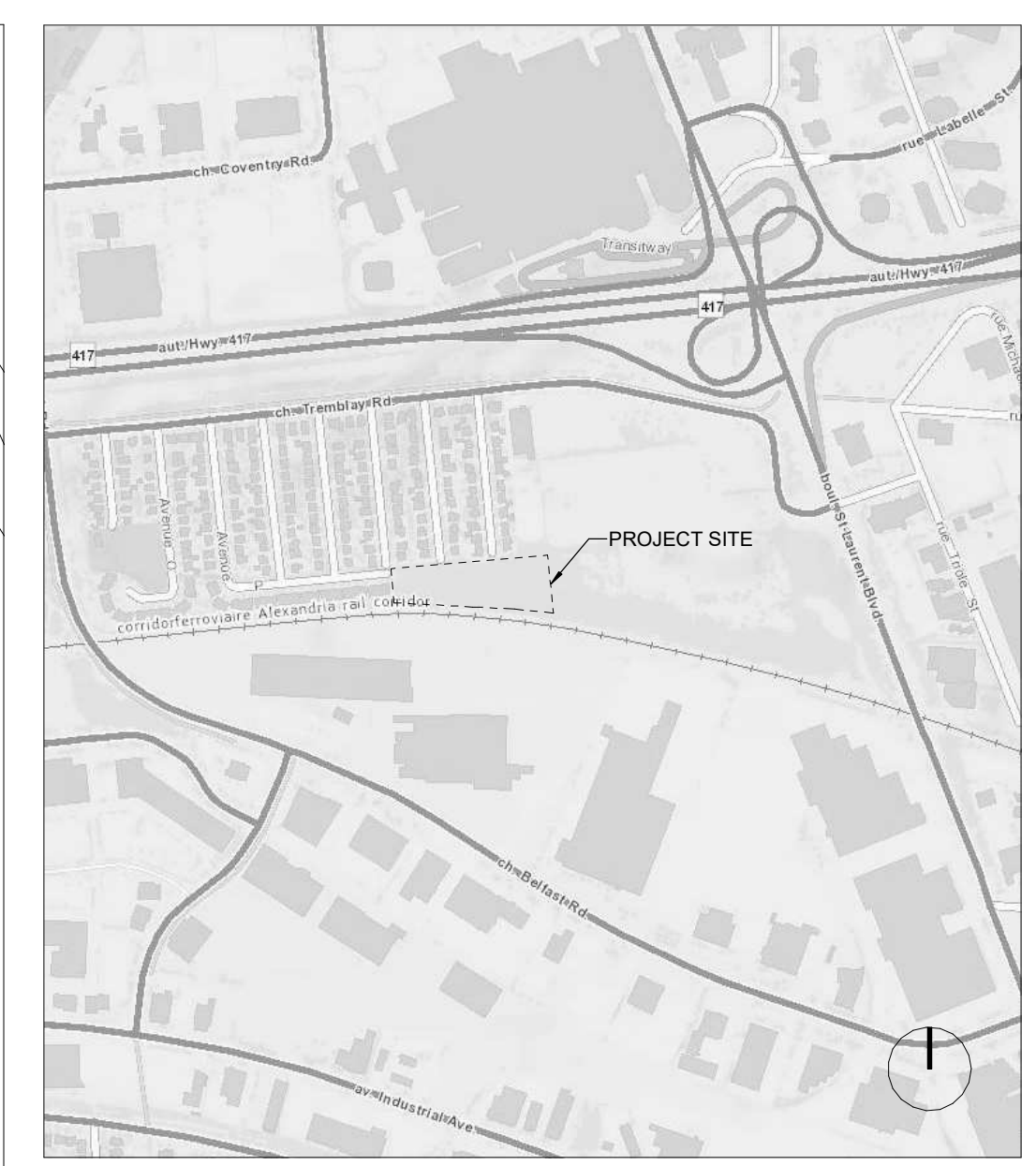


3 CONTEXT AND ROOF PLAN
SP-01 SCALE: 1 : 500



LOCATION PLAN
SCALE: N.T.S.

Site Statistics

Zoning Designation:	TD1 (Transit Oriented Development Zone)	
Lot Width:	60 metres	
Total Lot Area:	1.27 hectares	

Phase 1 - Proposed Development

Zoning Mechanism	Required	Provided
Min. Front Yard Setback (1954)(c)(i)	3m	15m
Min. Interior Side Yard Setback (1954)(g)(ii) (1954)(g)(iii) (1954)(g)(iv)	3m (West, Floors 1 - 4) 15m (West, Floor 5) 1m (East)	Building - A 9.75m (West, Floors 1 - 4) 15m (West, Floor 5) Building - B 7.35m (East)
Min. Corner Side Yard Setback (1954)(c)(ii)	3m	Greater than 3m
Min. Rear Yard Setback (1954)(c)(ii)	0m	15m
Setback from Rail Corridor (1954)(g)(ii) (1954)(g)(ii)	15m	15m
Maximum Building height (1954)(g)(ii) (1954)(g)(ii)	14.5m (Within 15m of property line) 20m (All other cases)	Building - A 13.5m (Within 15m of property line) 16.5m (All other cases) Building - B 19.52m
Minimum Number of Units (1961)(a)(ii)	123 units (for area of 0.82 hectares)	129 units Building - A: 53 units Building - B: 76 units
Outdoor Communal Amenity Area at Grade (1955)	154m ² (2% of lot area)	198.48 m ² (2.4% of lot area)
Minimum Width of Private Way (Table 1311)(1))	6m	4m
Min. Setback of any wall from a private way (Table 1311)(2))	1.8m	2.03m
Min. Separation between buildings (Table 1311)(b))	3m	11.96m

ZONING INFORMATION
SCALE: 1 : 1

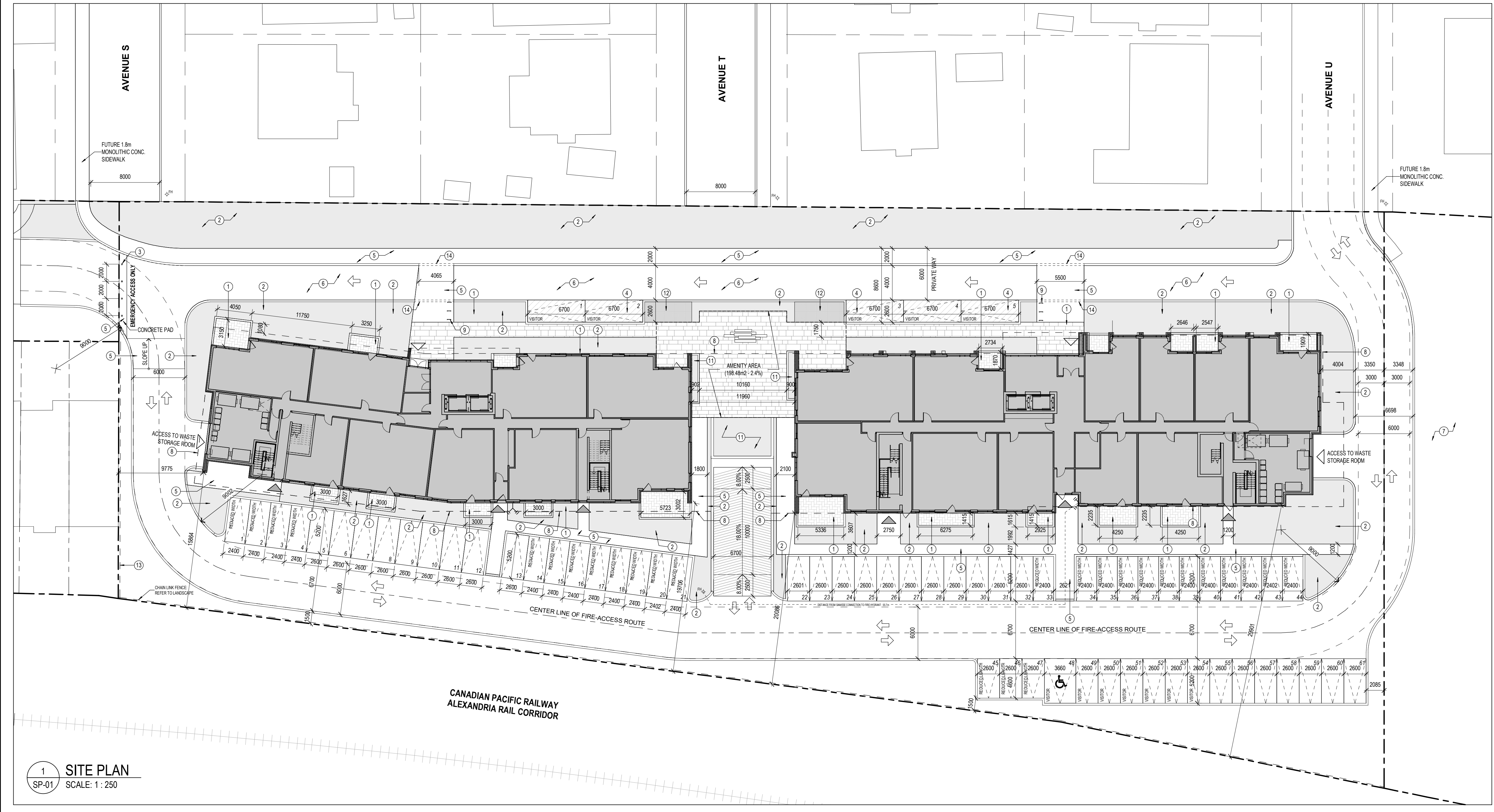
Width of private way with parallel visitor parking (Table 1311)(b))	8.5m	8.6m
Minimum Visitor Parking Rates (Table 102, 102(2))	0 Spaces	121 Spaces
Maximum Limit on Parking (Table 103(a))	228 Spaces (1.75 x 129 units)	133 Spaces
Reduced Size Parking Spaces (1062)(a))	Mx. 53 Spaces (40% of 133)	27 Spaces
Accessible Parking Spaces (Traffic and Parking Signage 1112))	2 Spaces	3 Spaces
Landscape for Parking Lots (Table 1105))	1.5m - Landscape Buffer	1.5m - Landscape Buffer
Bicycle Parking Rates (Table 1114(b)(i))	62 Spaces (124 units x 0.5)	65 Spaces
Amenity Area (Table 1312))	Building - A Total Amenity Area: 800.99m ² (6m ² x 53 units) Communal Area: 159m ² (25% of Total Amenity Area)	Building - A Total Amenity Area: 469.51m ² - 93.99m ² At Grade Area - 168.43m ² Interior Area - 70.54m ² Roof Top Patio Area Building - B Total Amenity Area: 1058.27m ² - 104.89m ² at Grade Area - 118.90m ² Interior Area - 113.90m ² Roof Top Patio Area

Phase 2 - Future Development

Minimum Number of Units (1961)(a)(ii))	68 units (for area of 0.45 hectares)	90 units
Outdoor Communal Amenity Area (1955)	90m ² (2% of lot area)	378 m ² (8% of lot area)

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of proposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical terms not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.



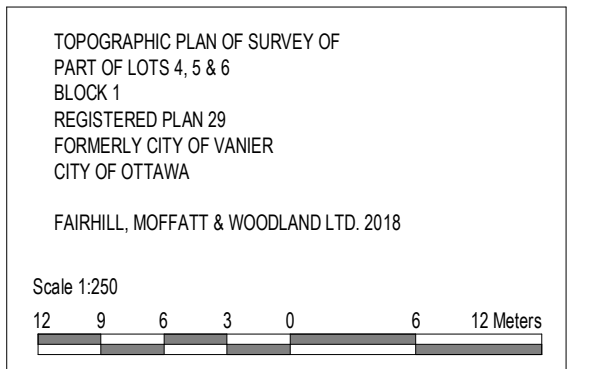
1 SITE PLAN
SP-01 SCALE: 1 : 250

POPOSED 5 STOREY WEST BUILDING 'A'

BASEMENT FFE:	65.26 ASL
GROUND FLOOR FFE:	68.31 ASL
BUILDING HEIGHT:	16.54 m

POPOSED 6 STOREY EAST BUILDING 'B'

BASEMENT FFE:	65.26 ASL
GROUND FLOOR FFE:	68.37 ASL
BUILDING HEIGHT:	19.52 m



SURVEY INFO
SCALE: N.T.S.

SITE PLAN SYMBOLS LEGEND

- BUILDING ENTRANCE
- BUILDING EXIT
- FIRE HYDRANT
- NEW STREET LIGHT
- STREET LIGHT TO BE REMOVED
- BICYCLE PARKING
- SIAMESE CONNECTION

SYMBOLS LEGEND
SCALE: N.T.S.

KEYNOTE LEGEND
SCALE: N.T.S.

- 1 INTERLOCKED CONCRETE PAVERS
- 2 SOFT LANDSCAPING
- 3 COLLAPSIBLE BOLLARDS
- 4 TINTED CONCRETE
- 5 STAMPED CONCRETE
- 6 ASPHALT DRIVE AISLE
- 7 SNOW STORAGE AREA
- 8 LINE OF P1 LEVEL BELOW
- 9 BIKE RACKS
- 11 PLANTING BED - REFER TO LANDSCAPE
- 12 TREE GRATE
- 13 FENCE. REFER TO LANDSCAPE
- 14 DEPRESSED CURB - REFER TO CIVIL DRAWINGS

KEYNOTE LEGEND
SCALE: N.T.S.

ISSUE RECORD

11 ISSUED FOR COORDINATION	21-09-23
10 ISSUED FOR COORDINATION	21-09-22
9 RE-ISSUED FOR SITE PLAN CONTROL	21-09-20
8 ISSUED FOR SITE PLAN CONTROL	20-12-18
7 ISSUED FOR COORDINATION	20-12-15
6 ISSUED FOR COORDINATION	20-11-23
5 ISSUED FOR COORDINATION	20-11-12
4 ISSUED FOR COORDINATION	20-04-21
3 ISSUED FOR COORDINATION	20-03-25
2 ISSUED FOR SITE PLAN CONTROL	19-10-25
1 ISSUED FOR COORDINATION	19-08-30



1399 AVENUE U (FORMERLY 530 TREMBLAY ROAD)
1399 Avenue U
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
1906	NOTED	JDL AR	RMK CK

SITE PLAN
SP-01