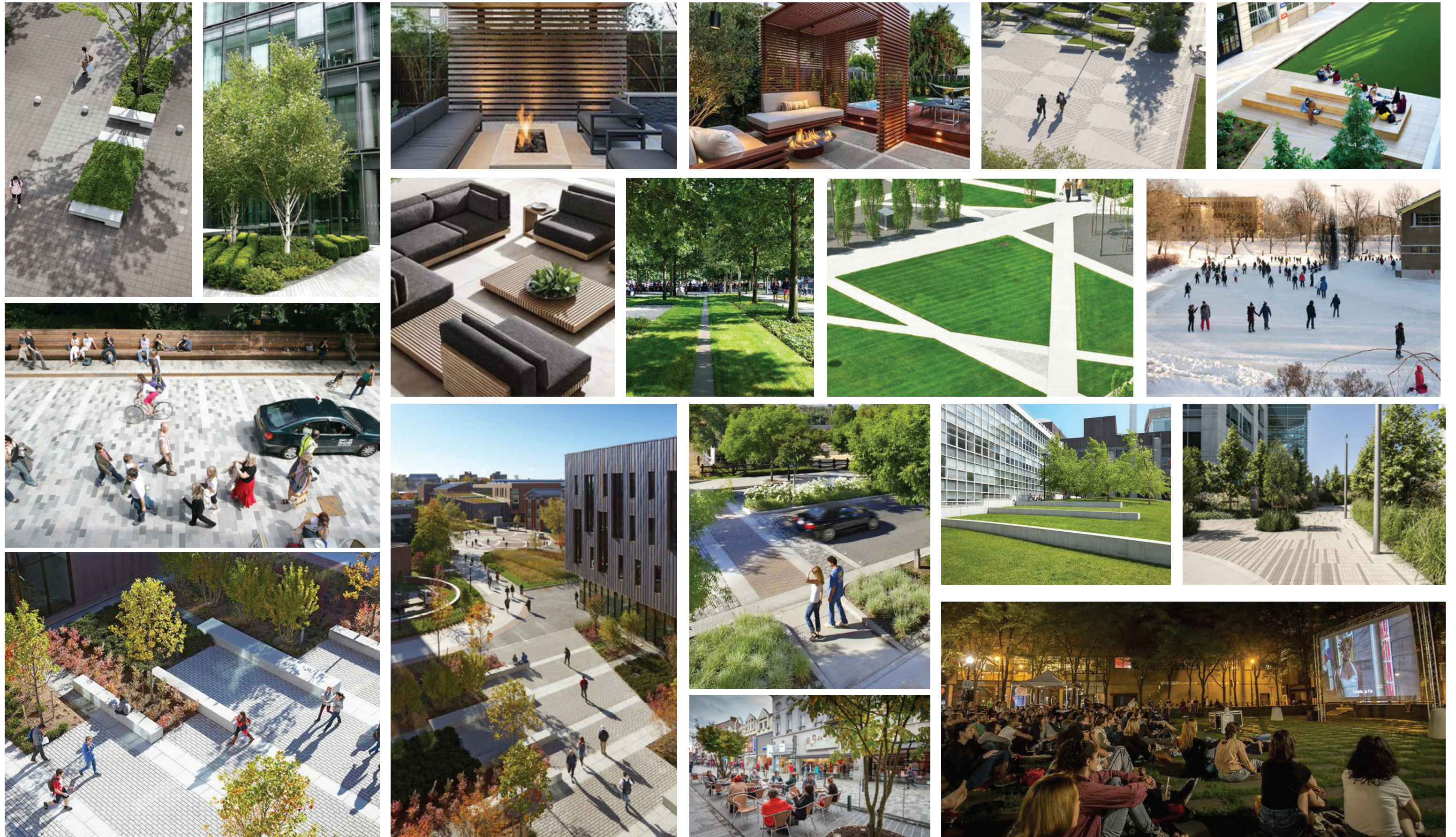


POLK BROS PARK - CHICAGO



PUBLIC OPEN SPACE

LANDSCAPE CONCEPT | REFERENCE IMAGES

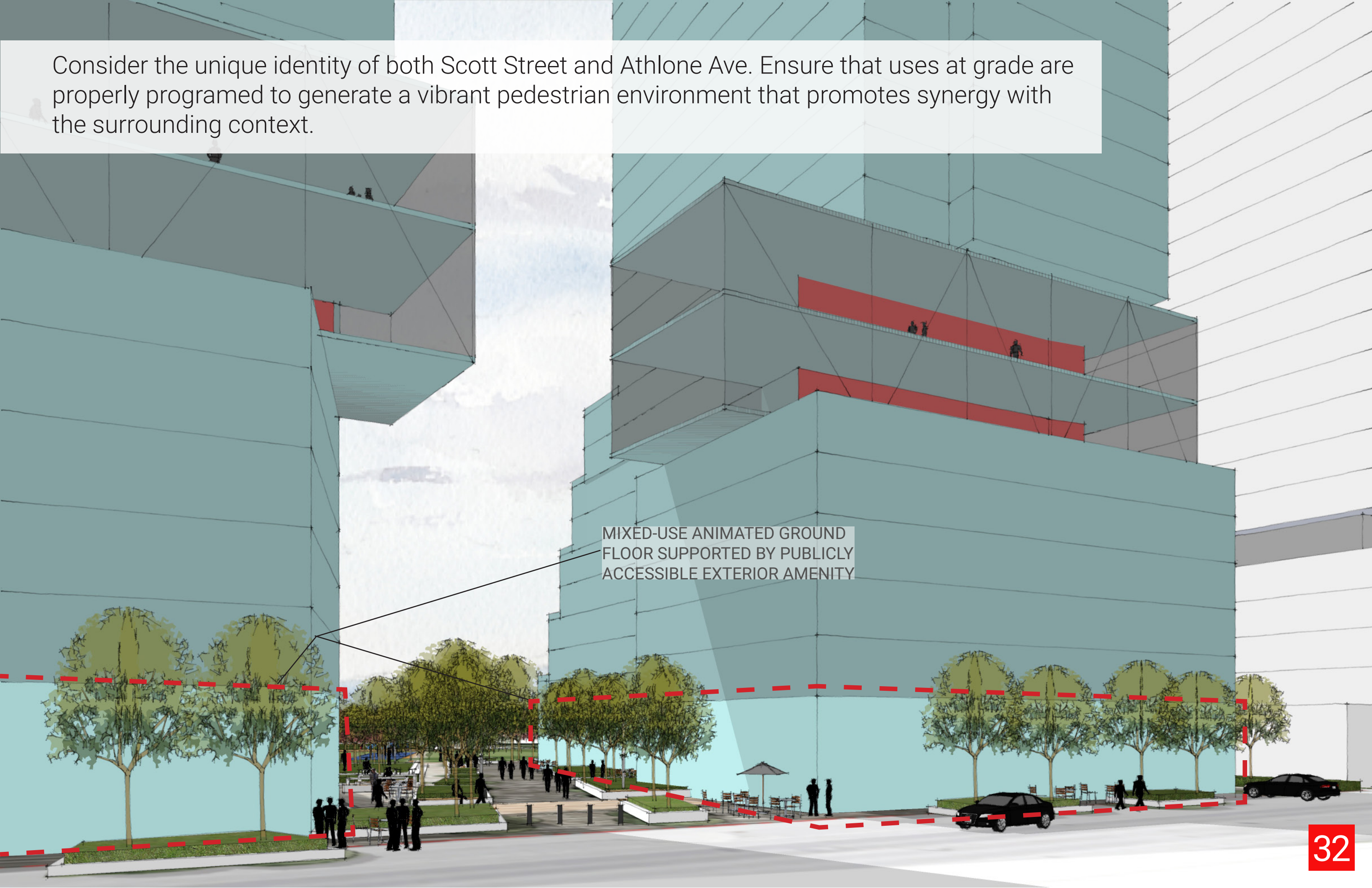


STREET ANIMATION / MIXED USE VISIBILITY



Consider the unique identity of both Scott Street and Athlone Ave. Ensure that uses at grade are properly programed to generate a vibrant pedestrian environment that promotes synergy with the surrounding context.

MIXED-USE ANIMATED GROUND FLOOR SUPPORTED BY PUBLICLY ACCESSIBLE EXTERIOR AMENITY



STREET ANIMATION MIXED USE VISIBILITY



WESTBORO STATION OTTAWA

Create a balance of retail, commercial and residential uses that promote synergy. Ensure retailers are highly visible and are functionally supported by parking and loading



ZIBI- OTTAWA

PEDESTRIAN EXPERIENCE

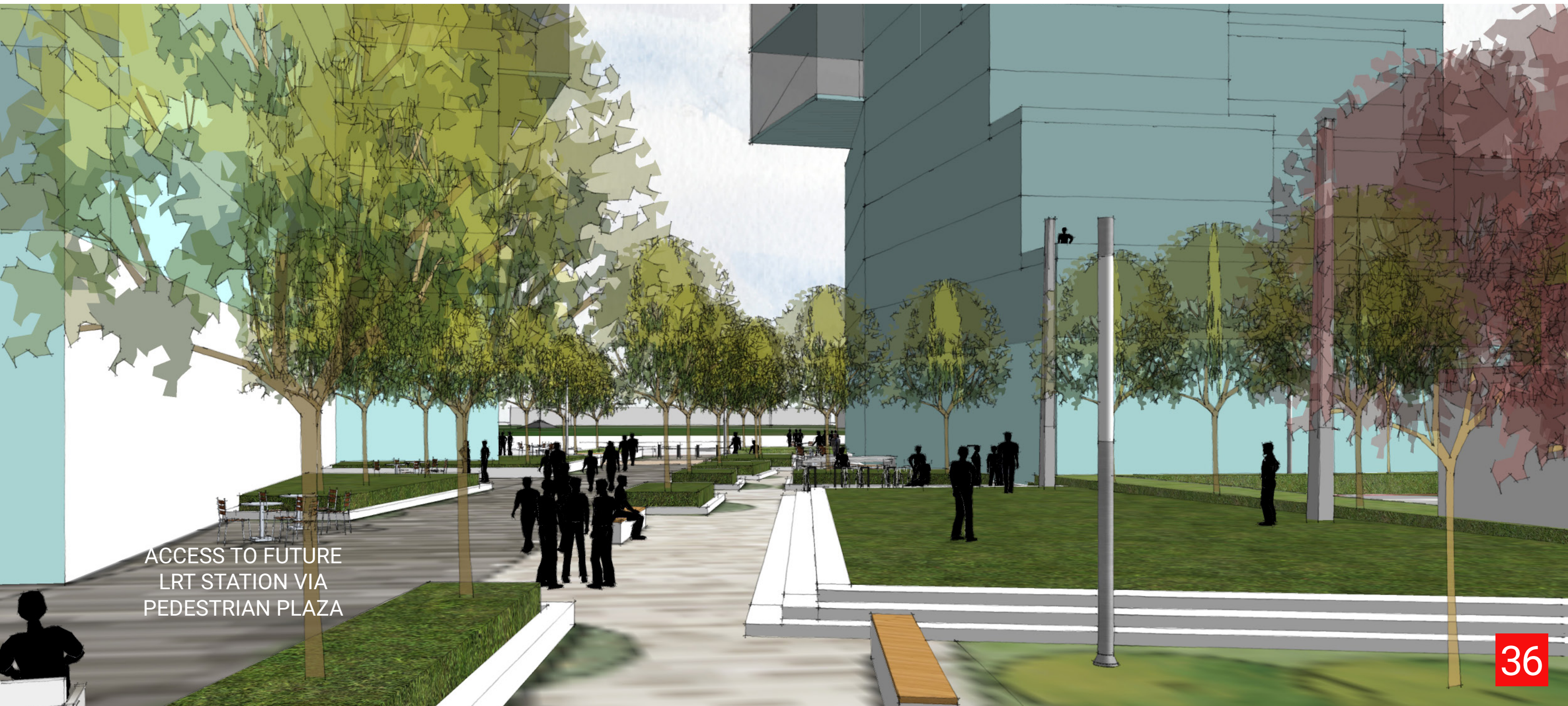


PEDESTRIAN EXPERIENCE

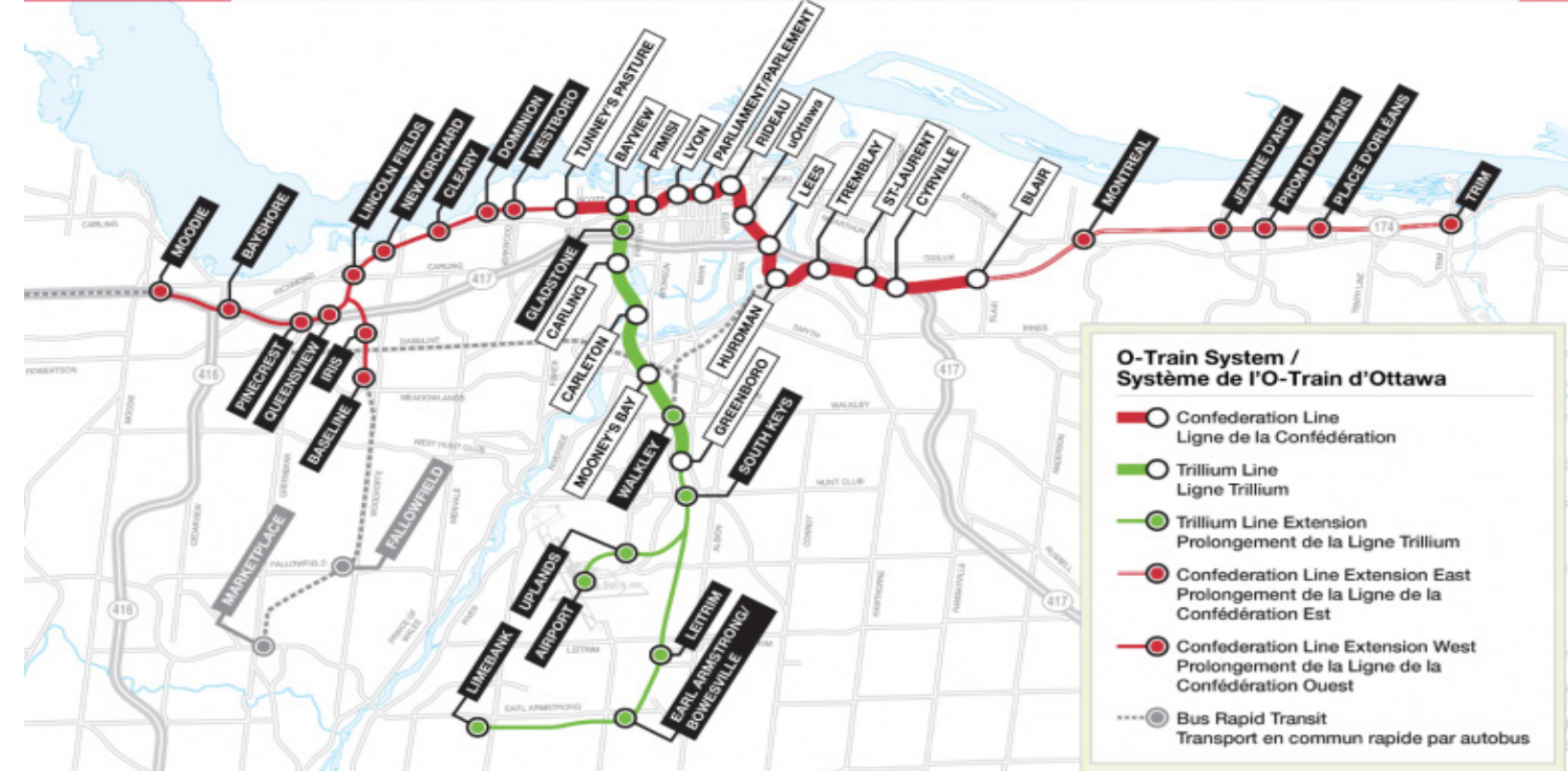


Create a desirable pedestrian environment through proper design of streets, architecture and public spaces

PEDESTRIAN EXPERIENCE



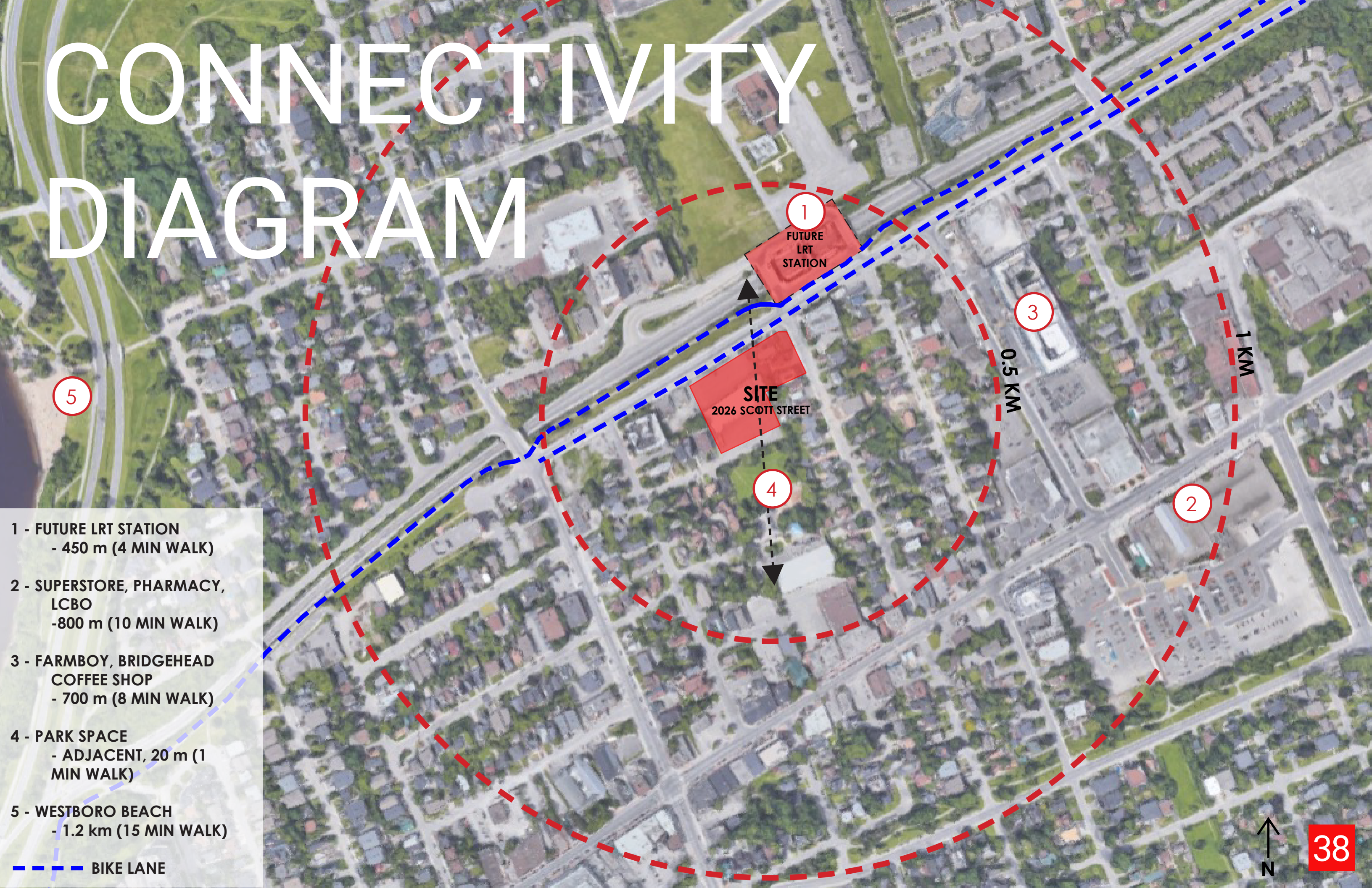
ACCESS TO FUTURE
LRT STATION VIA
PEDESTRIAN PLAZA



CONNECTIVITY

Located adjacent to a important transit hub, this site offers our future residents unique public transit opportunities for inner city and outer city commuting.

CONNECTIVITY DIAGRAM



5

1

FUTURE
LRT
STATION

SITE
2026 SCOTT STREET

3

0.5 KM

1 KM

2

4

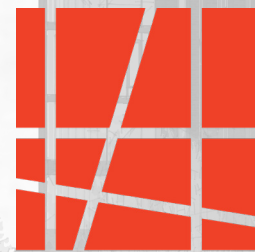
- 1 - FUTURE LRT STATION
- 450 m (4 MIN WALK)
- 2 - SUPERSTORE, PHARMACY,
LCBO
- 800 m (10 MIN WALK)
- 3 - FARMBOY, BRIDGEHEAD
COFFEE SHOP
- 700 m (8 MIN WALK)
- 4 - PARK SPACE
- ADJACENT, 20 m (1
MIN WALK)
- 5 - WESTBORO BEACH
- 1.2 km (15 MIN WALK)

BIKE LANE



THANK YOU

FOTENN
PLANNING+DESIGN



HOBIN
ARCHITECTURE

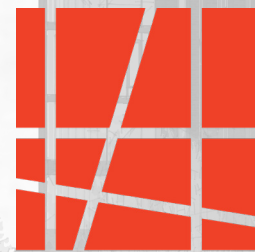
PROJET | PAYSAGE

**COLONNADE
BRIDGEPORT**
Property Investment & Management

**MORLEY
HOPPNER**

APPENDIX

FOTENN
PLANNING+DESIGN

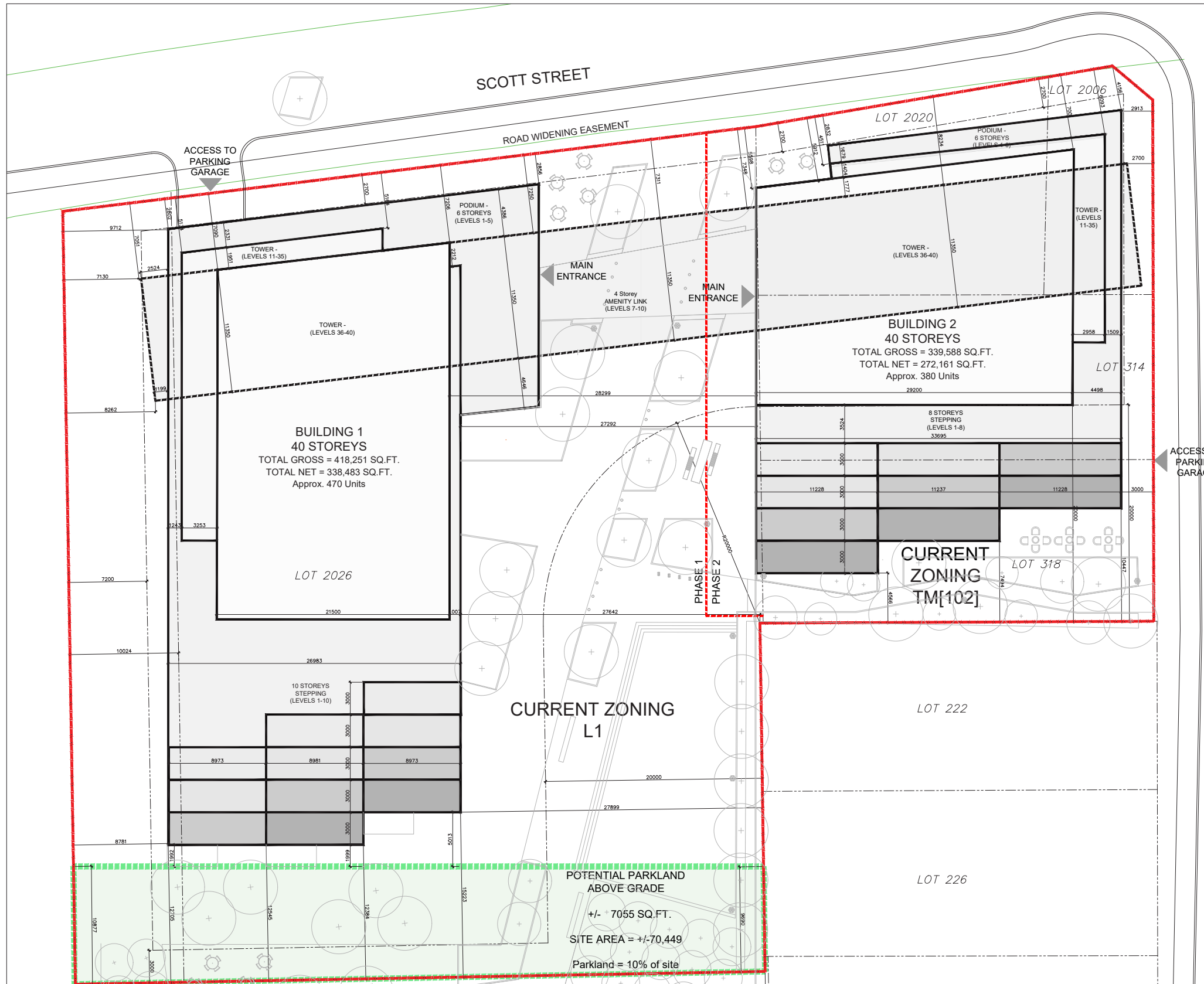


HOBIN
ARCHITECTURE

PROJET | PAYSAGE

**COLONNADE
BRIDGEPORT**
Property Investment & Management

**MORLEY
HOPPNER**



BUILDING 1 - PHASE 1		REQUIRED	PROPOSED	
TOTAL UNIT COUNT				
STUDIOS			47	10%
1 BEDROOM			235	50%
1 BEDROOM + DEN			47	10%
2 BEDROOM			34	20%
2 BEDROOM + DEN			47	10%
MAXIMUM HEIGHT				
				12.3m
NUMBER OF STOREYS				
				40 STOREYS
AREA - BUILDING AREA				
			1734 SQ.M.	
AREA - TYPICAL PODIUM				
			1734 SQ.M.	
AREA - TYPICAL PLATE				
			843 SQ.M.	
AREA - TOTAL GFA				
			+/- 38,857 SQ.M.	
BUILDING 1 PARKING REQUIREMENTS				
LAND USE	REQUIRED VEHICLE PARKING			
APARTMENT	235 RESIDENTIAL PARKING SPACES REQUIRED FOR 470 UNITS (0.5/UNIT)			
2. REQUIRED VISITOR PARKING				
LAND USE	REQUIRED VISITOR PARKING			
APARTMENT	47 VISITOR PARKING SPACES REQUIRED FOR 470 UNITS (0.10/UNIT)* LOCATED IN PARKING GARAGE			
TOTAL PARKING REQUIRED				
	282 TOTAL PARKING SPACES REQUIRED (ALL INTERIOR)			

BUILDING 2 - PHASE 2		REQUIRED	PROPOSED	
TOTAL UNIT COUNT				
STUDIOS			38	10%
1 BEDROOM			190	50%
1 BEDROOM + DEN			38	10%
2 BEDROOM			76	20%
2 BEDROOM + DEN			38	10%
MAXIMUM HEIGHT				
				12.3m
NUMBER OF STOREYS				
				40 STOREYS
AREA - BUILDING AREA				
			1115 SQ.M.	
AREA - TYPICAL PODIUM				
			1115 SQ.M.	
AREA - TYPICAL PLATE				
			760 SQ.M.	
AREA - TOTAL GFA				
			+/- 31,549 SQ.M.	
BUILDING 2 PARKING REQUIREMENTS				
LAND USE	REQUIRED VEHICLE PARKING			
CONDO	190 RESIDENTIAL PARKING SPACES REQUIRED FOR 380 UNITS (0.5/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE			
2. REQUIRED VISITOR PARKING				
LAND USE	REQUIRED VISITOR PARKING			
CONDO	38 VISITOR PARKING SPACES PROVIDED FOR 380 UNITS (0.1/UNIT) * LOCATED IN PARKING GARAGE			
TOTAL PARKING REQUIRED				
	228 TOTAL PARKING SPACES REQUIRED (ALL INTERIOR)			



ZONING NOTES:
CURRENT ZONING: WEST PARCEL L1, EAST PARCELS TM[102]

LOT AREA : 6,686 m²
DEVELOPMENT STATS PHASE 1 + PHASE 2

	REQUIRED	PROPOSED
LOT WIDTH		101.4m IRREGULAR
LOT DEPTH		75.3m IRREGULAR
FRONT YARD SETBACK	SCOTT STREET 3m	VARIES - 2.8-5.8m
REAR YARD SETBACK	7.5m	VARIES-4.5-15.2m
SIDE YARD SETBACK	ATHLONE AVE. 3m	VARIES-2.9-3.0m
INTERIOR SIDE YARD SETBACK	7.5m	VARIES-7.1-8.7m

AMENITY SPACE REQUIREMENTS
REQUIRED AMENITY SPACE: 8 m² REQUIRED PER UNIT
850 UNITS X 6 SQ.M. = 5100 SQ.M. TOTAL AMENITY REQUIRED
REQUIRED AMENITY SPACE TO BE COMMON = 2550 SQ.M.
PROVIDED COMMON AMENITY SPACE = 2550 SQ.M.

BUILDING	NO. OF STOREYS	PROPOSED
BUILDING 1	40 STOREYS	
BUILDING 2	40 STOREYS	



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DRAFT

no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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PROJECT LOCATION:
MORLEY HOPPNER LTD.
2026 SCOTT STREET
OTTAWA ON.

DRAWING TITLE:
SITE PLAN

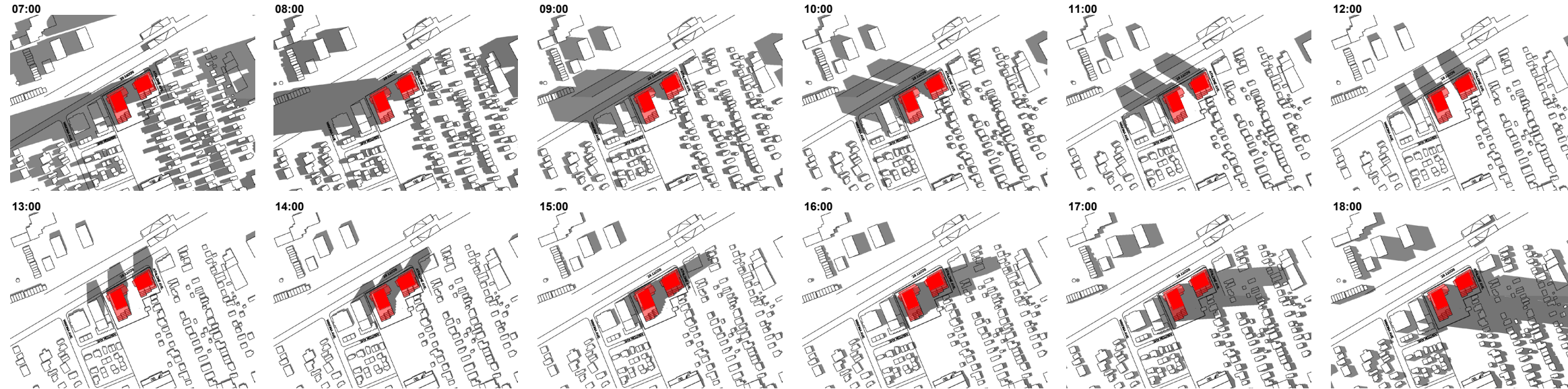
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PB 22-04-05 1:100

PROJECT:
2026

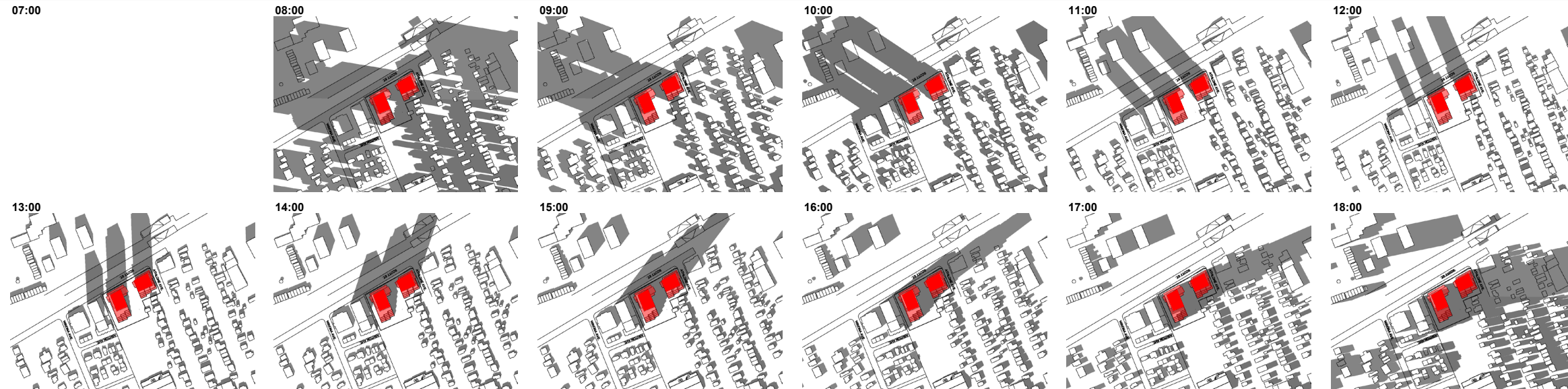
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REVISION NO.:

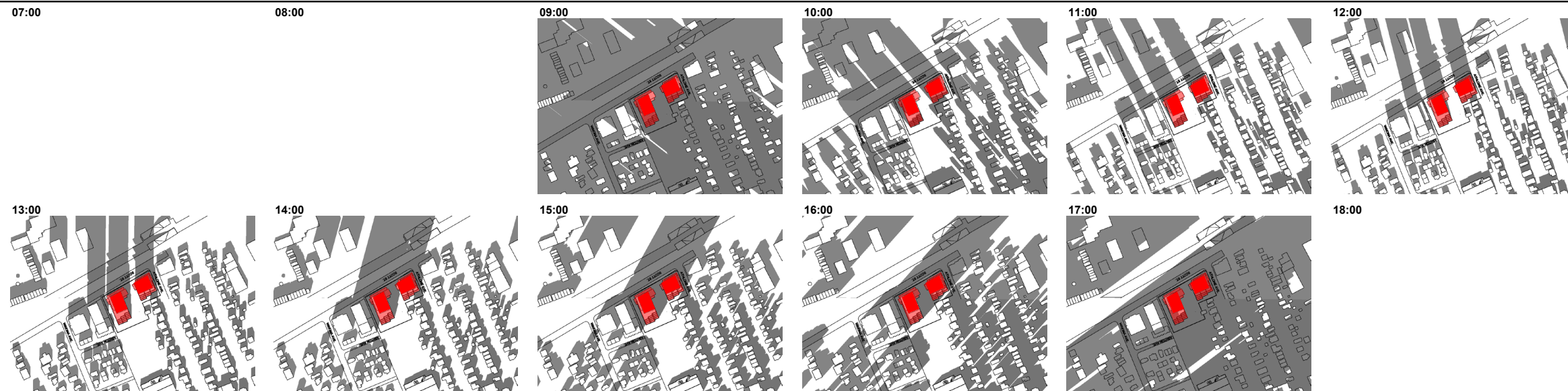
JUNE 21st



MARCH/SEPTEMBER 21st



DECEMBER 21st



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no.	date	revision

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PROJECT/LOCATION:
 2026 SCOTT STREET

DRAWING TITLE:
 SUN/SHADOW STUDY

DRAWN BY: PB/KM **DATE:** 220818 **SCALE:** N/A

PROJECT: 1937

DRAWING NO.: A-400

REVISION NO.:

