



**CLV GROUP  
DEVELOPMENTS**

**1399 Avenue U, Ottawa  
Minor Zoning By-Law Amendment**



**Planning Rationale**



**project1  
studio**

August 2022

## Contents

<b>Introduction</b> .....	3
<b>History of Applications</b> .....	4
Site Plan Application.....	4
Canada Lands Company (CLC).....	4
<b>Site Context (1399 Avenue U)</b> .....	5
<b>Provincial Policy Statement</b> .....	6
<b>Official Plan</b> .....	7
Secondary Plan.....	7
<b>Zoning</b> .....	8
Summary .....	9



## Introduction

This Planning Rationale has been provided in support of a Minor Zoning By-law Amendment application to reduce the Planned Unit Development private way width requirement. This document will demonstrate how the proposed development at 1399 Avenue U is consistent with and in conformity to relevant City of Ottawa policy. On March 18, 2022, a Pre-consultation meeting was held with the City to obtain feedback and a list of required studies to support this application.

2410441 Ontario Inc. (Ownership) has retained several consultants including CLV Group Developments Inc. (CLV Group) to assist with the submission requirements. The following reports and plans have been prepared in support of the Minor Zoning By-law Amendment application.

- Civil Drawing Package - Parsons
- Architectural Drawings – Project 1 Studio
- Landscape Plan – Fotenn Landscape
- Transportation Turning Templates & Memo – CGH Transportation



## History of Applications

### Site Plan Application

In November of 2019 CLV Group Development Inc. on behalf of Ownership, submitted a Site Plan Control Application for Phase 1 of the lands municipally known as 1399 Avenue U, file number D07-12-19-0197. The development proposal was for two buildings heights of 5 and 6 storeys, with one level of underground parking. Both buildings would total 129 units and 133 parking spaces (combination of surface and underground parking).

Through this application CLV Group has submitted several reports and studies to support the development. The City of Ottawa has conducted a technical review of the application and provided comments. Furthermore, the City has been coordinating with CLV Group to ensure the proposed development integrates within the existing neighbourhood, and to the lands to the east owned by Canada Lands Company (CLC), which is to be developed in the near future.

The site plan application is near completion however, it is still active. Through this application many conversations were had with the City and the public on the pedestrian connections and access through Ownership's lands. Of particular interest was creating connections to the future CLC development to the east of the subject site, as this future development will be creating a number of jobs and public amenities including a park.

With that, CLV Group has come back to the City with an application to amend the By-law to allow a reduced private way of 4 metres at the north of the property whereas, the By-law requires a minimum of 6 metres. The reduction of 2 metres is to create a pedestrian sidewalk that will be dedicated to the City to provide the surrounding neighbourhood access to the CLC lands and future park.

No changes to the active site plan application are proposed at this time, this application is purely required to satisfy a technical zoning issue. All materials submitted with the Site Plan application can be found on the City of Ottawa's Development Application Website, including a detailed Planning Rationale prepared by Fotenn Planning + Design (*530 Tremblay Road – Site Plan Control Application, Planning Rationale and Urban Design Brief, Dated November 27, 2019*).

### Canada Lands Company (CLC)

To provide some context on the lands to the east, CLC is developing a large parcel of land that is directly adjacent to the subject site at 470 Tremblay Road. They have received approval on their plan of subdivision application in June 2021 and are in the process of clearing City imposed conditions.

CLC and Ownership have been coordinating to ensure the two developments projects complement one another. The CLC development concept is noted in *Figure 1* below. Represented in green is the proposed Park and Open Space location, which is also identified in the City of Ottawa Zoning By-law and Official Plan as park space.



The 1399 Avenue U property is the connection for the existing Avenue Streets to access the future park. As noted above CLV Group is submitting this Minor Zoning By-Law Amendment to provide and allow public access to the future parklands through the 1399 Avenue U property.

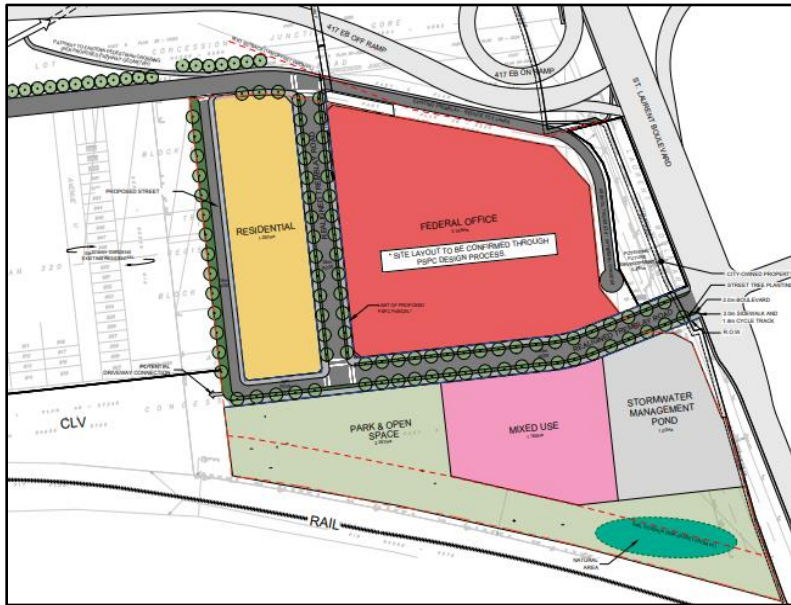


Figure 1: CLC Concept Plan (2020-07-31) As Noted on The City of Ottawa's Development Application Website

### Site Context (1399 Avenue U)

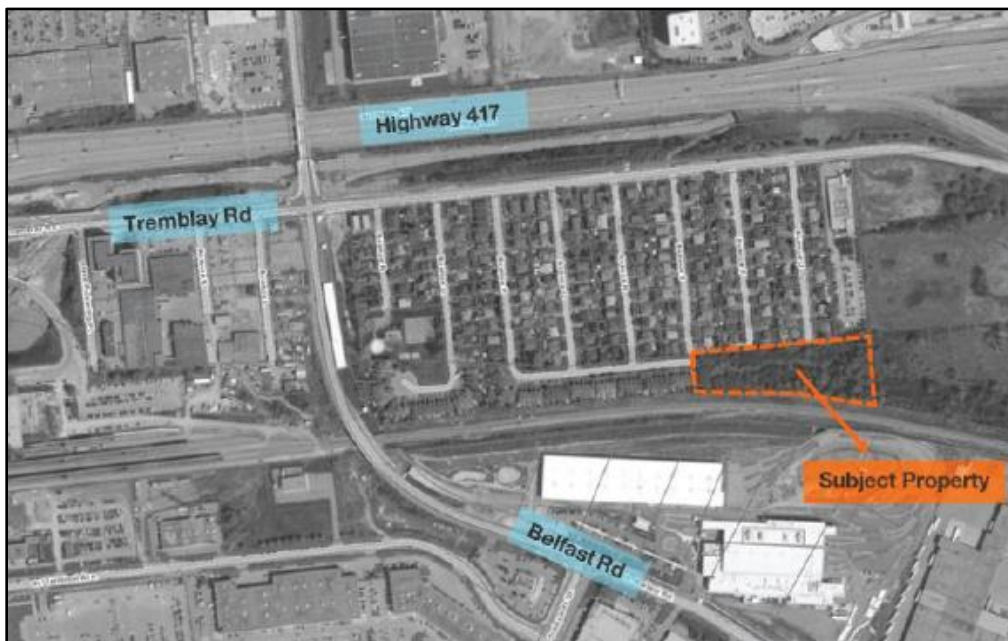


Figure 2: Site Context Map



The subject property is municipally known as 1399 Avenue U, Ottawa (see Figure 2.), formerly known as 530 Tremblay Road. The lands are vacant with some shrubbery across the entirety of the site.

1399 Avenue U is situated within an established neighbourhood undergoing change known as Eastway Gardens. Eastway Gardens has a number of new development applications that are in the pipeline to be constructed. The subject site is located south at the terminus of Avenues S, T, U and P. It is well serviced by public transit and located within the St-Laurent Transit Oriented Development Area (TOD). It is within 600m of the St.-Laurent LRT station which connects this site to the greater Ottawa area.

### **Surrounding Uses**

#### **North**

North of the subject property is the Eastway Gardens neighbourhood, a low-rise neighbourhood comprised of single-detached homes. Further north is Highway 417 and the St Laurent Transit Station, a station along the Confederation Light Rail Transit Line.

#### **South**

South of the property is the VIA Rail line and Belfast Yard, an OC Transpo storage and maintenance yard, further to this is the Trainyards Shopping Centre – a large format shopping centre consisting of various retail outlets, a fitness centre, restaurants, and food stores.

#### **West**

West of the property are townhouse dwellings in the Eastway Gardens neighbourhood. Further west is various commercial and industrial uses along with the Ottawa Train Station.

#### **East**

East of the subject property is a vacant property, currently owned by Canada Lands Company (CLC) and slated for a major re-development in the near future, the owners of this land are nearly complete a plan subdivision application.

## **Provincial Policy Statement**

The development proposal supports the goals of the Provincial Policy Statement, 2020 (PPS). In particular, the PPS emphasizes intensification of built-up areas which aids in utilizing existing infrastructure and public services/amenities. An important goal identified in the PPS is to increase housing supply as there is currently a housing crisis and there is a large demand for new housing in the market.

The PPS encourages municipalities to identify major transit corridors and identify density targets for these areas to support public transit and active transportation before other modes of transportation.

The proposed development was reviewed against Provincial Policy Statement through the active Site Plan Application. The review determined that the development is consistent with and supports the goals identified in the PPS including those mentioned above.



## Official Plan

The property is designated Mixed-Use Centre on Schedule B – Urban Policy Plan on the current in force and effect Official Plan (see *Figure 3* below). Mixed-Use Centre designations are strategically located in areas surrounding the rapid transit network that are accessible by walking, cycling and public transit.

This designation supports a wide range of uses including residential and commercial. These areas offer opportunities for new development/ re-development and growth.

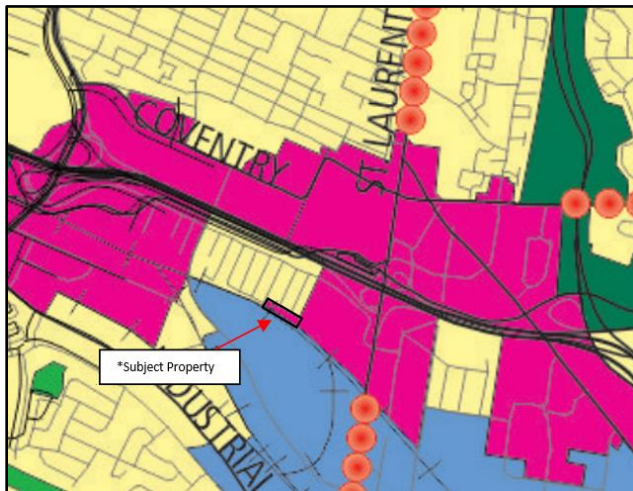


Figure 3: Ottawa Official Plan - Schedule B

The proposed development was reviewed against Ottawa's current in force and effect Official Plan through the active Site Plan Application. Through this review it was determined that the development generally meets the intent of the Official Plan, and an amendment is not required.

## Secondary Plan

1399 Avenue U is located within the Tremblay, St. Laurent and Cryville Secondary Plan. Under this plan the subject property is permitted to build a maximum of 6 storeys outlined in red on *Figure 4* below and must achieve a minimum density of 150 units per hectare. The development proposal for Phase 1 contains two buildings of 5 and 6 storeys and will achieve the 150 unit per hectare requirement noted in the Secondary plan.

The proposed development was reviewed against the Tremblay, St. Laurent and Cryville Secondary Plan through the Site Plan application. Through this review it was determined that the development meets the intent of the Secondary Plan and an amendment was not required.

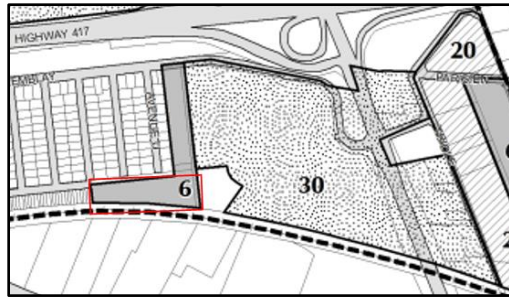


Figure 4: St Laurent TOD - Tremblay, St Laurent and Cryville Secondary Plan - Schedule B

## Zoning

1399 Avenue U is zoned Transit Oriented Development Zone, Subzone 1 (TD1). The intent of this zone is to increase density to support the Light Rail Transit (LRT). The TD1 Zone permits a wide variety of transit-supportive uses including residential, mid-rise apartments. The proposed development meets all the zoning requirements set out in Sections 195 and 196 of the Transit Oriented Development Zones.

On behalf of Ownership, CLV Group is seeking a Minor Zoning By-law Amendment for a modification to Table 131 (1) in the Planned Unit Development section of the By-law. This section of the By-law requires developments to include a minimum width of 6 metres for any private way. As noted on page 4 in the History of Applications section of this report, Ownership is looking to dedicate a portion of the lands to the north to the City. As determined in the active Site Plan Application (File Number D07-12-19-0197), the development had complied with the requirement for a 6m private way prior to the decision to dedicate the land. *Figure 5* below highlights the lands to be dedicated to the City.

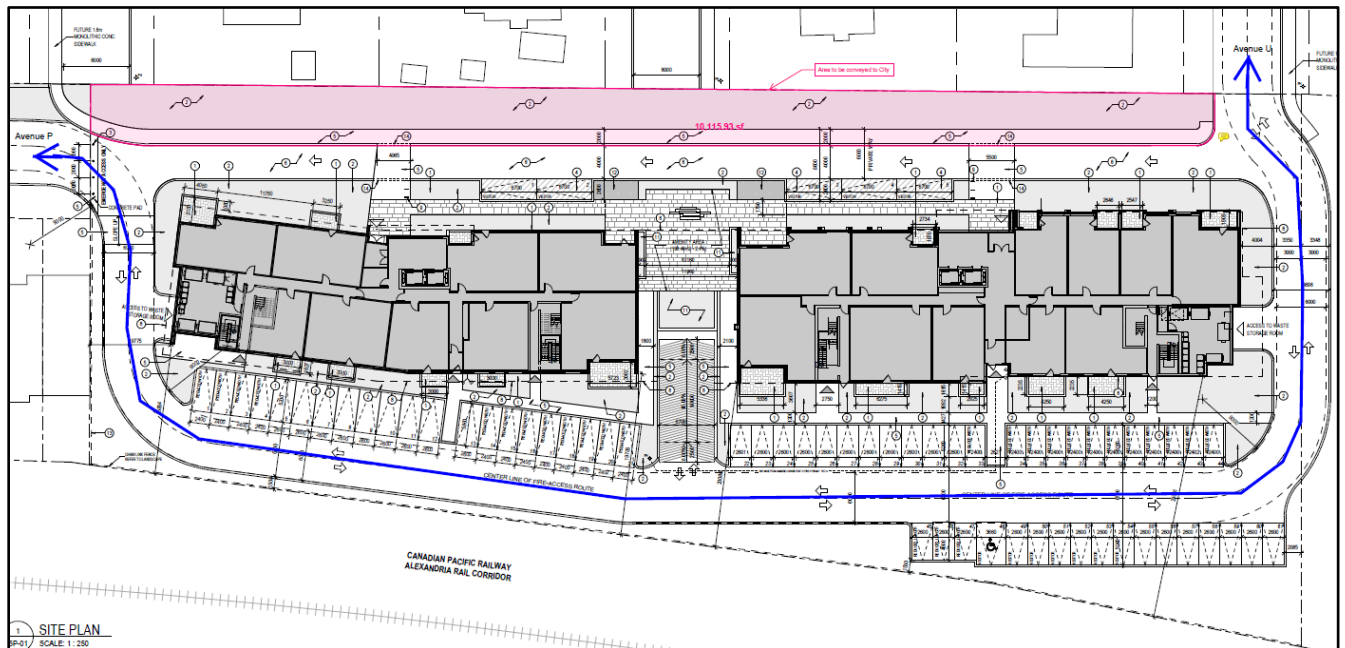


Figure 5: 1399 Avenue U (Phase 1) Site Plan, Indicating Lands to be Conveyed and Fire Route





To facilitate the future land dedication to the City (stormwater channel and pedestrian pathway at the north), Ownership is seeking to amend the By-law to allow for a private way of 4 metres. The 6 metres under the By-law is required for two-way traffic and as a fire route. The reduction to a 4-metre width private way is due to Ownership's desire to provide a public sidewalk through the private site, to connect residents on the Alphabet Streets to the future development and park to the east of the property by Canada Lands Company.

The proposed 4-metre private way at the north is intended for one-way traffic only, to be accessed through Avenue U across the north of the property and loops back around to exit on Avenue U. Resident surface parking and the underground parking garage access are located at the rear of the building and is where majority of the traffic will be directed to. The fire route is accessed from Avenue U or P to the rear of the buildings as noted in blue on *Figure 5* above. The access on Avenue P is for emergency and garbage services only and will be controlled via a chain gate, it is not accessible to the public.

Conversations with the Emergency Services Department were had in August 2021, they stated that the private way at the north would not be used for emergency vehicles, but rather they would use the rear of the building as noted in *Figure 5* above.

The site has several constraints which limit the ability to provide an alternative solution to comply with the 6m private way requirement. There is a 15m setback from the rail at the south and to the north is a stormwater channel that is required to capture City water that drains towards subject site from Avenues S, T and U. Both the storm channel and sidewalk will be dedicated to the City. This minor change to the By-law functions from a technical perspective and has been discussed and reviewed with the City prior to this application.

## Summary

In contemplating this application and the above rationale, is in our professional opinion that the Minor Zoning By-law Amendment represents good planning. It is necessary to ensure the community will maintain public access through private lands (1399 Avenue U owned by 2410441 Ontario Inc.), allowing connections to the future Canada Lands Company development and park.

The policy and regulatory framework have been assessed, and the proposed development reviewed from a technical standpoint through the active Site Plan Application (File Number D07-12-19-0197).

The reduction to the minimum private way requirement noted in the Planned Unit Development section of the By-law, has been discussed with the appropriate parties at the City of Ottawa prior to this application including Planning and Emergency Services.



Overall, this proposal will aid the City in achieving Official Plan and Zoning By-law goals of supporting the LRT and creating additional vibrancy within the community. This application is in the best interest of the public as is only necessary to secure public access through private lands. It should be noted, all other elements of the original development proposal through the active Site Plan Application remain unchanged.

Sincerely,



**Josie Tavares, MPI**

Development Planner  
CLV Group Developments Inc.  
josie.tavares@clvgroup.com



**Jenn Morrison, RPP, MCIP**

Director of Development  
CLV Group Developments Inc.  
jenn.morrison@clvgroup.com



**CLV GROUP  
DEVELOPMENTS**

[www.clvdevelopments.com](http://www.clvdevelopments.com)