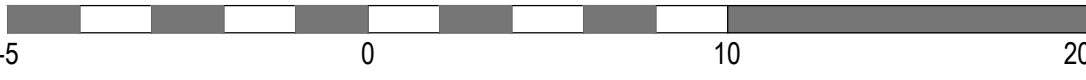


DEVELOPED FROM
PLAN OF SURVEY OF
PART OF LOT 43 REGISTERED PLAN 33878
CITY OF OTTAWA

Annis, O'Sullivan, Vollebakk Ltd. 2014



GRAPHIC SCALE FOR REFERENCE ONLY
ALL MEASUREMENTS ARE IMPERIAL WITH CORRESPONDING METRIC IN BRACKETS

ZONING: R4UB [480] - Proposed Use: Low-rise Apartment, maximum of 12 units

ZONING MECHANISM		REQUIRED	PROVIDED	COMMENTS
A) MINIMUM LOT AREA		400m ²	250m ²	150m ² or 37% DEFICIENT
B) MINIMUM LOT WIDTH		15m	6.37m	8.63m or 57% DEFICIENT
C) MINIMUM LOT DEPTH		n/a	31.0m	
D) MINIMUM FRONT YARD SETBACK		4.5m	2.2m	existing building setback
E) MINIMUM INTERIOR SIDE YARD SETBACK		1.5m	0.35m	existing building setback
		1.5m	0.82m	existing building setback
F) MINIMUM REAR YARD AREA (see by-law provision amendments outlined below)		As per section 144 by-law no. 2020-289	AREA 62.5m ²	62.0m ²
G) MINIMUM REAR YARD SETBACK (see by-law provision amendments outlined below)		As per section 144 by-law no. 2020-289	DEPTH 9.3m	6.8m
H) MAXIMUM BUILDING HEIGHT		11m	10.3m	
I) AMENITY AREA		n/a	n/a	
J) VEHICLE PARKING		0	0	
K) BICYCLE STORAGE		0.5 PER UNIT	6	11

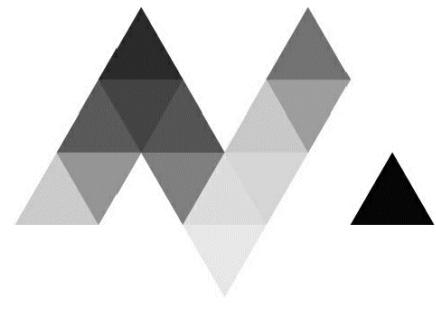
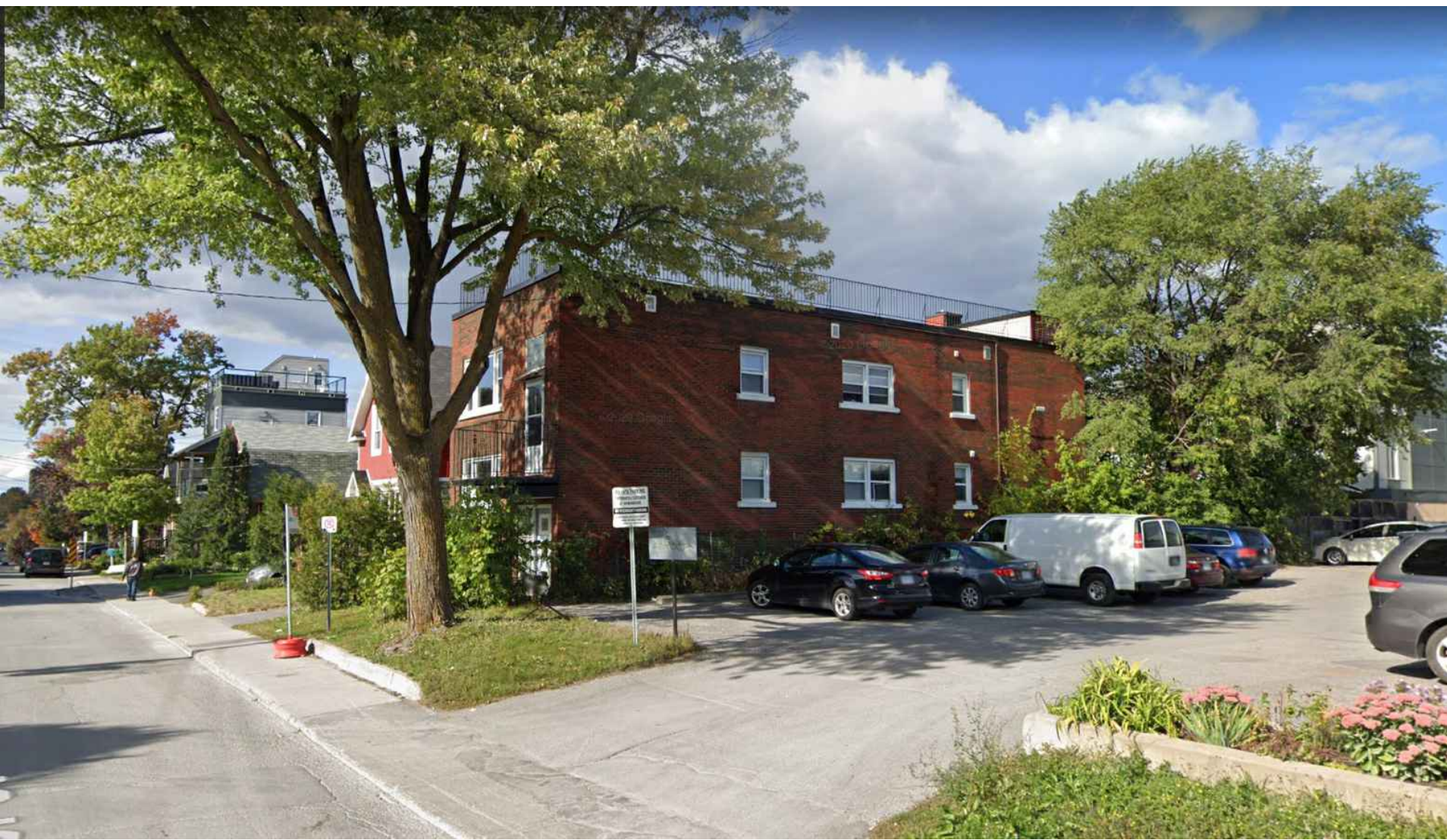
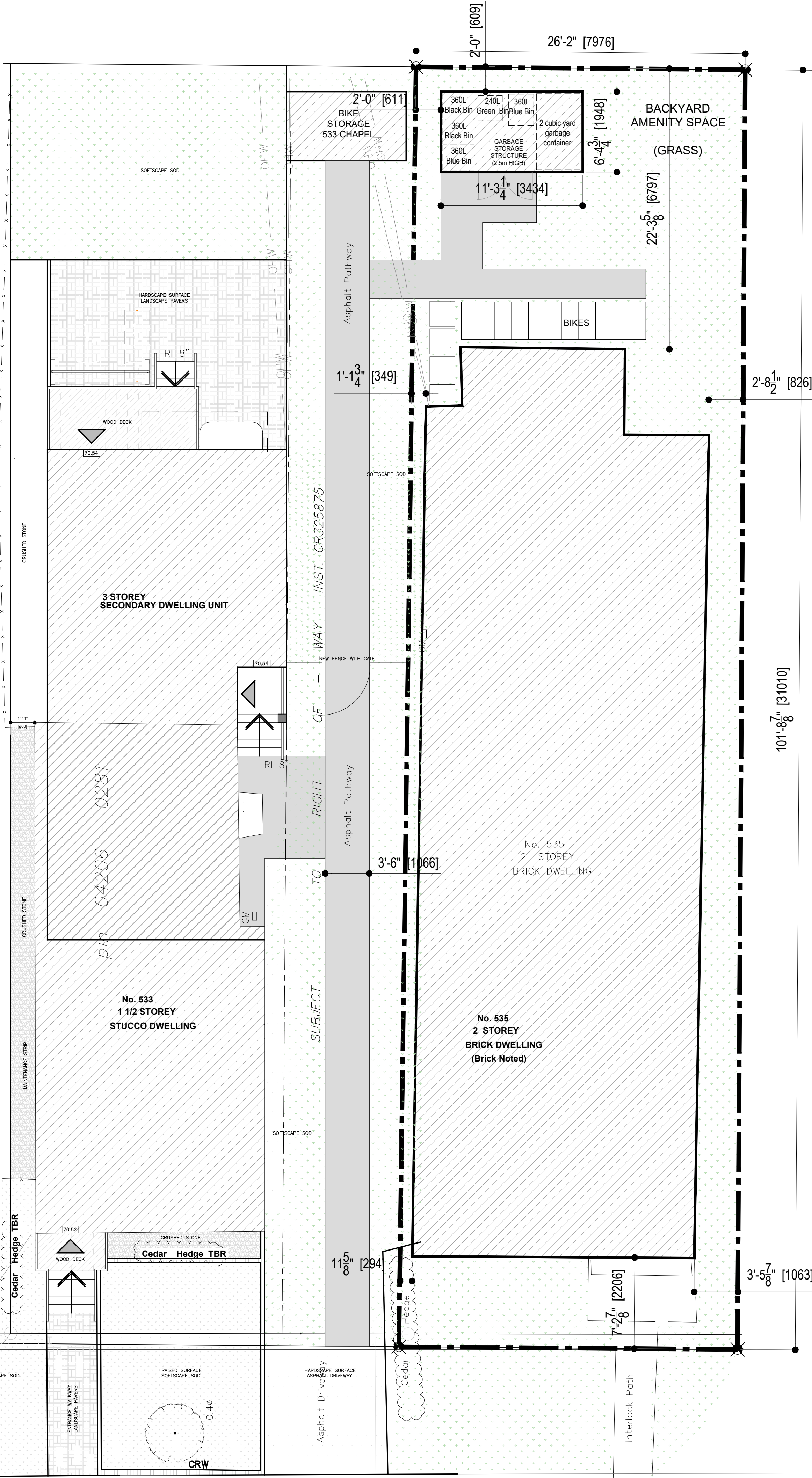
Section 144 - Alternative Yard Setbacks for Low-rise Residential Uses in the Greenbelt for the minimum required rear yard setback. The rear yard must comprise at least 25 percent of the lot area; and the minimum rear yard setback is pursuant to Table 144A

PROPOSED SITE DEVELOPMENT INFO		COMMENTS
LOT AREA		250m ²
BUILDING HEIGHT		10.3m
PARKING SPACES		0
NUMBER OF STOREYS		3
NUMBER OF UNITS		3 floors + 1 partially below grade
		5 existing + 4 new
- BACHELOR UNITS		3
- FOUR-BEDROOM UNITS		2
LOT COVERAGE		58%
SOFT LANDSCAPING COVERAGE		14m ²
HARD LANDSCAPING		13m ²

GARBAGE MANAGEMENT REQUIREMENT		REQUIRED	PROVIDED
GARBAGE		0.231 cubic yards per unit: 9x0.231=2.079	1 - 2 cubic yard garbage container
RECYCLING		for every 6 units provide 1 360L blue cart and 1 360L black cart	2-360L Blue carts and 2-360L Black carts
ORGANICS		container for each unit and 1 communal 240L green container per 50 units	container for each unit and 1 communal 240L green

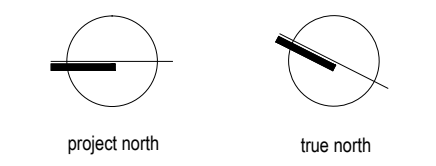
Property owner will be responsible for the removal and storage of snow for all walkways, exterior stairs, and driveway throughout the winter

BUILDING AREA (gross areas)	EXISTING	ADDITION	TOTAL
BASEMENT	141m ²	0m ²	141m ²
GROUND FLOOR	141m ²	0m ²	141m ²
SECOND FLOOR	141m ²	0m ²	141m ²
THIRD FLOOR (PROPOSED)	0m ²	141m ²	141m ²
TOTAL AREAS	423m ²	141m ²	564m ²



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B	issued for SPA	2022.02.14
A	FOR SITE PLAN APPLICATION	2022.02.14
issue	description	date

535 Chapel Street
Proposed Addition

Drawing title

SITEPLAN

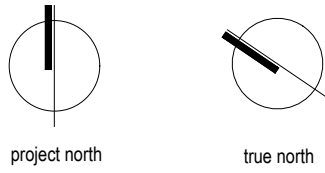
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scale	3/16"=1'-0"
date	2021.05.12
project number	-
drawing number	-

A0.1 rev B

- UNIT 101 - EXISTING - 223sq.ft.
- UNIT 102 - NEW - 300sq.ft.
- UNIT 103 - NEW - 218sq.ft.
- UNIT 201 - EXISTING - 1175sq.ft.
- UNIT 301 - EXISTING - 1175sq.ft.
- UNIT 401 - NEW - 240sq.ft.
- UNIT 402 - NEW - 220sq.ft.
- UNIT 403 - NEW - 220sq.ft.
- UNIT 404 - NEW - 272sq.ft.



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A	issued for Pre-application Consultation	2021.07.21
issue	description	date

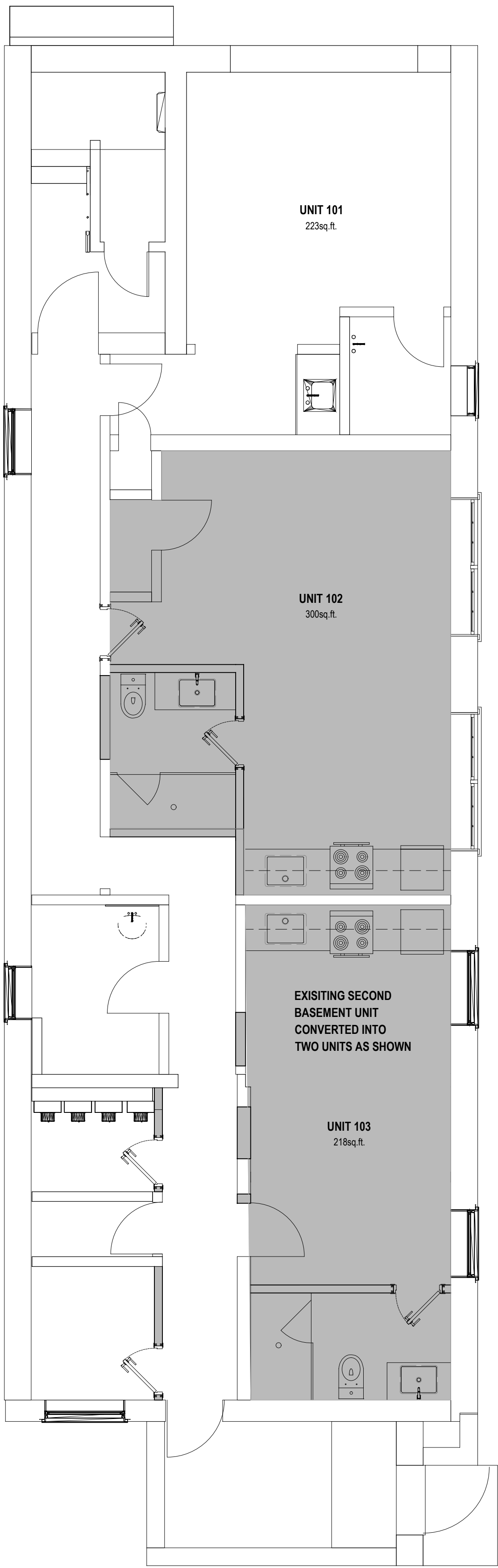
535 Chapel Street
Proposed Addition

drawing title

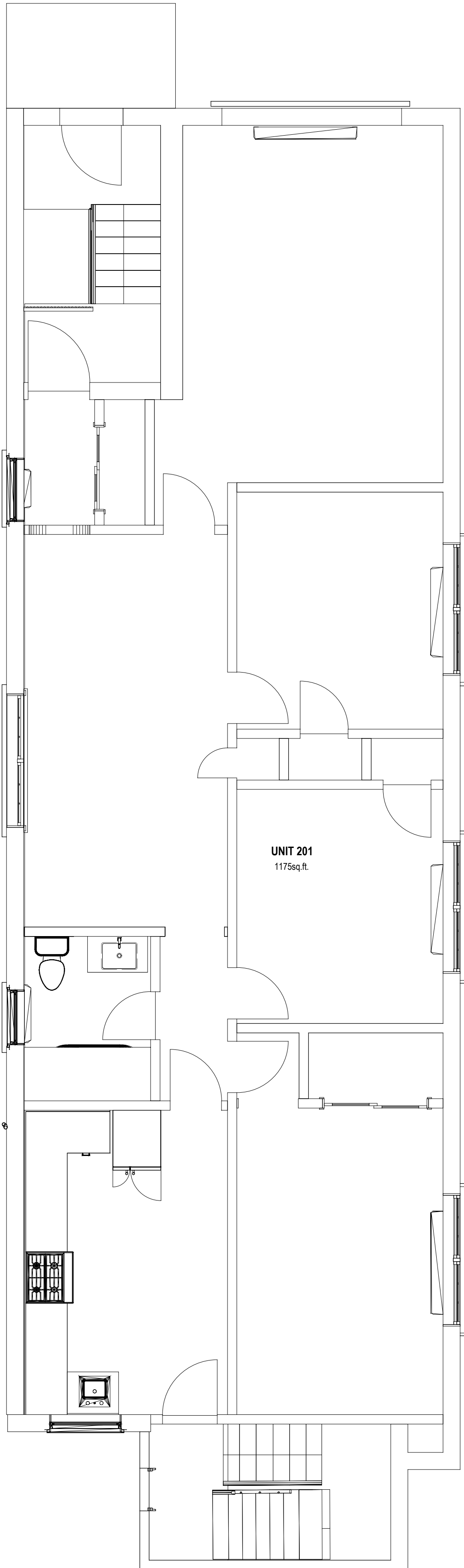
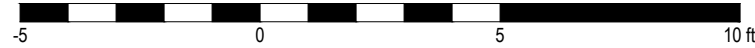
FLOOR PLANS

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project number	-
drawing number	-

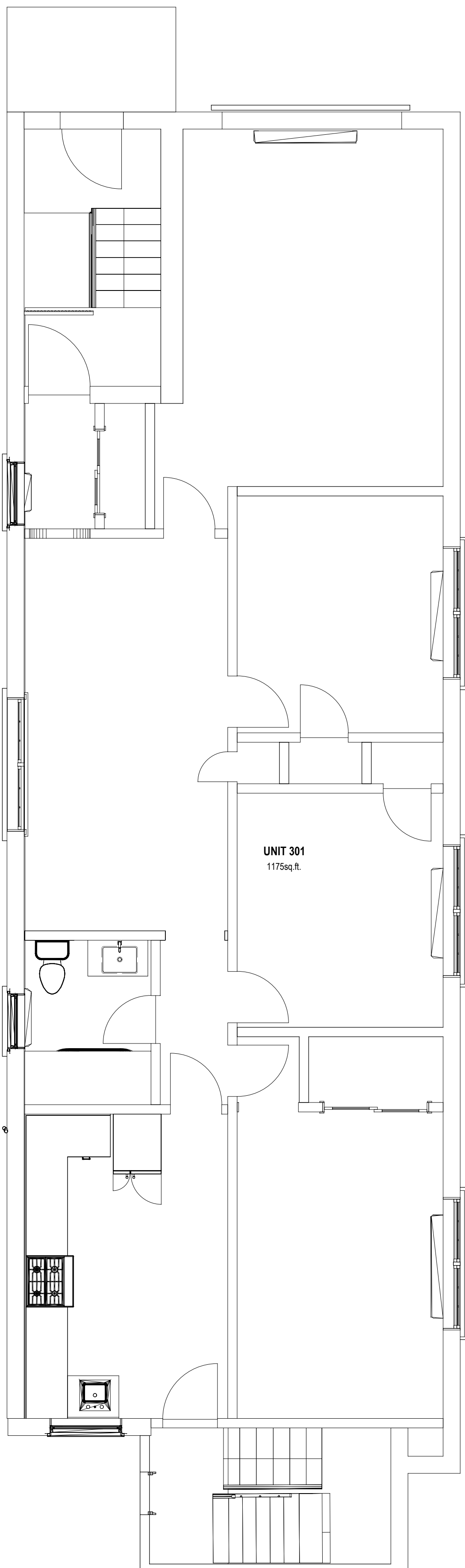
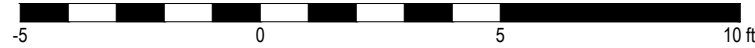
A1.1 _rev B



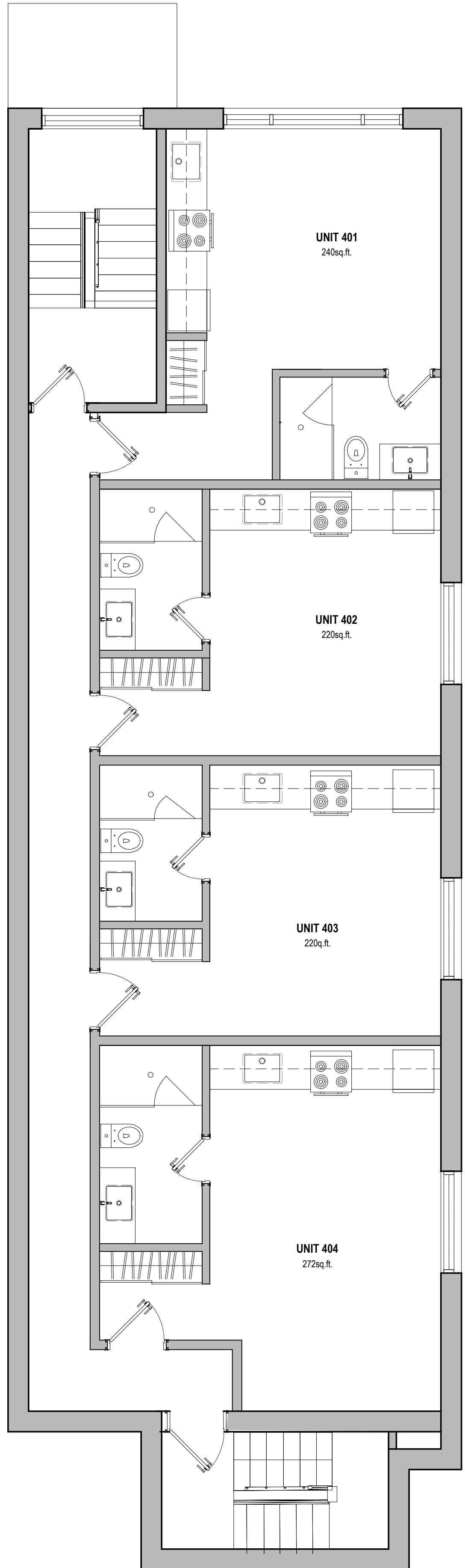
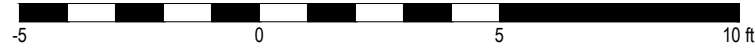
01 | BASEMENT



02 | FIRST FLOOR PLAN - EXSITING

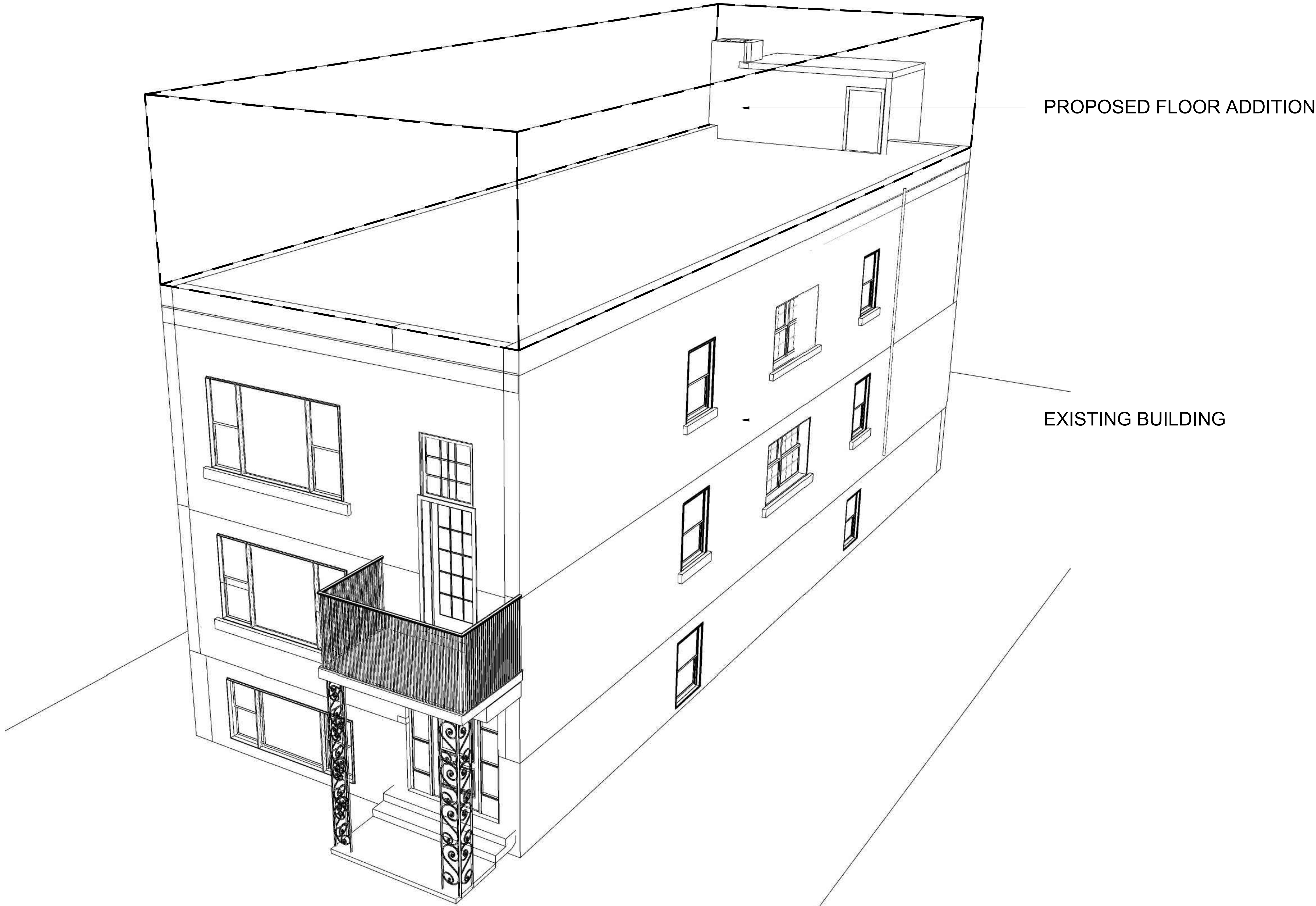


03 | 2ND FLOOR PLAN - EXISTING

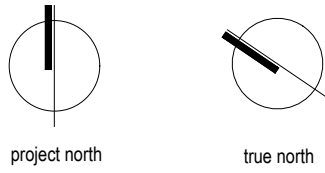


04 | PROPOSED 3RD FLOOR - 4 UNITS





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535 Chapel Street
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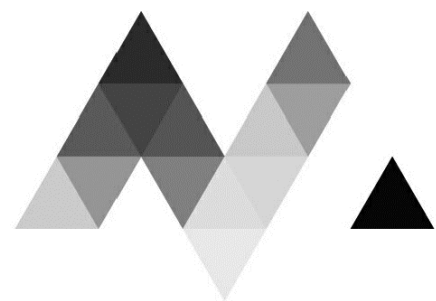
Drawing title

PROPOSED FLOOR

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project number	-
drawing number	-

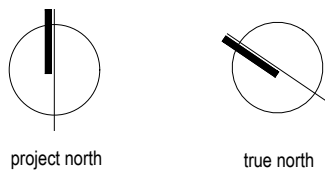
A2.1_rev B

01 | PROPOSED 3RD FLOOR ADDITION



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issue	description	date

535 Chapel Street
Proposed Addition

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ELEVATIONS

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scale	1/4"=1'-0"
date	2021.07.21
project number	
drawing number	

A2.2 _rev B

