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ISSUES			
NO.	ISSUANCE	STATUS	DATE
01	ISSUED FOR REZONING		2022-02-01

SHEET LIST		
SHEET NUMBER	SHEET NAME	SCALE
A000	COVER	-
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PROJECT
1047 RICHMOND ROAD
 OTTAWA, ON K2B 6R1

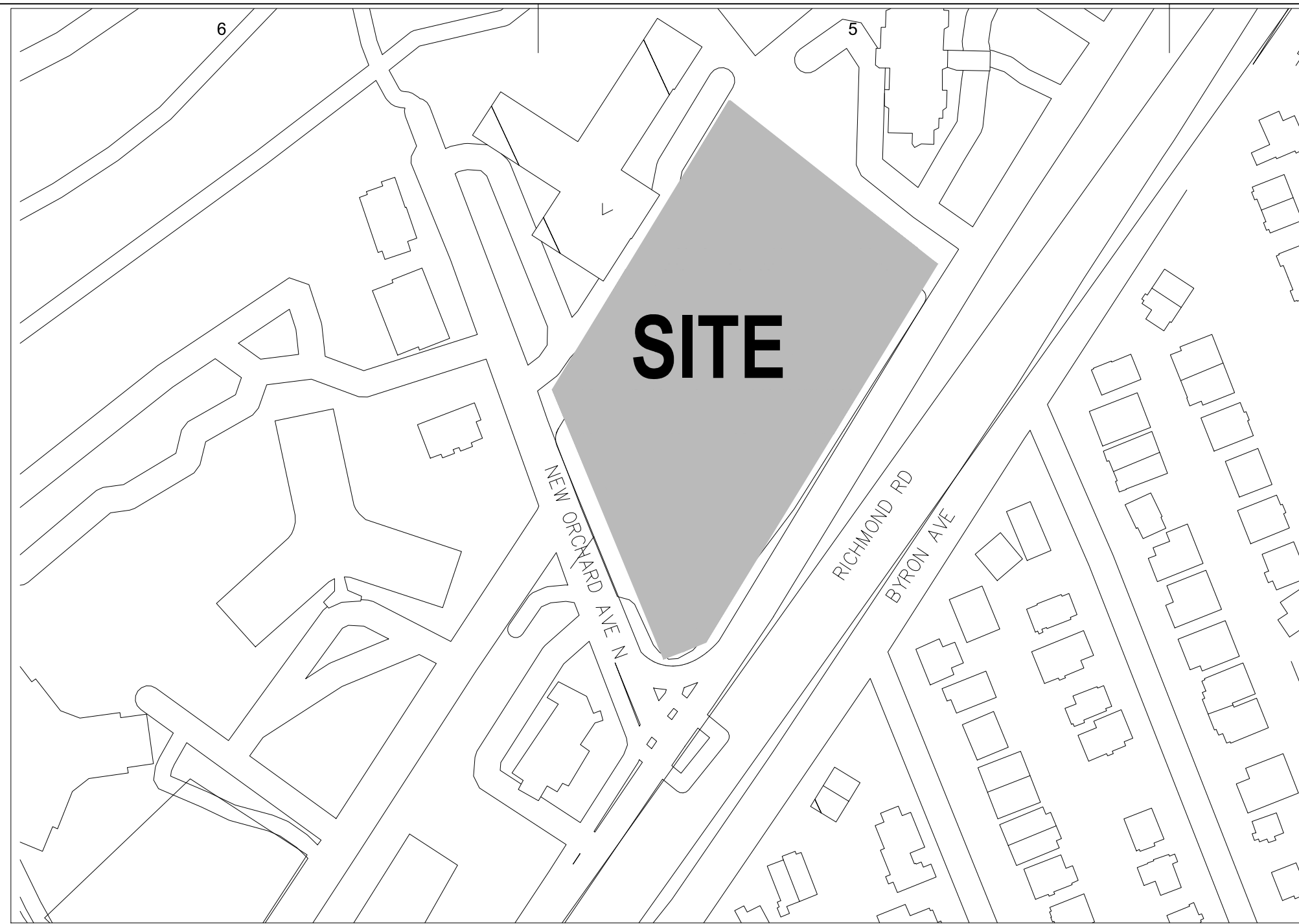
PROJECT NO: 135763

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PROJECT MGR:	APPROVED BY:

SHEET TITLE
COVER PAGE

SHEET NUMBER	ISSUE
A000	

SCALE CHECK 1/16" = 1' = 0/16" = 1/8" = 0/16" = 1/8"



1047 RICHMOND RD. - Ottawa February 1, 2022

PROJECT STATISTICS

SUMMARY	TOTAL	
	SQ. M.	SQ. FT.
Site Area	10,188	109,623
Net Site Area (excludes ROWs)	9,894	106,459
Total GCA (Above grade)	106,288	1,143,660
Total GFA (82% of GCA except GF)	85,422	919,142
Total NSA (Residential + Retail)	89,386	961,797
Building Efficiency		
Total Retail Saleable (Ground)	1,347	14,493
PARK Area (10% of Site area)	1,015	10,925
Total Number of Units in podium	290	
Total Number of Units in towers	1,053	
Total Number of Units	1,343	

PROJECT STATISTICS

Tower A (40)	TOTAL	
	SQ. M.	SQ. FT.
Total Tower GCA	25,977	279,509
Total Tower GFA	21,369	229,927
Total Tower NSA	22,067	237,438
Building Efficiency		
Total Number of Units (tower only)	371	
Tower B (38)	TOTAL	
	SQ. M.	SQ. FT.
Total Tower GCA	25,925	278,950
Total Tower GFA	21,093	226,962
Total Tower NSA	22,213	239,009
Building Efficiency		
Total Number of Units (tower only)	352	
Tower C (36)	TOTAL	
	SQ. M.	SQ. FT.
Total GCA	24,240	260,822
Total GFA	19,855	213,641
Total NSA	20,640	222,086
Building Efficiency		
Total Number of Units (tower only)	330	
Podium (6 storeys)	TOTAL	
	SQ. M.	SQ. FT.
Total GCA	30,147	324,378
Total GFA	23,105	248,612
Total NSA (Res.)	23,120	248,771
Building Efficiency		
Total Number of Units	290	

UNDERGROUND PARKING GCA	SQ. M.	SQ. FT.
P1	8326.5	89,593
P2	8326.5	89,593
P3	8326.5	89,593
TOTAL	24979.5	268779.42

VEHICULAR PARKING PROVIDED	Required	Proposed
VISITOR (0.1 per unit/ Max 30 per bldg)	90	90
Residence		672
TOTAL	90	762

BICYCLE PARKING PROVIDED	Required	Proposed
RESIDENTIAL (0.5 per unit)	672	672
RETAIL (1 per 250m2)	6	6
TOTAL	678	678

AMENITY AREAS PROVIDED	Tower A (m2)	Tower B (m2)	Tower C (m2)	Podium (m2)	Proposed	Required
Communal (3 sqm per unit)	361	963	577	2133.55	4,035	4,029
Private (3 sqm per unit)	5870	7,025	5,270		18,165	4,029
TOTAL provided	6230.5	7,988	5,847	2,134	22,200	8,058

UNIT TYPE	UNIT MIX							
	Tower A		Tower B		Tower C		Podium	
	UNITS	BARRIER-FREE	UNITS	BARRIER-FREE	UNITS	BARRIER-FREE	UNITS	BARRIER-FREE
STUDIO	33	5	32	5	30	5	5	1
1B	170	26	161	24	150	23	55	8
2B	168	25	159	24	150	23	195	29
3B	0	0	0	0	0	0	35	5
TOTAL	371	56	352	53	330	50	290	44
TOTAL NUMBER OF UNITS	1,343							

Building Statistics

Provision	Required	Provided
Minimum Lot Width	No Minimum	80.7m
Minimum Lot Area	No Minimum	10,188m2
Front Yard Setback	No Minimum Maximum: 2 metres	1.5m to new lot line
Interior Side Yard Setback	Maximum: 3 metres between a mixed-use building and another non-residential use building or mixed-use building, except where a driveway is provided, in which case the setback must be a maximum of 6 metres where the driveway leads to a parking area of 20 or more spaces.	10.59m
Corner Side Yard Setback	3 metres , except for any part of a building above 15 metres for which an additional 2 metre setback must be provided	3m Above 15m: 5m
Rear Yard Setback	Abutting a residential zone: 7.5 metres	10m
Minimum Building Height	6.7 metres for a distance of 20 metres from the front lot line	
Maximum Building Height	25 metres Urban Exception [2494] states: where the building height is greater than two storeys or 8 m, whichever is less, between the height of 8 m and 15 m, a building must have an additional setback of at least 5 m than the provided setback from the front lot line and from a side lot line abutting a street and that additional setback is continued from the point where it is provided and zoning mechanism 197(c) in Table 197 does not apply to that additional setback.	Tower A: 123.1m (40 storeys) + 6m Mechanical Penthouse The total height is 129.1m Tower B: 120.5m (38 storeys) + 6m Mechanical Penthouse The total height is 126.5m Tower C: 114.1m (36 storeys) + 6m Mechanical Penthouse The total height is 120.1m
Minimum Width of Landscaped Area	Abutting a residential zone: 3.0 metres	3m on the East side and 1.5m on North side of the site.
Active Entrances	The façade facing the main street must include at least one active entrance serving each residential or non-residential use occupying any part of the ground floor	2 entrances
Amenity Space (Section 137)	6.0m ² / unit, 50% require communal	Total 8,058 m ² amenity is required. Total 22,200 m ² amenity space proposed which includes 4,035 m ² communal and 18,165 m ² Private

Provision	Required	Provided
Minimum Width of a Private Way (Sec. 131)	6.0 metres	6.0m
Minimum setback for any wall of a residential use building to a private way (Sec. 131)	1.8 metres	2.27m shown on ground floor
Minimum separation area between buildings within a planned unit development (Sec. 131)	3.0 metres	12.7m shown on ground floor
Permitted Projections (Sec. 65)	Canopies and Awnings Residential use buildings other than low-rise apartment dwellings and mid-high rise apartment dwellings: 1.8 m, but not closer than 0.6 m to a lot line Uncovered/Covered Balconies 2 metres, but no closer than 1 metre from the property line	Canopies: 1.5 m, but not closer than 0.6m to lot line. Shown on site plan with minimum 0.8m to lot line Balconies: minimum 2m from property line

Parking Provisions

Provision	Required	Provided
Minimum Parking (Area Z)	No off-street motor vehicle parking is required to be provided	N/A
Max. Parking near Rapid Transit Station	1.75 per dwelling unit (combined total of resident and visitor parking)	Total 762 parking spaces proposed for Residence and Visitors. 672 parking space (0.5 per residential unit) proposed for residence.
Visitor Parking Required	0.1 spaces / dwelling unit, less the first 12 units to a maximum of 30 visitor parking spaces (per building)	90 visitor parking spaces provided for 3 buildings.
Parking Space Dimensions	2.6m width x 5.2m length	2.6m width x 5.2m length
Bicycle Parking	Residential 0.5 / dwelling unit Retail Store: 1.0 / 250m ² commercial space	672 bicycle parking provided for residence. (required: 672) 6 bicycle parking provided for commercial users (required: 6)
Bicycle Parking Dimensions	0.6m width x 1.8m length, with a 1.5 metre aisle provided	0.6m width x 1.8m length, with a 1.5 metre aisle provided

Zoning table

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OTTAWA, ON K2B 6R1

PROJECT NO: 135763

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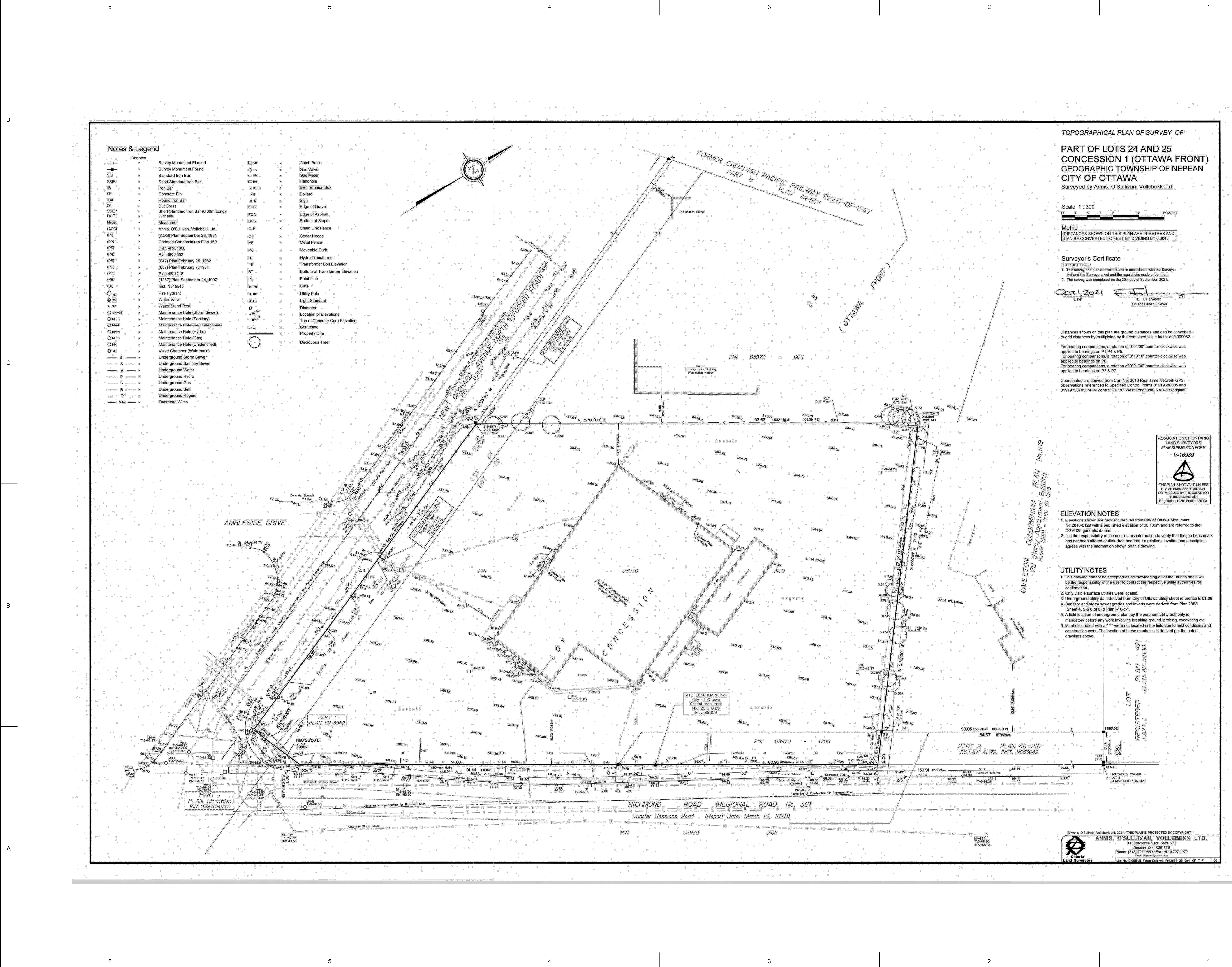
PROJECT MGR: APPROVED BY:

SHEET TITLE
CONTEXT & SITE STATISTICS

1:1000

SHEET NUMBER ISSUE

A100



Notes & Legend

—□—	Survey Monument Planted	□	Catch Basin
—■—	Survey Monument Found	○	Gas Valve
—S—	Standard Iron Bar	□	Gas Meter
—SSB—	Short Standard Iron Bar	□	Handhole
—I—	Iron Bar	□	Bell Terminal Box
—CP—	Concrete Pin	□	Bollard
—R—	Round Iron Bar	△	Sign
—CC—	Cut Cross	△	Edge of Gravel
—SSB*	Short Standard Iron Bar (0.30m Long)	EDA	Edge of Asphalt
(WTT)	Witness	BOS	Bottom of Slope
—Mes.	Messure	CLF	Chain Link Fence
(AOG)	Annis, O'Sullivan, Vollebek Ltd.	CH	Cedar Hedge
(PI)	(AOG) Plan September 23, 1981	MF	Metal Fence
(P2)	Carleton Condominium Plan 169	MC	Movable Curb
(P3)	Plan 4R-31802	HT	Hydro Transformer
(P4)	Plan 5R-3653	TB	Transformer Bolt Elevation
(P5)	(847) Plan February 25, 1982	BT	Bottom of Transformer Elevation
(P6)	(857) Plan February 7, 1984	PL	Paint Line
(P7)	Plan 4R-1218	— —	Gate
(P8)	(1207) Plan September 24, 1997	— —	Utility Pole
(D)	Inst. N54545	— —	Light Standard
—○—	Fire Hydrant	— —	Diameter
—○—	Water Valve	— —	Location of Elevations
—○—	Water Stand Post	— —	Top of Concrete Curb Elevation
—○—	Maintenance Hole (Storm Sewer)	— —	Centreline
—○—	Maintenance Hole (Sanitary)	— —	Property Line
—○—	Maintenance Hole (Hydro)	— —	Deciduous Tree
—○—	Maintenance Hole (Gas)		
—○—	Maintenance Hole (Unidentified)		
—○—	Valve Chamber (Watermain)		
—ST—	Underground Storm Sewer		
—S—	Underground Sanitary Sewer		
—W—	Underground Water		
—P—	Underground Hydro		
—G—	Underground Gas		
—B—	Underground Bell		
—TV—	Underground Rogers		
—OW—	Overhead Wires		

TOPOGRAPHICAL PLAN OF SURVEY OF
PART OF LOTS 24 AND 25
CONCESSION 1 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

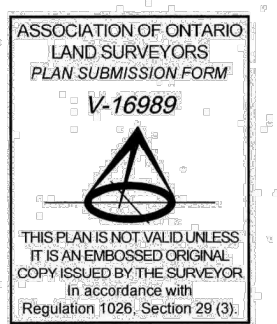
Scale 1:300
 Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Survey Act and the Surveyors Act and the regulations made under them.
 2. This survey was completed on the 20th day of September, 2021.
 E. H. Heney
 Ontario Land Surveyor

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999952.
 For bearing comparisons, a rotation of 0°10'00" counter-clockwise was applied to bearings on P1, P4 & P5.
 For bearing comparisons, a rotation of 0°10'10" counter-clockwise was applied to bearings on P6.
 For bearing comparisons, a rotation of 0°10'30" counter-clockwise was applied to bearings on P2 & P7.
 Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 0191960005 and 01919750705, MTM Zone 9 (76°39' West Longitude) NAD-83 (original).

ELEVATION NOTES
 1. Elevations shown are geosidic derived from City of Ottawa Monument No.2015-0120 with a published elevation of 68.10m and are referred to the CGVD2013 geosidic datum.
 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 2. Only visible surface utilities were located.
 3. Underground utility data derived from City of Ottawa utility data reference E-01-09 (Sheet 4, 5 & 6 of 6) & Plan 110-c-1.
 4. Sanitary and storm sewer grades and inverts were derived from Plan 2303 (Sheet 4, 5 & 6 of 6) & Plan 110-c-1.
 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
 6. Manholes noted with a "*" were not located in the field due to field conditions and construction work. The location of these manholes is derived per the noted drawings above.



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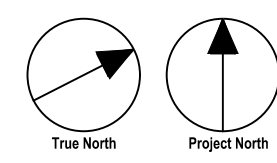
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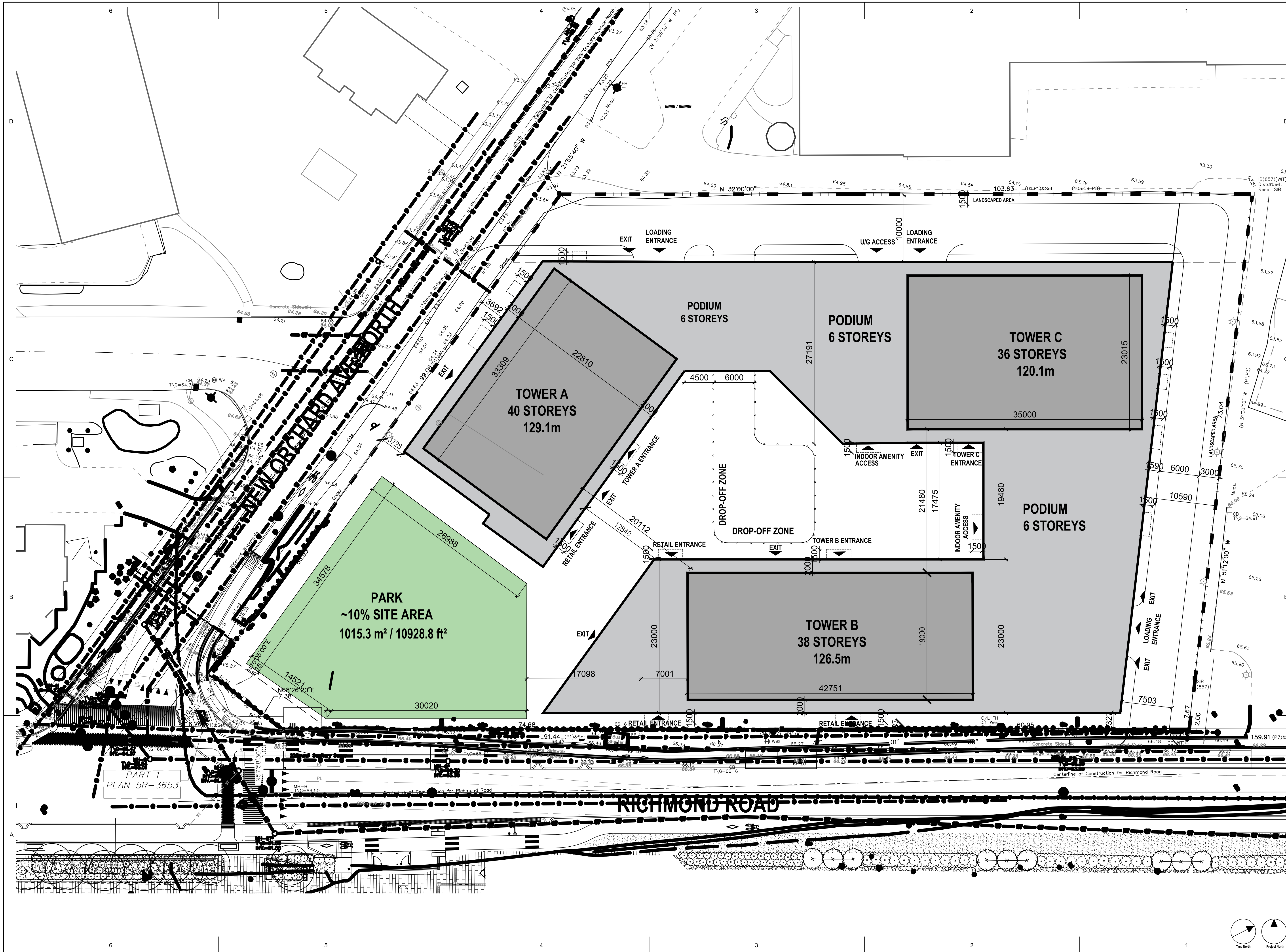
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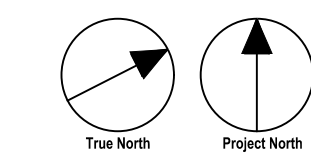
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SURVEY
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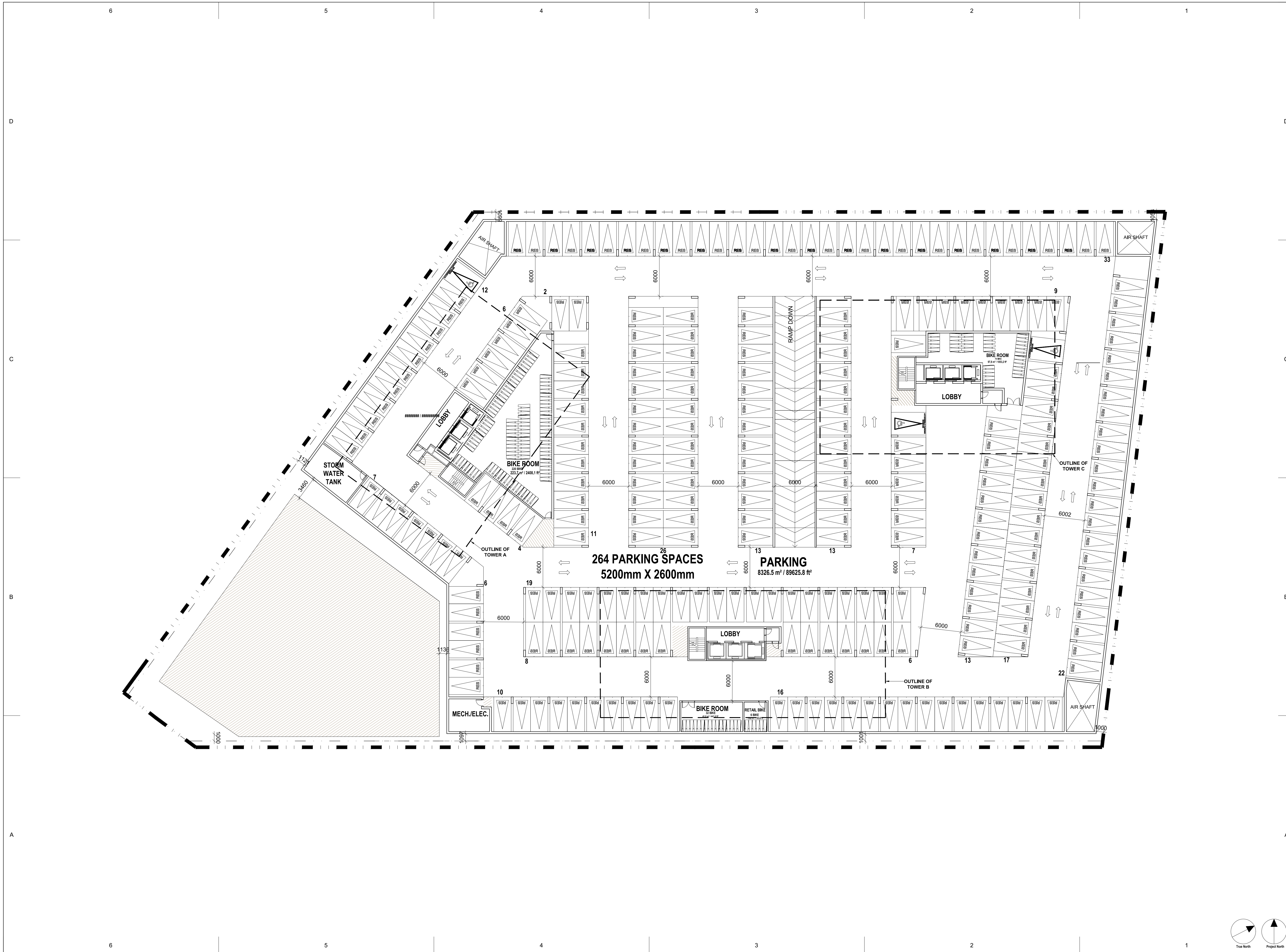
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A101 ISSUE





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PROJECT NO: 135763			
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SHEET TITLE			
SITE PLAN 1:250			
SHEET NUMBER		ISSUE	
A102			



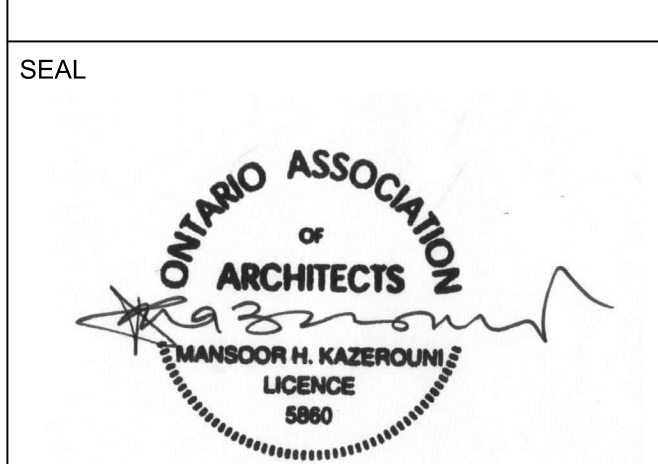


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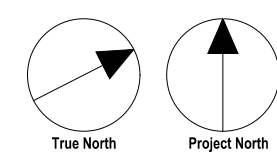
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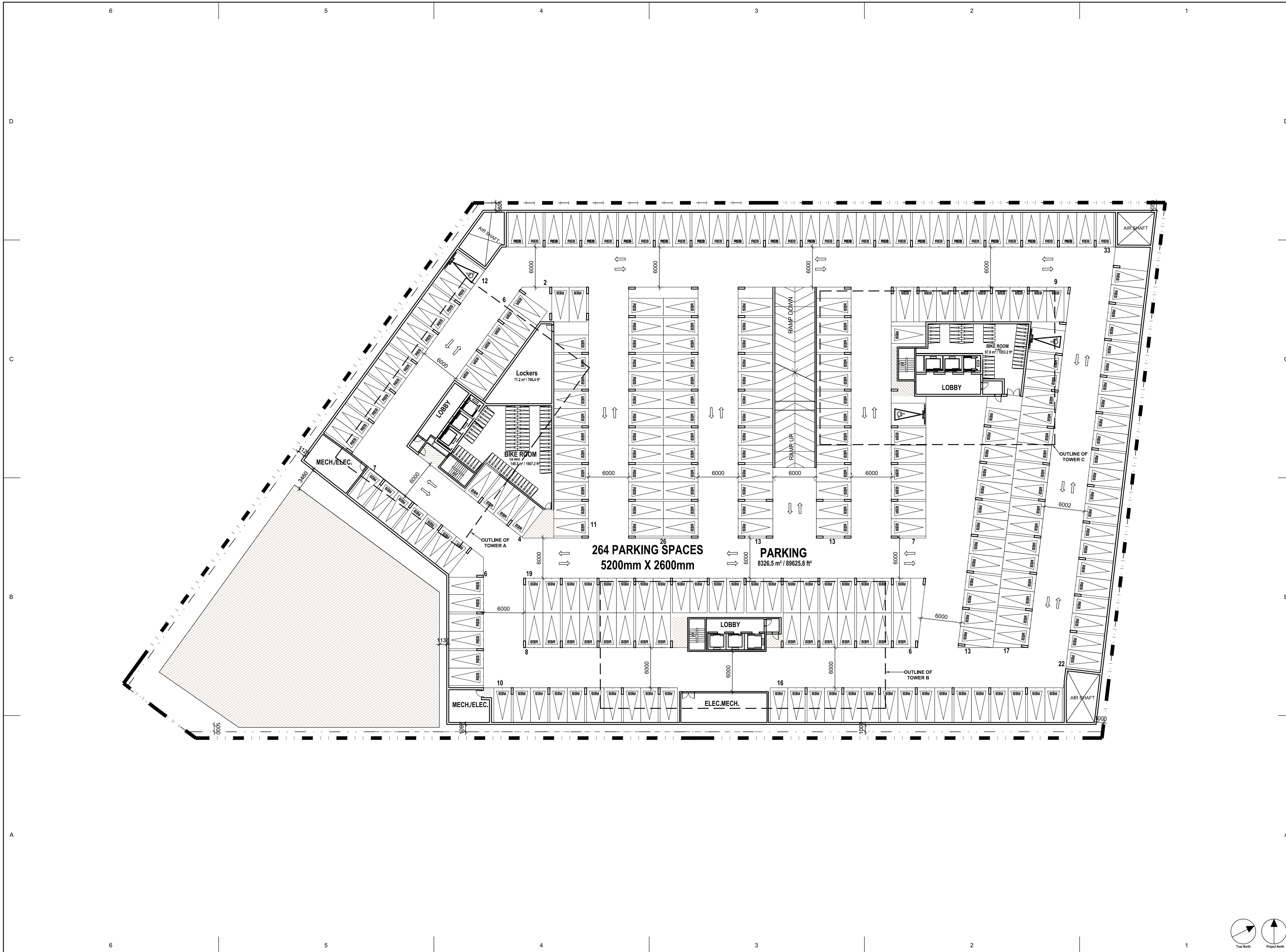
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SHEET TITLE
 PARKING PLAN-P1
 1:250

SHEET NUMBER
 A103



10mm
SCALE CHECK



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ONTARIO ASSOCIATION
OF
ARCHITECTS
MANSOOR H. KAZEROUNI
LICENCE
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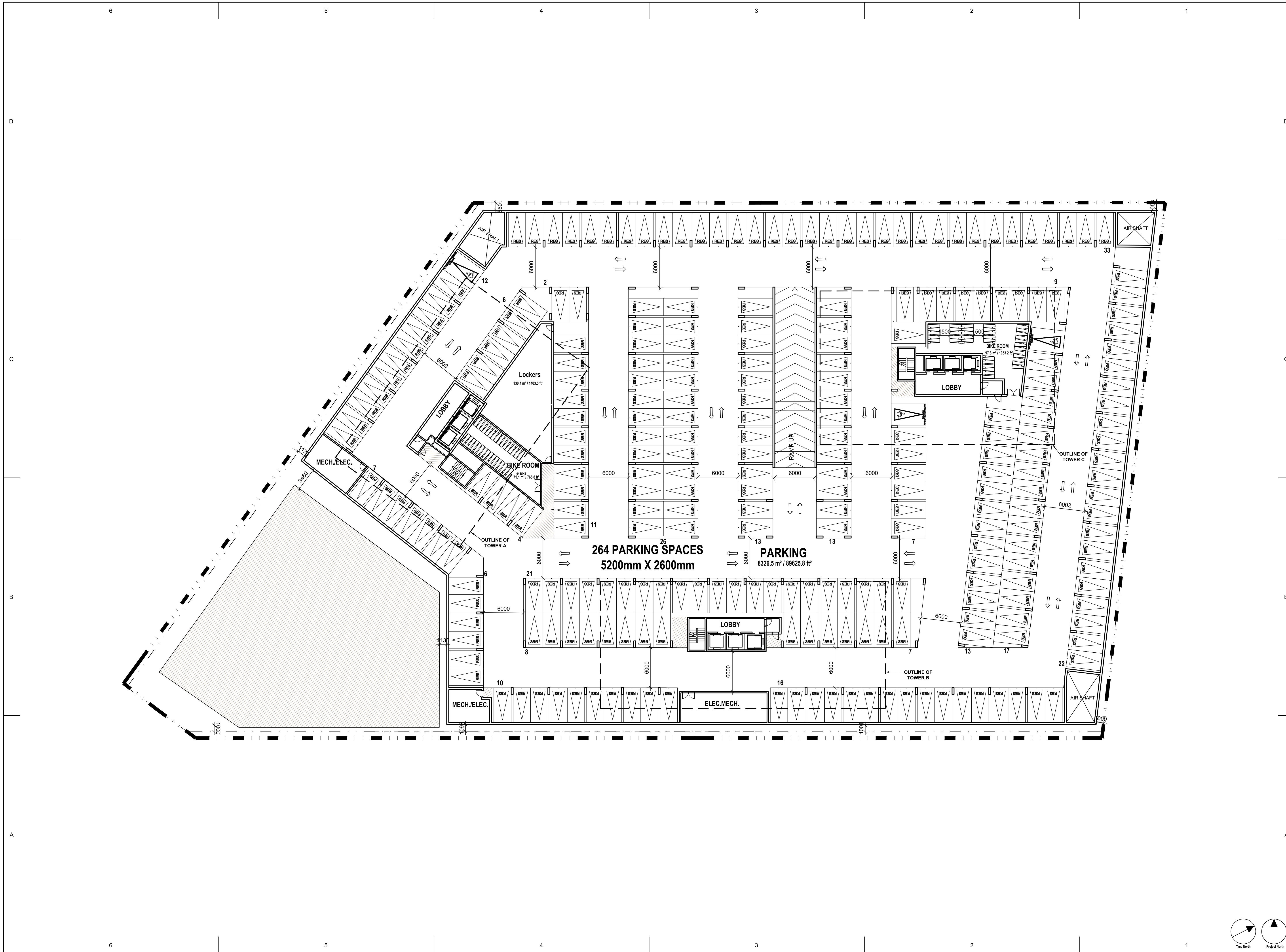
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SHEET TITLE
PARKING PLAN-P2
1:250

SHEET NUMBER A104	ISSUE
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True North
Project North

SCALE CHECK
1" = 10mm



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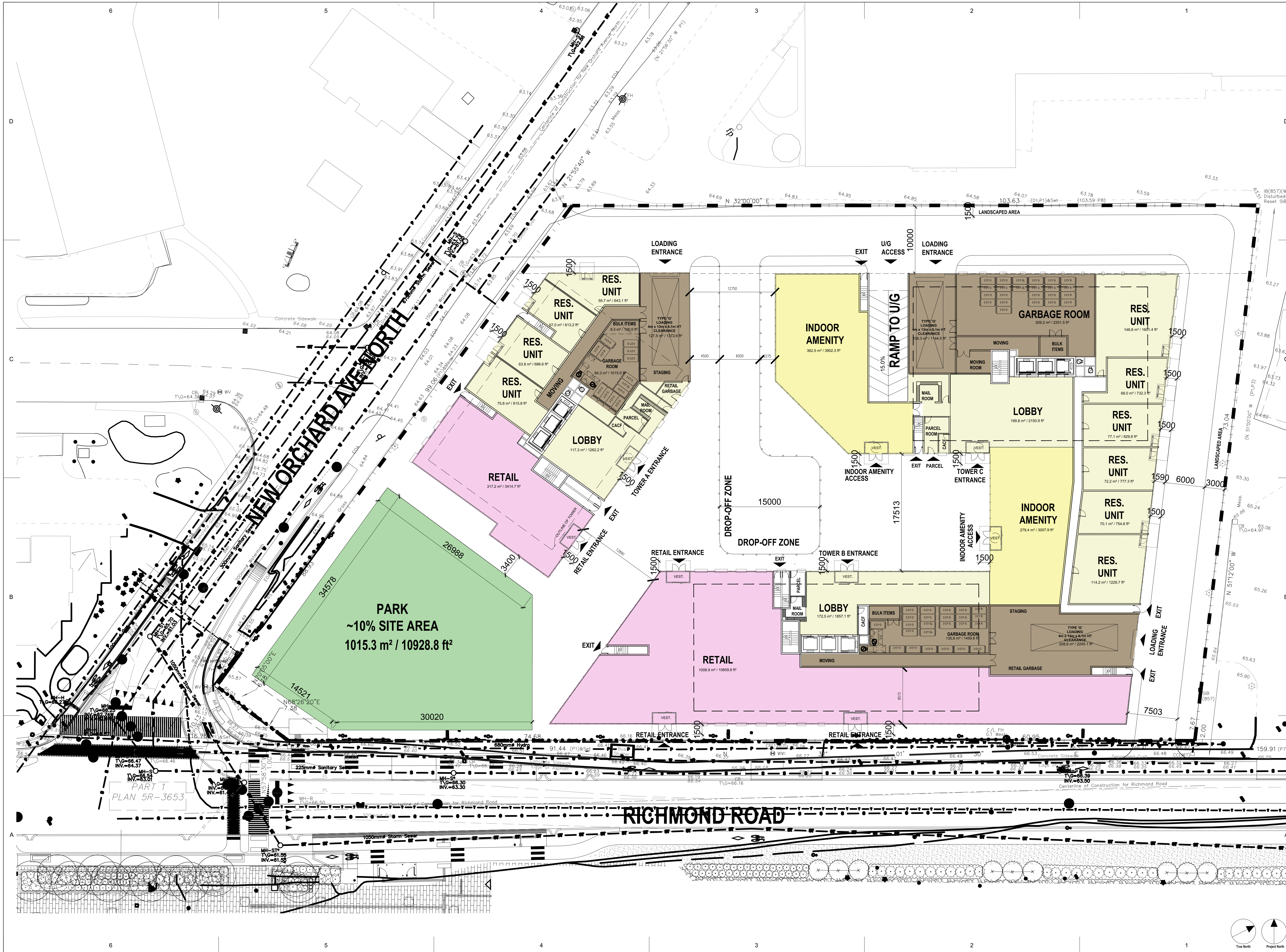
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SHEET TITLE
PARKING PLAN-P3
 1:250

SHEET NUMBER	ISSUE
A105	

Scale: 1:250

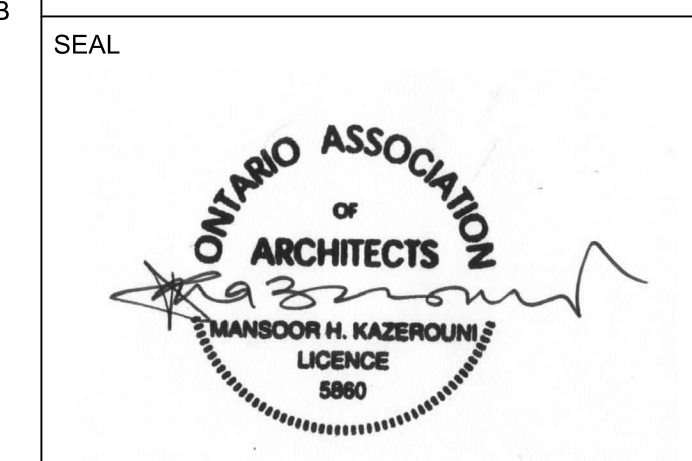


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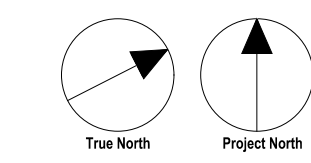
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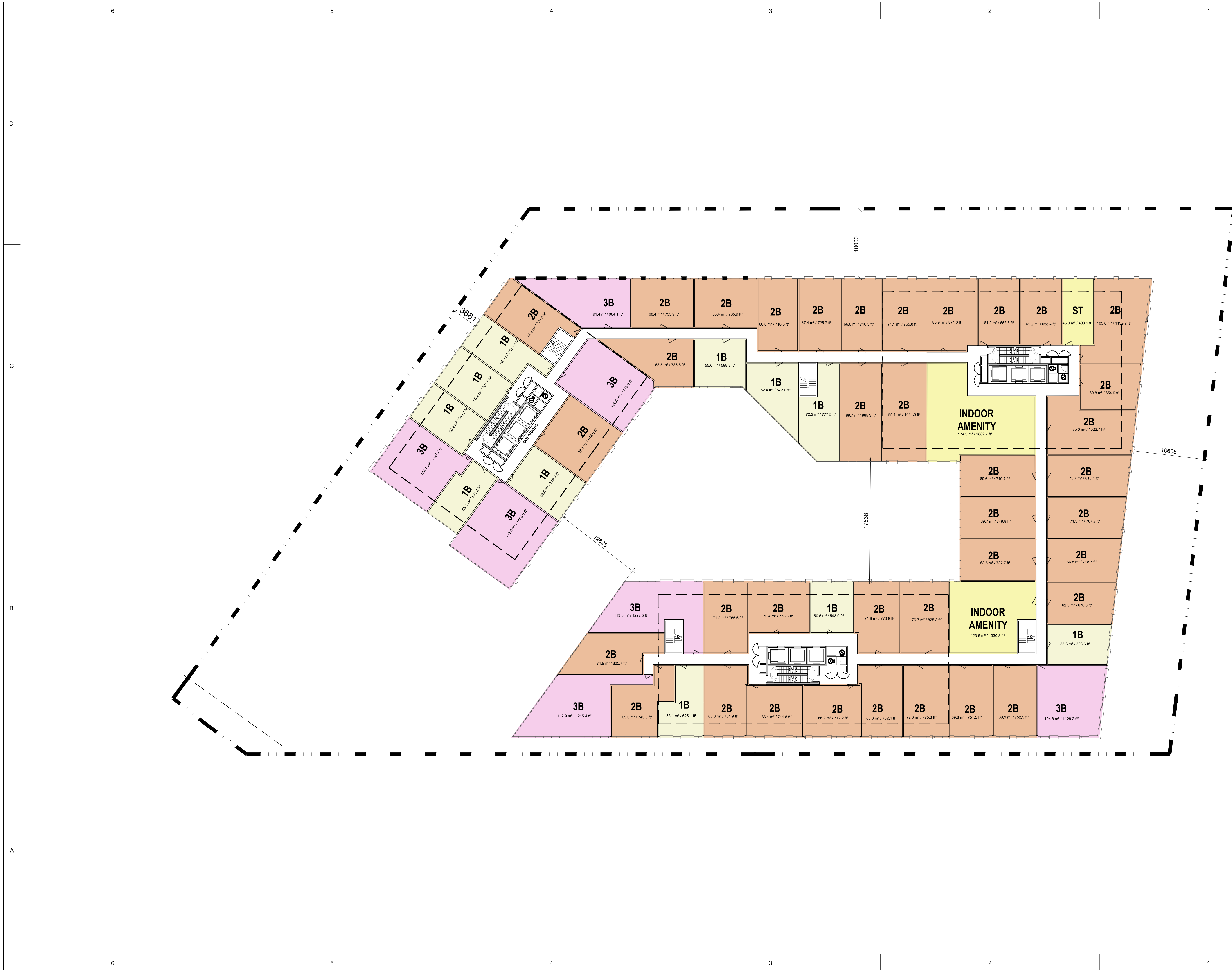
SHEET TITLE
GROUND FLOOR PLAN
1:250

SHEET NUMBER
A201

ISSUE



SCALE CHECK
1"=10mm



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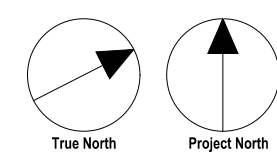
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OTTAWA, ON K2B 6R1

PROJECT NO: 135763

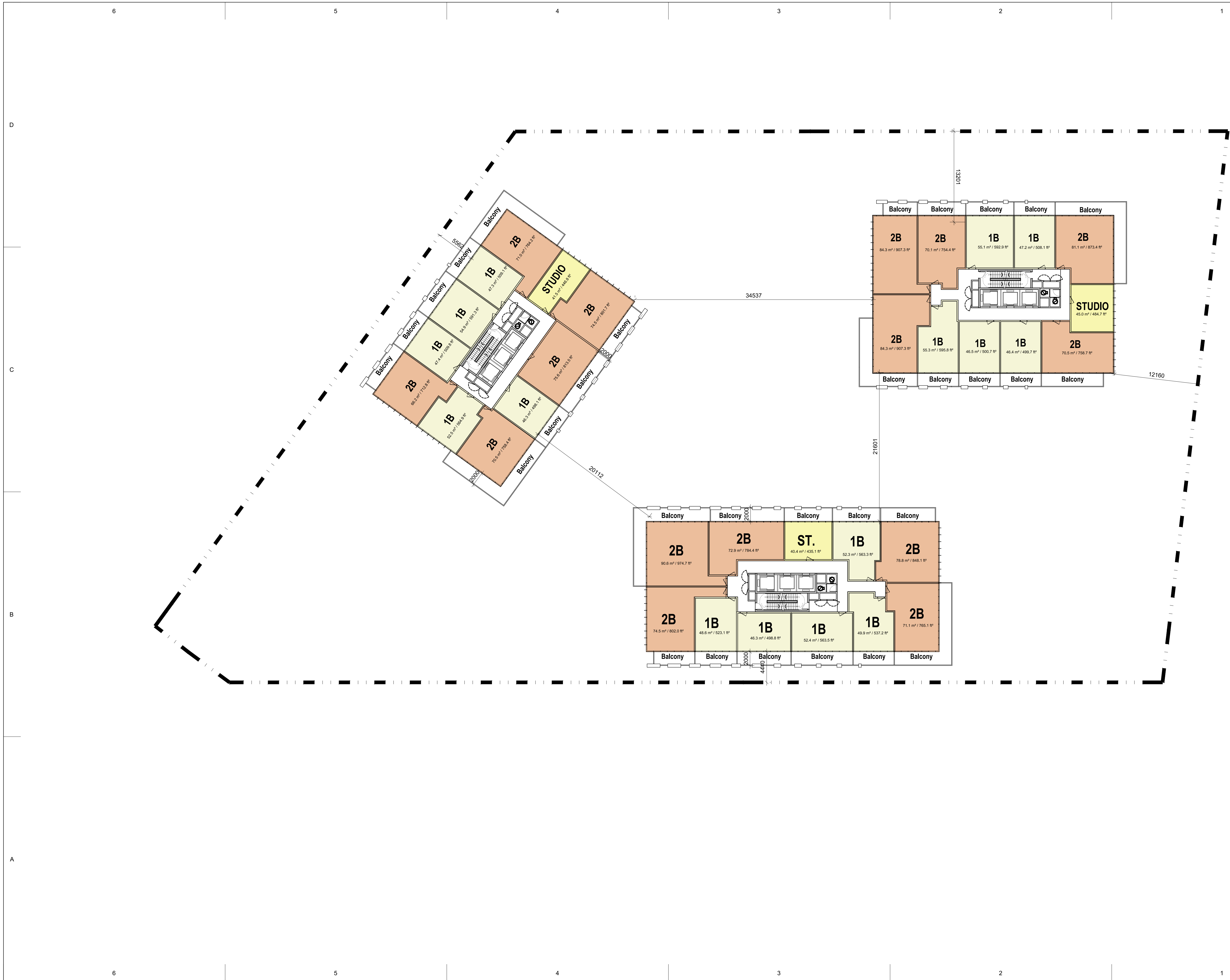
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE
PODIUM PLANS: 2nd to 6th Floor
1:250

SHEET NUMBER A202	ISSUE
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SCALE CHECK 1"=10mm



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NO.	ISSUANCE	STATUS	DATE
01	ISSUED FOR REZONING		2022-02-01



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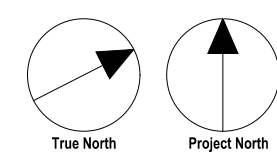
PROJECT
 1047 RICHMOND ROAD
 OTTAWA, ON K2B 6R1

PROJECT NO: 135763

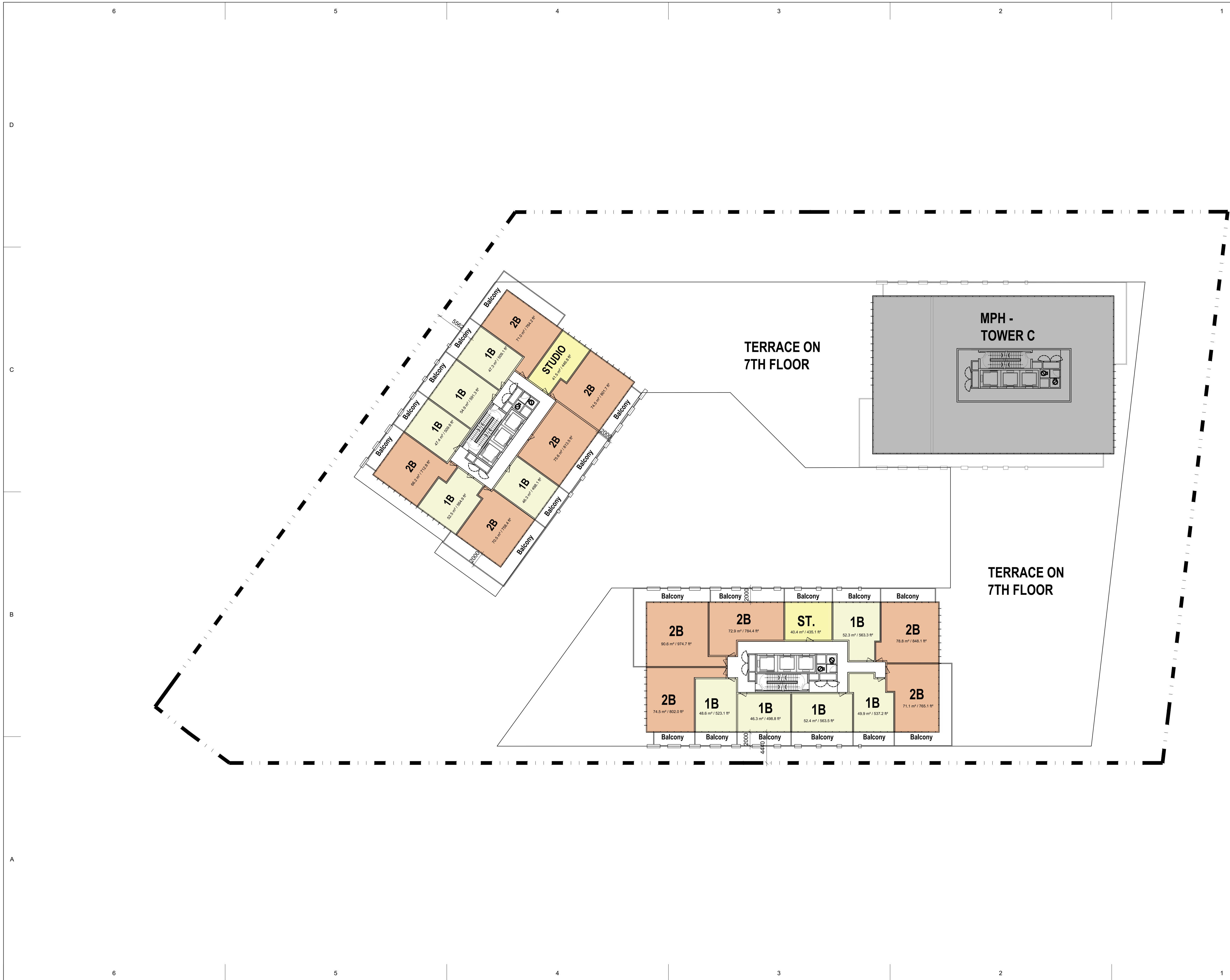
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE
 TYPICAL TOWER PLAN
 1:250

SHEET NUMBER A204	ISSUE
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SCALE CHECK 1:250

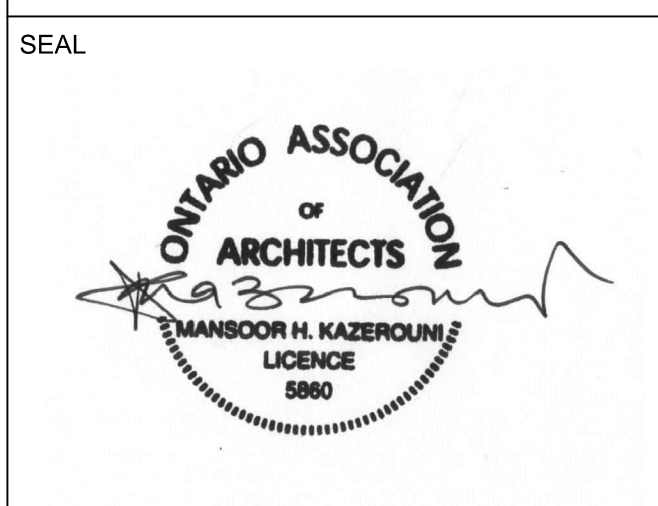


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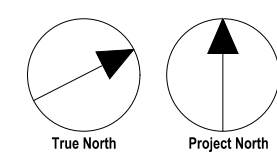
PROJECT
1047 RICHMOND ROAD
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PROJECT NO: 135763

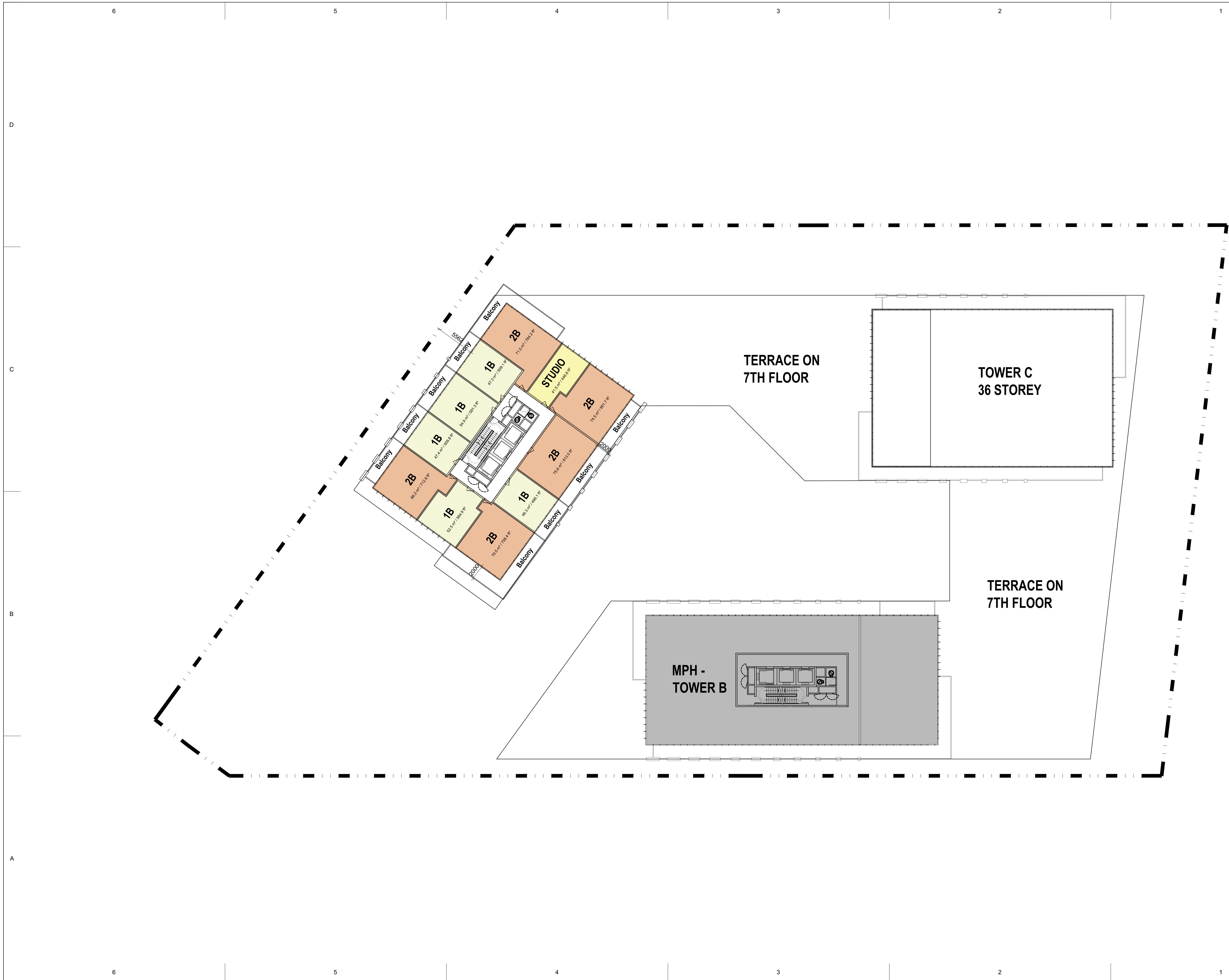
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE
TOWER C MPH
1:250

SHEET NUMBER A205	ISSUE
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SCALE CHECK 1/16" = 1'-0"

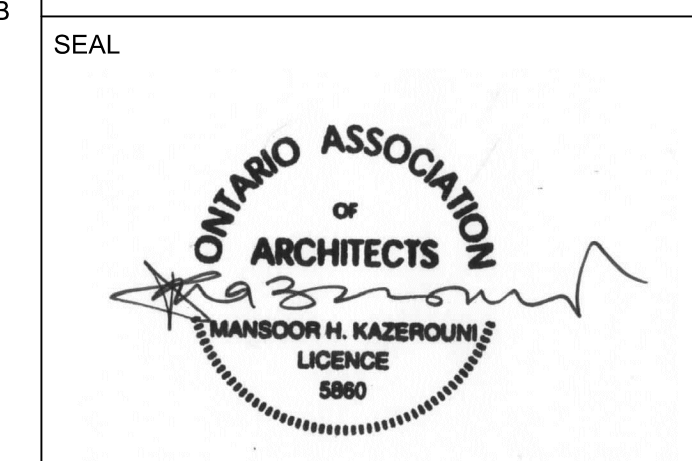


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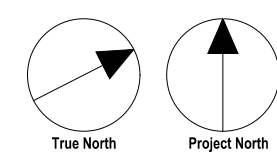
PROJECT
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PROJECT NO: 135763

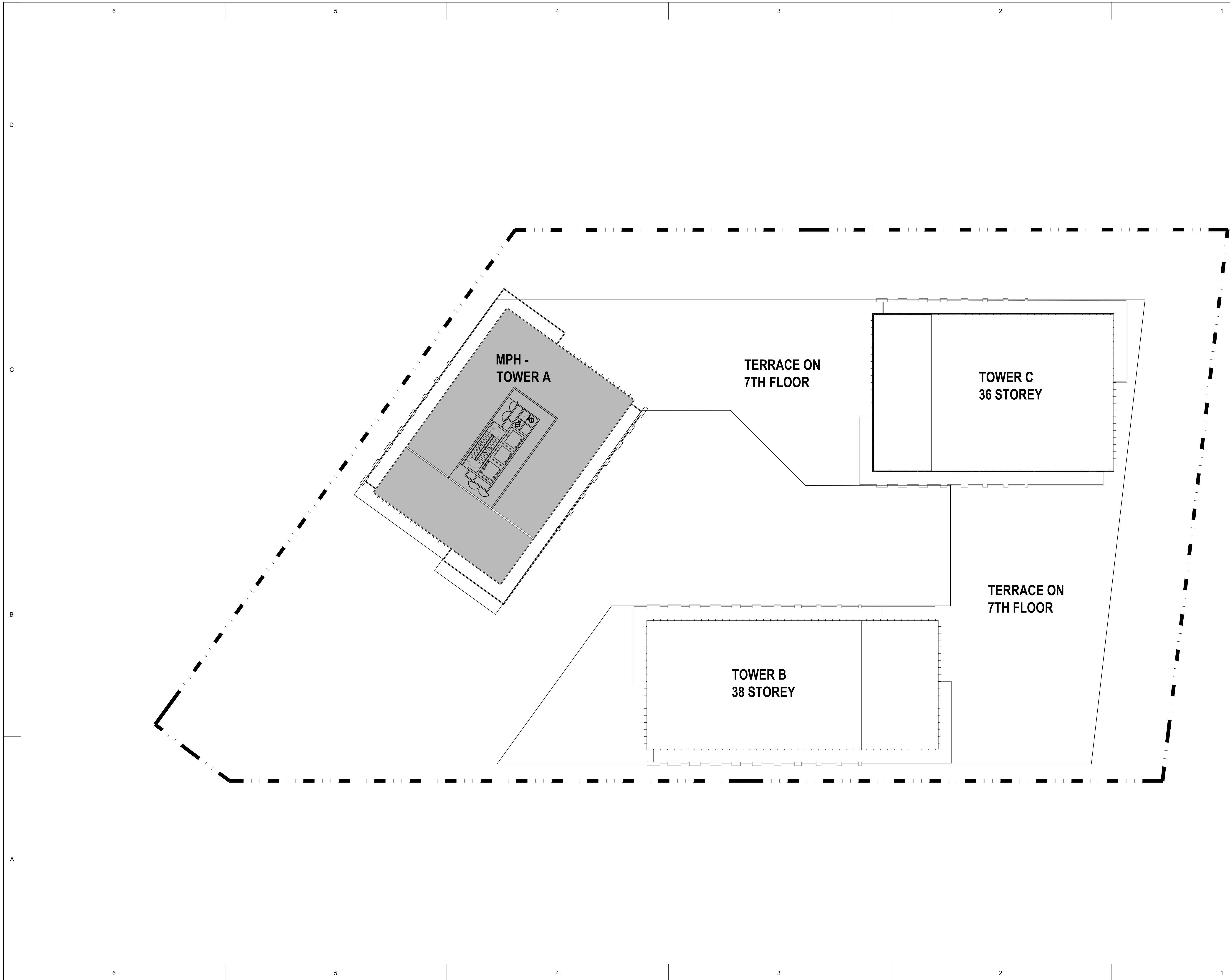
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE
TOWER B MPH
1:250

SHEET NUMBER	ISSUE
A206	



SCALE CHECK 1/16" = 1'-0"



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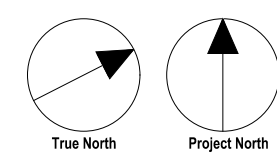
PROJECT
1047 RICHMOND ROAD
OTTAWA, ON K2B 6R1

PROJECT NO: 135763

DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE
TOWER A MPH
1:250

SHEET NUMBER	ISSUE
A207	



1/16mm