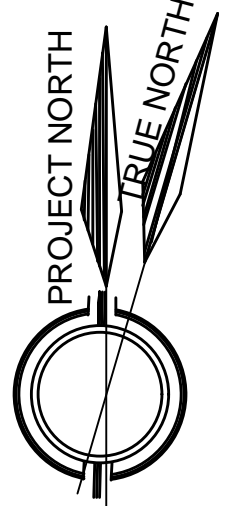
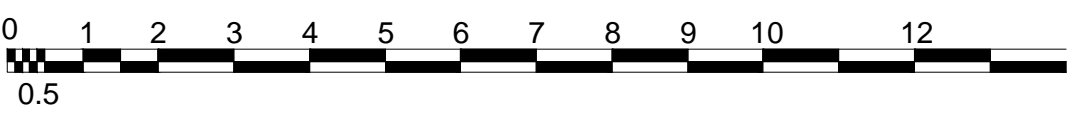


**DEVELOPMENT DATA:**  
 Site Zoning Designation: TM11  
 Site area: 467.191 m<sup>2</sup>  
 Frontage as per survey: 15.97 m  
 Depth as per survey: 29.45 m  
 Site Plan Control Approval for: three storey addition mixed use building  
 Existing floor area : 349.3 m<sup>2</sup>  
 New floor addition area : 527.8 m<sup>2</sup>  
 New building footprint: 396.13 m<sup>2</sup> (85% lot coverage)

ZONING INFORMATION		
TM11		
PRINCIPAL DWELLING TYPE	REQUIRED FOR MIXED USE BUILDING	PROPOSED 3 STOREY
MINIMUM LOT WIDTH	NO	15.97 m
MINIMUM LOT AREA	NO	467.191 m <sup>2</sup>
MAXIMUM BUILDING HEIGHT	20m	8.96 m
FRONT YARD SETBACK	MAXIMUM: 3 M	0 m
CORNER SIDE YARD SETBACK	2.66m (AVE. OF EX. BUILDING & 3m)	2.31m (MATCH EXISTING) (ZBA. REQUIRED)
REAR YARD SETBACK	0	0.09
INTERIOR SIDE YARD SETBACK	MAX. 3m	0
ACTIVE ENTRANCES	MIN. ONE ACTIVE ENTRANCE PER EACH RESIDENTIAL OR NON-RESIDENTIAL USE ON GROUND FLR.	RESIDENTIAL: NOT REQUIRED AS RESIDENTIAL USE NOT ON GROUND FLOOR NON-RESIDENTIAL: ONE ENTRANCE/UNIT
AMENITY AREA	MIN. 6 m <sup>2</sup> /unit	BALCONIES: 39.9m <sup>2</sup>
Parking Rate Area Y of Schedule 1A (Section 101, Table 101)		
Motor Vehicle	0	0
Min. Bicycle Parking (0.5/unit)	Residential: 0.5/unit = 1space (for new 2 unit only) Commercial: 1/250 m <sup>2</sup> = 1 space	2

- LEGEND:**
- ENTRANCE
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING BUILDING
  - NEW BUILDING ADDITION
  - LANDSCAPE AREA
  - RIVER ROCK
  - INTERLOCK WALKWAY



CLIENT:  
 WELLINGTON HURON COMMERCIAL INC.  
 371A RICHMOND RD. SUITE 1,  
 OTTAWA, ONTARIO  
 K2A 0B7

**LRL ENGINEERING**  
 5430 CANOTEK ROAD  
 OTTAWA, ONTARIO K1J 9G2  
 T (613) 842-3434

**FOTENN PLANNING + DESIGN**  
 396 Cooper Street, Suite 300  
 Ottawa, ON K2P 2H7

**SURVEYOR**  
 ANNIS, O'SULLIVAN,  
 VOLLEBEKK Ltd.  
 14 Concourse Gate, Suite 500  
 Nepean, Ont. K2E 7S6  
 Phone: (613) 727-0850  
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**SUSAN D. SMITH ARCHITECT**  
 941 Merivale  
 Ottawa, Ontario  
 K1Z 6A1  
 613-722-5327  
 s.smith@sdsarch.ca

**NOTES:**  
 1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering of materials.  
 2. All work to be in accordance with the Ontario Building Code, latest edition.  
 3. All interior dimensions are to face of gypsum board

1	ISSUED FOR SITE PLAN CONTROL	APR. 11/22
0	ISSUED FOR REVIEW	OCT. 22/21
No.	REVISION	DATE

**PROPOSED ADDITION MIXED USE BUILDING**  
 1248-1252 Wellington W

**SITE PLAN**

DRAWN BY: TD & S.C.

CHECKED: SDS.

DATE: SEP/2021

SCALE:  
 AS NOTED

**SP**

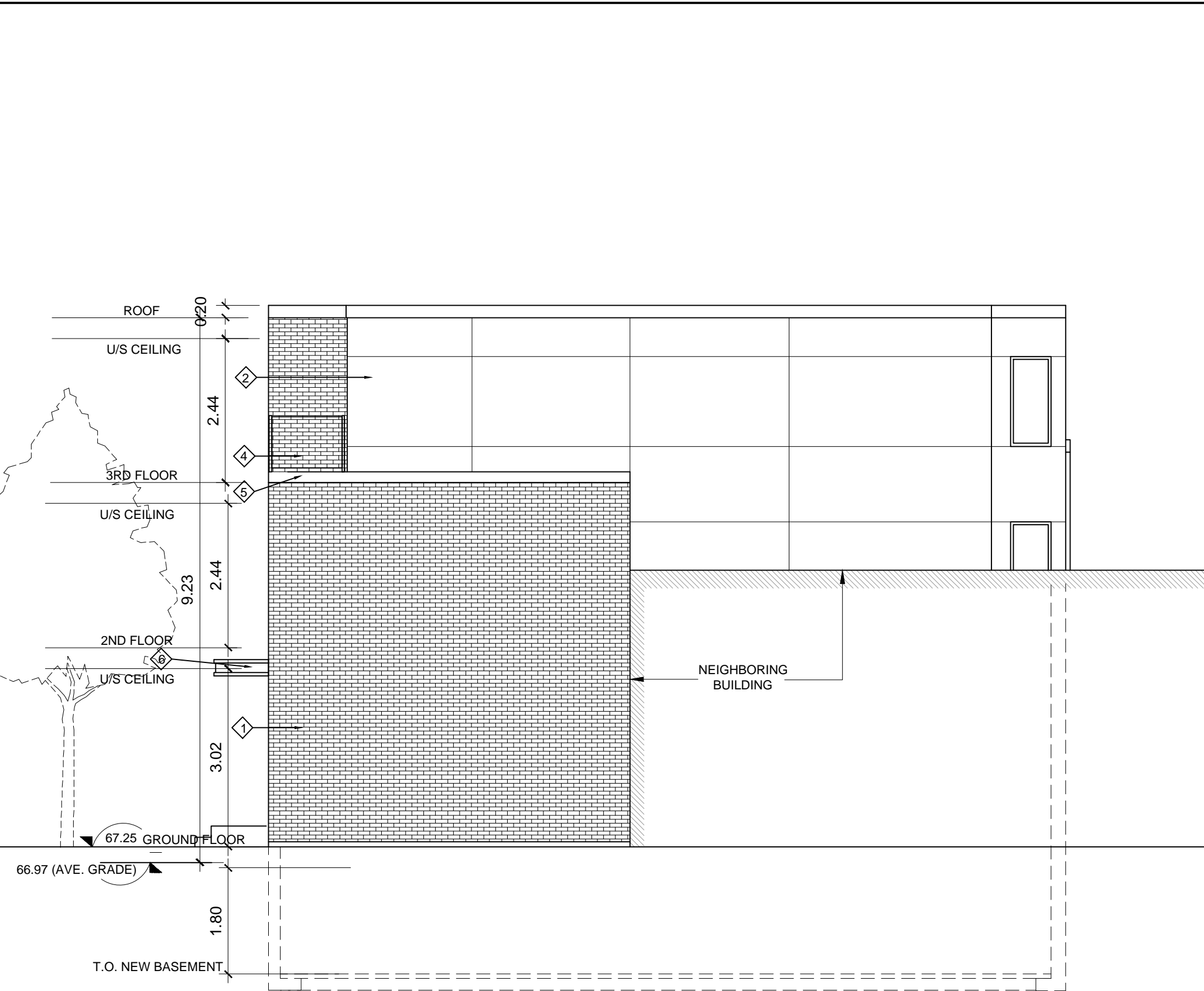
**1**  
**SP** **SITE PLAN**  
 SCALE: 1/100



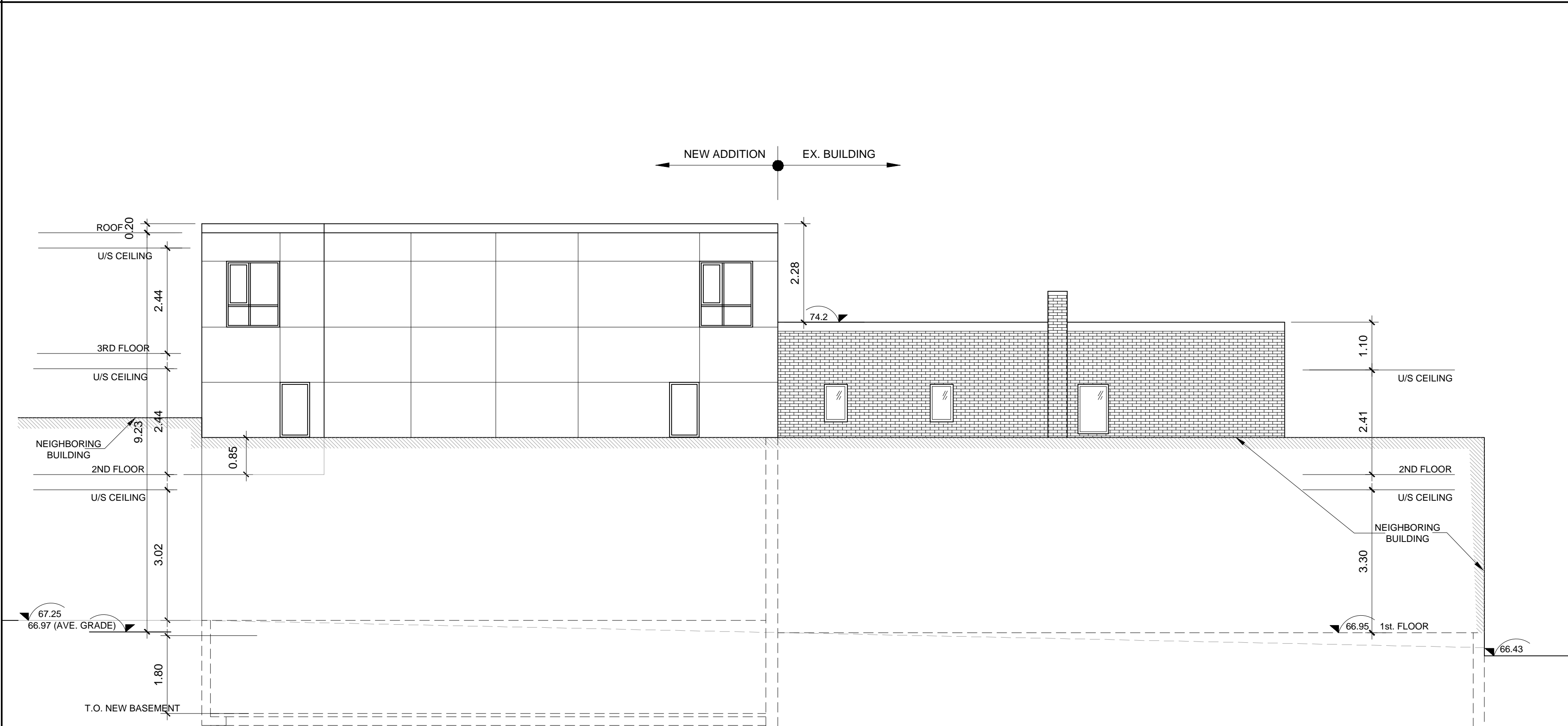
**1**  
EL NORTH ELEVATION  
SCALE: 1/75



**2**  
EL WEST ELEVATION  
SCALE: 1/75



**3**  
EL SOUTH ELEVATION  
SCALE: 1/75



**4**  
EL EAST ELEVATION  
SCALE: 1/75

CLIENT:  
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COMMERCIAL INC.  
371A RICHMOND RD. SUITE 1,  
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K2A 0B7

LEGEND:

1	RED BRICK (MATCH EXISTING)
2	ALUMINUM PANEL
3	BRICK SILL
4	GLASS HANDRAIL
5	METAL FLASHING
6	FRONT CANOPY

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PROPOSED ADDITION  
MIXED USE BUILDING  
1248-1252 Wellington W

**ELEVATIONS**

DRAWN BY: TD & S.C.

CHECKED: SDS.

DATE: SEP/2021

SCALE:  
AS NOTED

**EL**

#1244  
(ONE STOREY BUILDING)

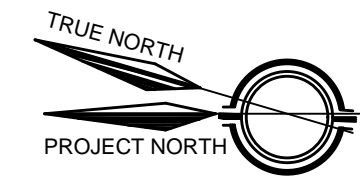
EX. BUILDING      NEW ADDITION

15.40

13.02

PROPERTY LINE

#1244



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PROPOSED ADDITION  
MIXED USE BUILDING  
1248-1252 Wellington W

MAIN FLOOR PLAN

DRAWN BY: TD & S.C.

DATE SEP/2021

SCALE:  
1/8"=1'-0"

A2

5.03

8.56

COMMERCIAL UNIT#1  
873 SQ.FT.

COMMERCIAL UNIT#2  
108.5 sq.m

COMMERCIAL UNIT #3  
137 sq.m.

1.61      1.52      1.22

6.93

13.51

0.09

16.66

6.60

3.45

1.03

NEW PATIO

2.25

1.07

1.68

1.70

1.50

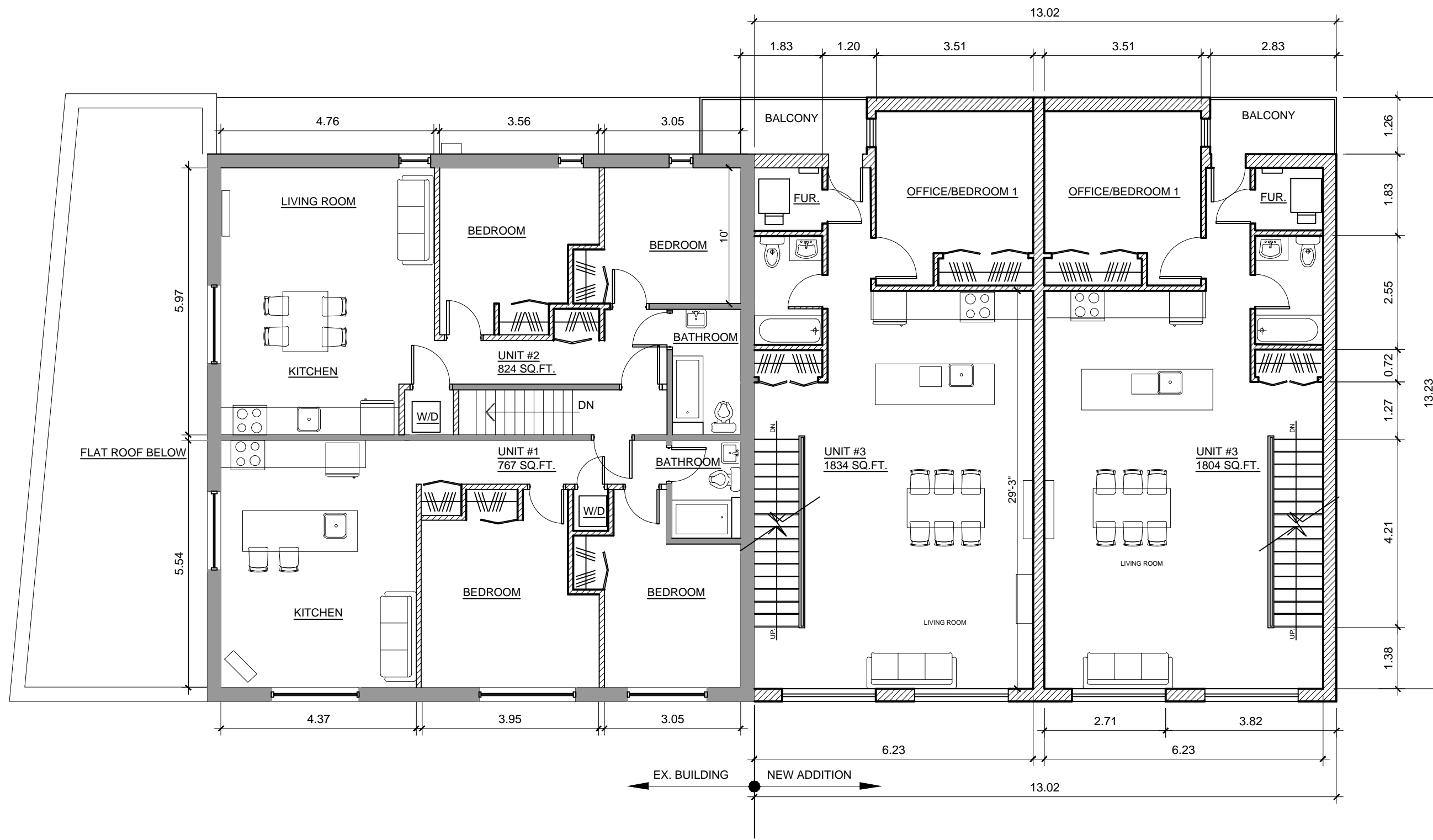
1.50

LEGEND (APPLICABLE TO ALL DRAWINGS)

- EXISTING WALL
- REMOVED WALL
- NEW WALL

UP  
DN

UP



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**PROPOSED ADDITION  
 MIXED USE BUILDING**  
 1248-1252 Wellington W

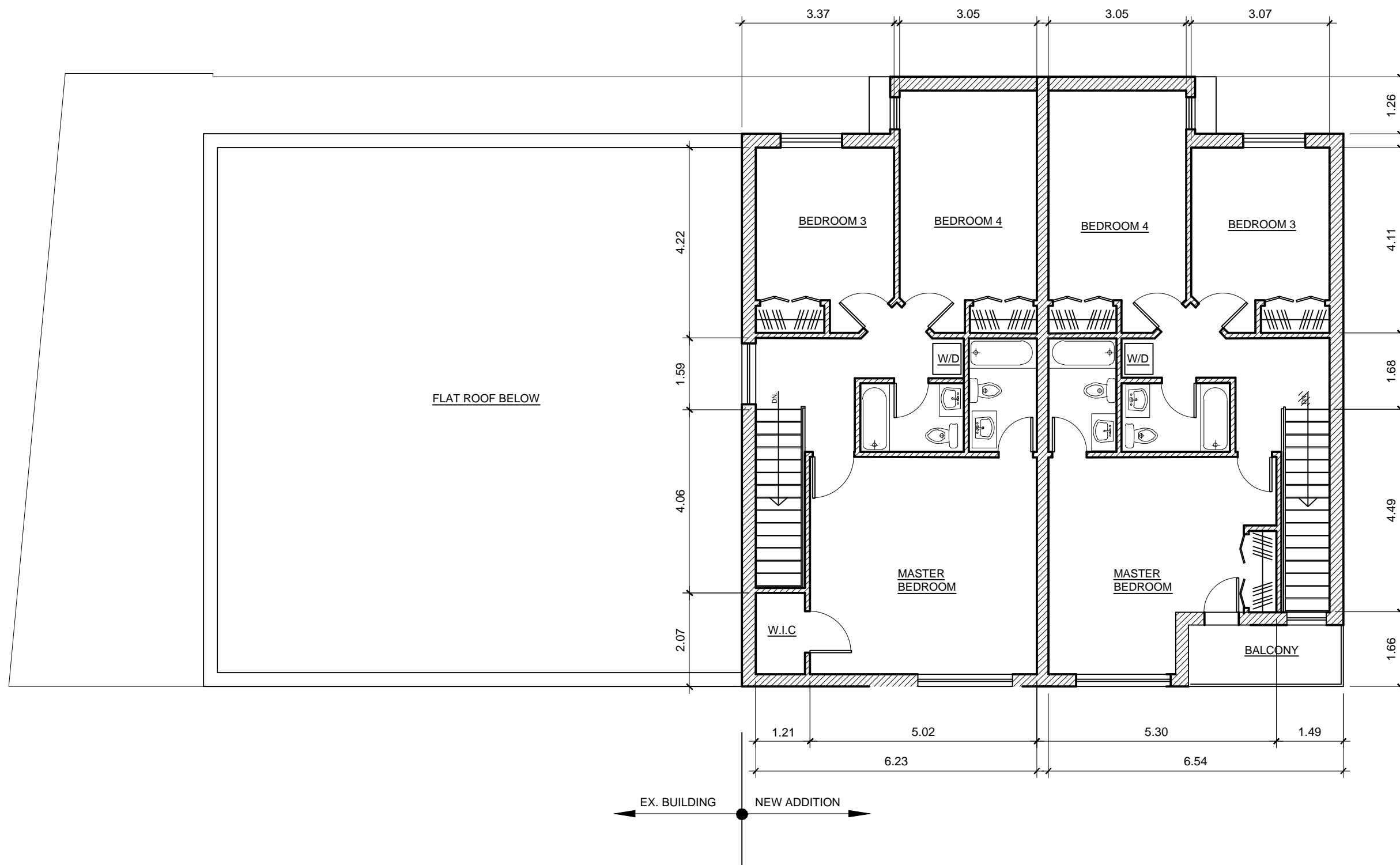
SECOND FLOOR

DRAWN BY: S.C.

DATE SEP/2021

SCALE:  
 1/8"=1'-0"

**A3**



NOTES:  
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**PROPOSED ADDITION  
 MIXED USE BUILDING**  
 1248-1252 Wellington W

**THIRD FLOOR PLAN**

**DRAWN BY: S.C.**

**DATE SEP/2021**

**SCALE:  
 1/8"=1'-0"**

**A4**