

# 1009 TRIM ROAD DEVELOPMENT

## PRELIMINARY LANDSCAPE MASTER PLAN

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PROJET | PAYSAGE  
PLANIFICATION ET ARCHITECTURE DE PAYSAGE

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NOVEMBER 2021  
V.1

# SITE CONTEXT

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A detailed landscape sketch in the background, featuring a winding path, clusters of trees, a circular plaza with a grid pattern, and a building with a series of steps or a ramp. The entire scene is rendered in a dark, monochromatic style with white lines and some light gray shading.

# LANDSCAPE VISION

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LANDSCAPE VISION | BRINGING NATURE'S PLAYGROUND AT YOUR DOORSTEP



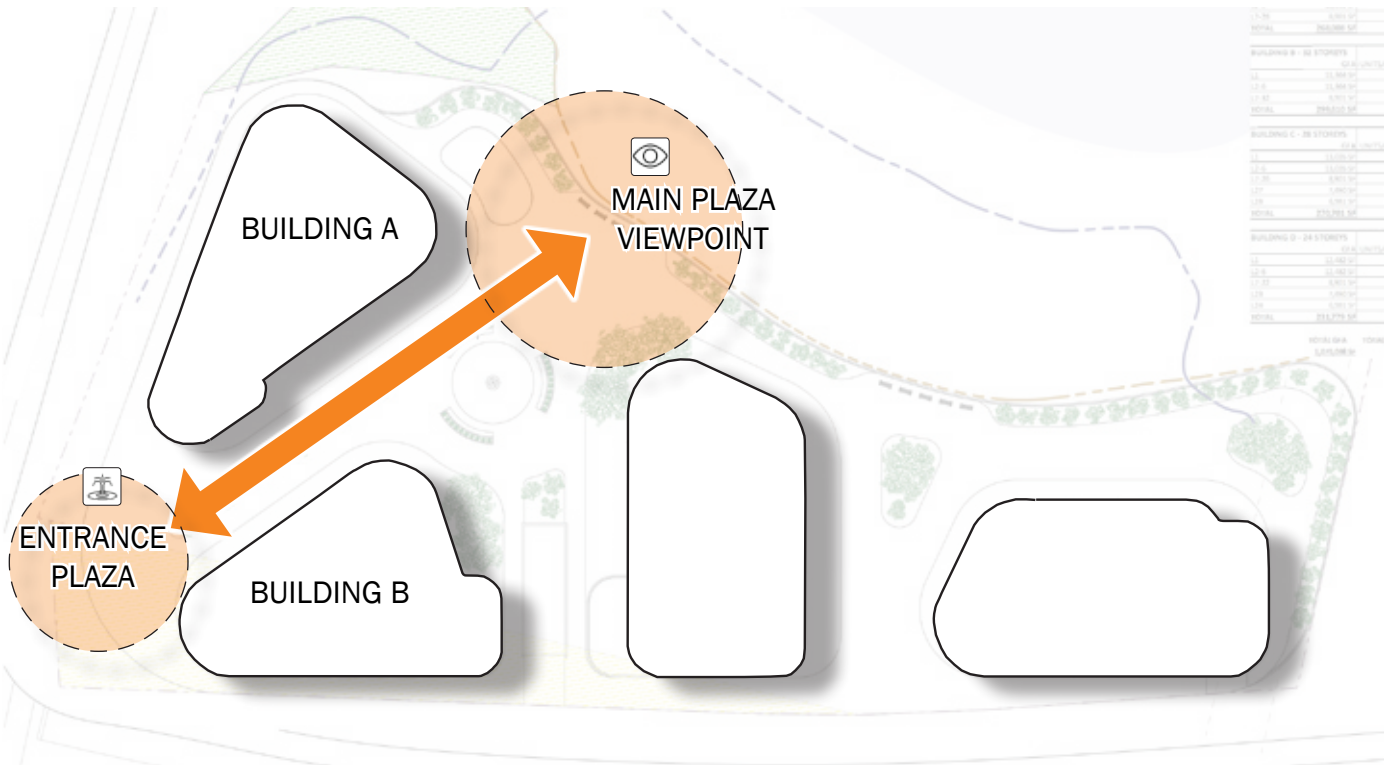


# LANDSCAPE PRINCIPLES



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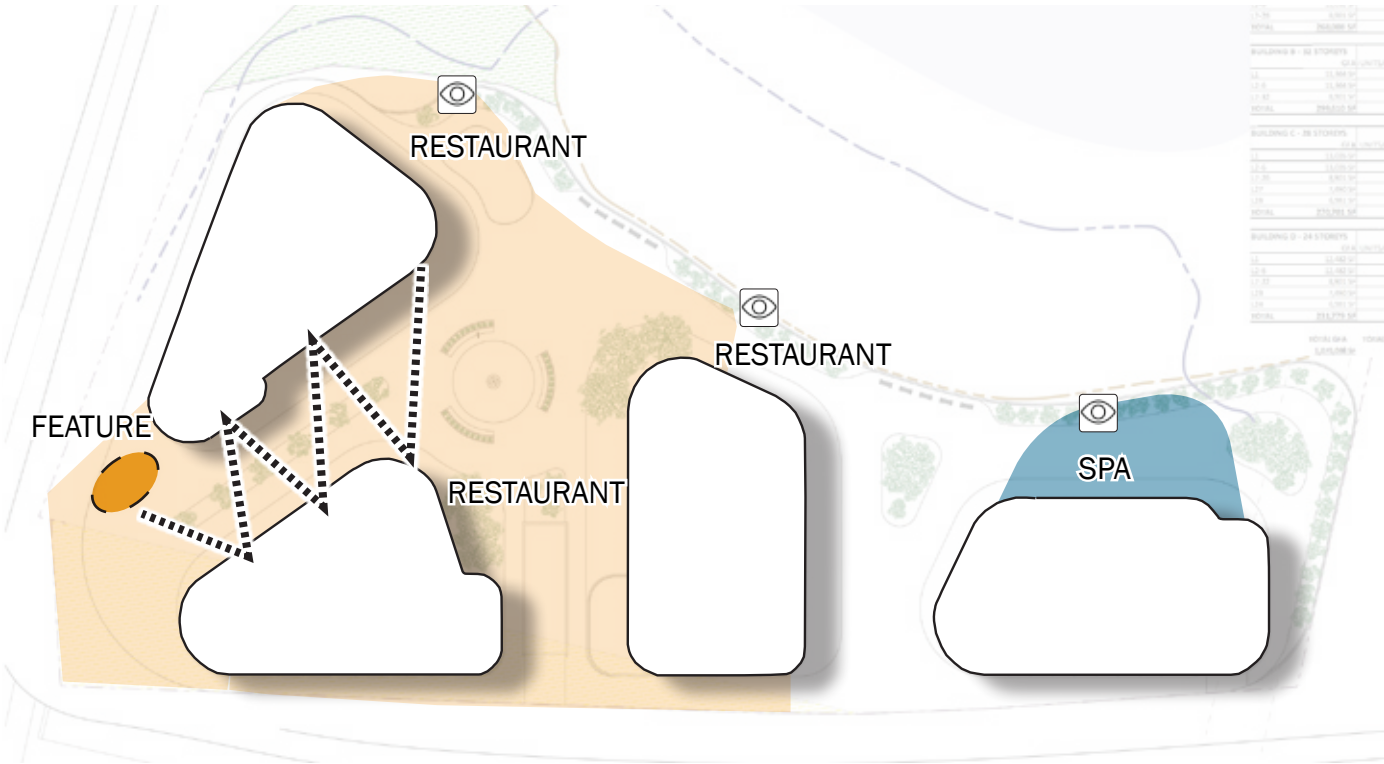




DRAWING PEOPLE IN

The opening created by Buildings A and B draws users from Trim Road and Jeanne d’Arc Blvd into the core of the project. Moreover, the slope of the site creates a natural viewpoint at the end of this axis, towards the river landscape. The back and forth between these two spaces pull the user within the site to fully appreciate what it offers.

- DRAWING PEOPLE INTO THE SPACE;
- INTEGRATION OF A STRONG FOCAL POINT INTO THE PROJECT (VIEWPOINT);
- MARKING AND ACTIVATING THE PROJECT THRESHOLD (FOUNTAIN);
- LINKING THE PROJECT TOGETHER.



ACTIVATING THE SPACE

The commercial / retail component’s success depends on pedestrian traffic and how much the site becomes an attractive destination. In order to encourage the user into occupying the space, the master plan proposes the addition of a small commercial feature at the entrance plaza, like a café, which then draws the user towards the other commercial spaces of the buildings. The restaurants near the core of the project have terraces that dialogue with each other and with the main plaza, all the while engaging with the context of the river. Finally, the outdoor section of the spa establishes itself as a more restful and private link with the waterfront.

- ADDITION OF A SMALL FEATURE AT THE ENTRANCE PLAZA TO ACTIVATE THE SPACE;
- POSITIONING OF COMMERCIAL/ RETAIL SPACE TOWARDS THE CENTRAL CORE PLAZA;
- CONNECTION OF THE SPA WITH THE WATERFRONT.





CREATING A VIBRANT CORE

The heart of the project is built around a flexible all-season plaza. This area, located towards the banks of the river, allows for breathtaking views. The space is programmed to encourage users to make use of the retail and commercial facilities. It is bordered by the different restaurant terrasses, acting as a unit to create a lively public core.

- A CENTRAL CONNECTING POINT TO ATTRACT USERS TO THE ADJACENT COMMERCIAL AND RETAIL SPACES;
- A CENTRALIZED SPACE OPEN TOWARDS THE VIEWS OFFERED BY THE LANDSCAPE;
- A SOCIAL CORE FOR DINING AND PEOPLE WATCHING.

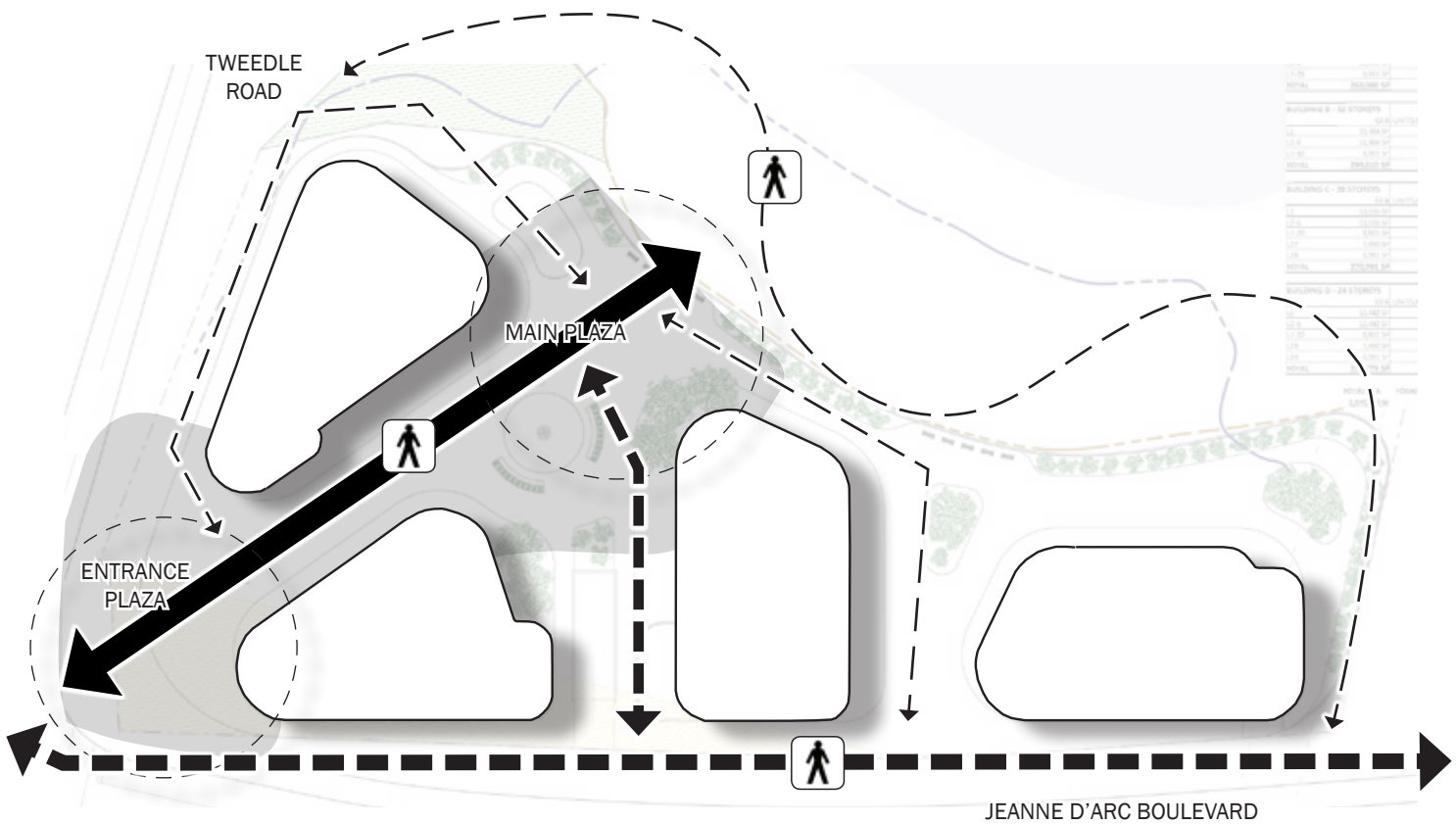


PROGRAMMING THE SPACE

The spaces are programmed to generate a variety of activities to both attract and retain users to the site. In addition to the commercial and social aspect of the core plazas, the site also offers notable viewpoints, which then transition into a the natural banks of the ottawa river, for exploration and immersion in its incredible landscape. A smaller, more intimate pocket park complements it to the east of the site, for the residents to use. On Jeanne D’Arc Blvd, the green promenade allows for multi-use, active travel like skating, biking or jogging, and the more fitness-oriented users can find a gym in one of the buildings.

- A VARIETY OF PROGRAMMED SPACES FROM DYNAMIC AND SOCIAL TO CALM AND CONTEMPLATIVE;
- THE INTRODUCTION OF THE NATURAL CONTEXT INTO THE PROJECT;
- A STRONG AND BUSY LINEAR AND CENTRAL PLAZA;
- INTIMATE SPACES FOR RESIDENTS (PATHWAYS, POCKET PARK...).

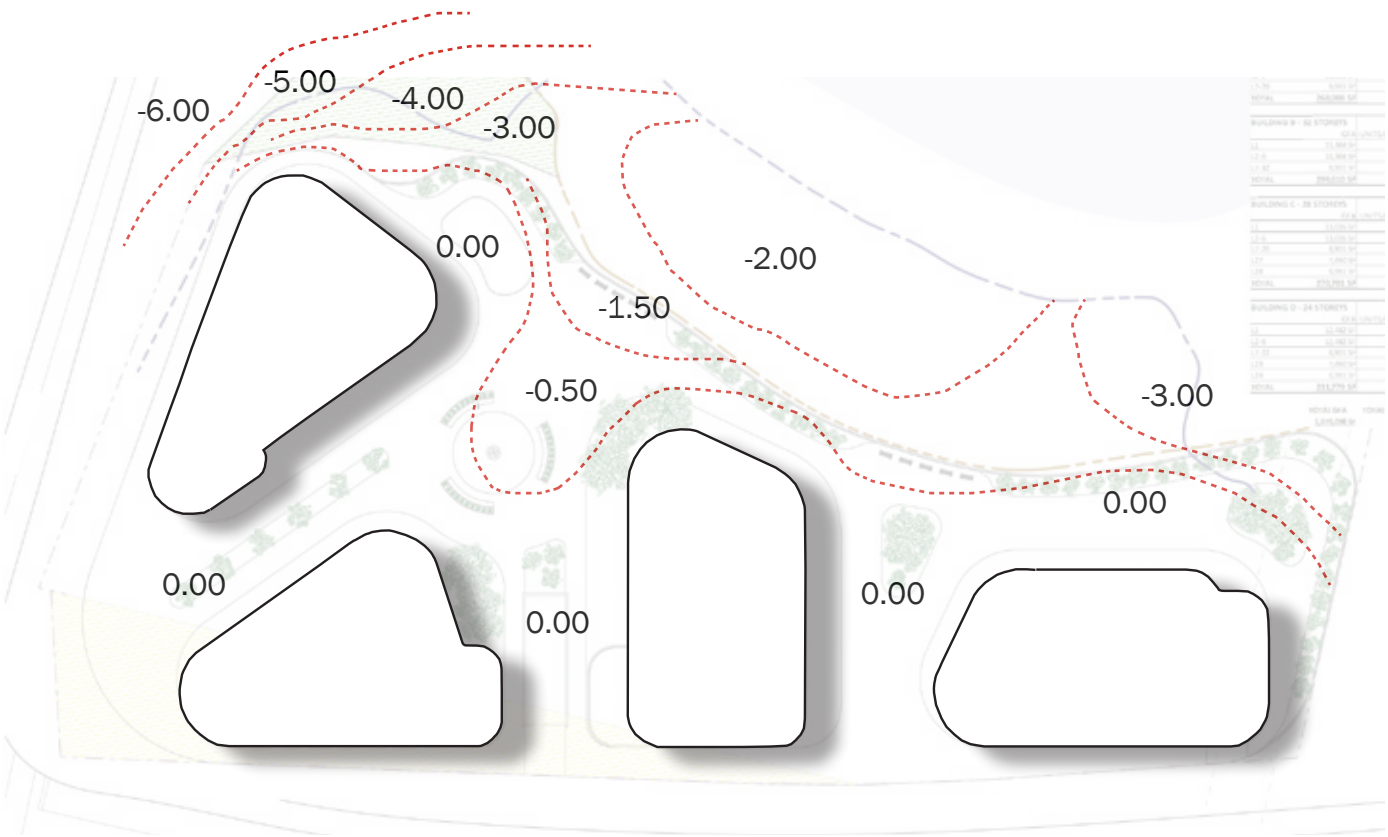




INTEGRATING THE NETWORK

The masterplan proposes to create a hierarchical network of pedestrian paths connecting the project to its external setting. The main, central spine is wider and mineralized in order to accommodate an array of retail and commercial activities. A series of secondary paths connect the main plaza to Jeanne-d’Arc Blvd, establishing links with the mixed-use network of the urban context. The link to Jeanne d’Arc Blvd and higher-speed transit is further developed with the inclusion of parking spaces. Finally, a meandering path slowly loops the site to allow users and residents a more casual stroll towards the natural beauty of the waterfront.

- A DYNAMIC MAIN AXIS;
- A PERMEABLE PEDESTRIAN NETWORK THROUGHOUT THE WHOLE SITE;
- LINKS TO EXISTING MIXED-USE TRAIL NETWORK;
- CONNECTION TO PARKING SPACE AND THE MARINA NEARBY.



CONNECTING WITH THE CONTEXT

The project is located on the crest of a slope connecting Jeanne d’Arc Blvd to the Ottawa river. In order to create a smooth transition between these spaces and offer a diversity of views and experiences (spa, viewpoints, restaurant terraces...), the masterplan proposes to use gradual, organic slopes on the site. This will allow a smooth transition towards the waterfront through natural terraces of varied elevation. Moreover, the plan proposes to reuse the excavated material from the construction of the underground parking to fill in this new topography.

- A SMOOTH CONNECTION TO THE NATURAL SETTING THROUGH A SERIES OF LANDSCAPED TERRACES FROM THE PROJECT EDGE TO THE WATERFRONT;
- GRADUATE SLOPING FROM VIEWPOINT TO WETLAND, OPENING THE SITE TOWARDS TWEEDLE ROAD;
- A SERIES OF UNINTERRUPTED VIEWS TOWARDS THE OTTAWA RIVER.
- REUSING SITE RESOURCES FOR THE NEW TOPOGRAPHY



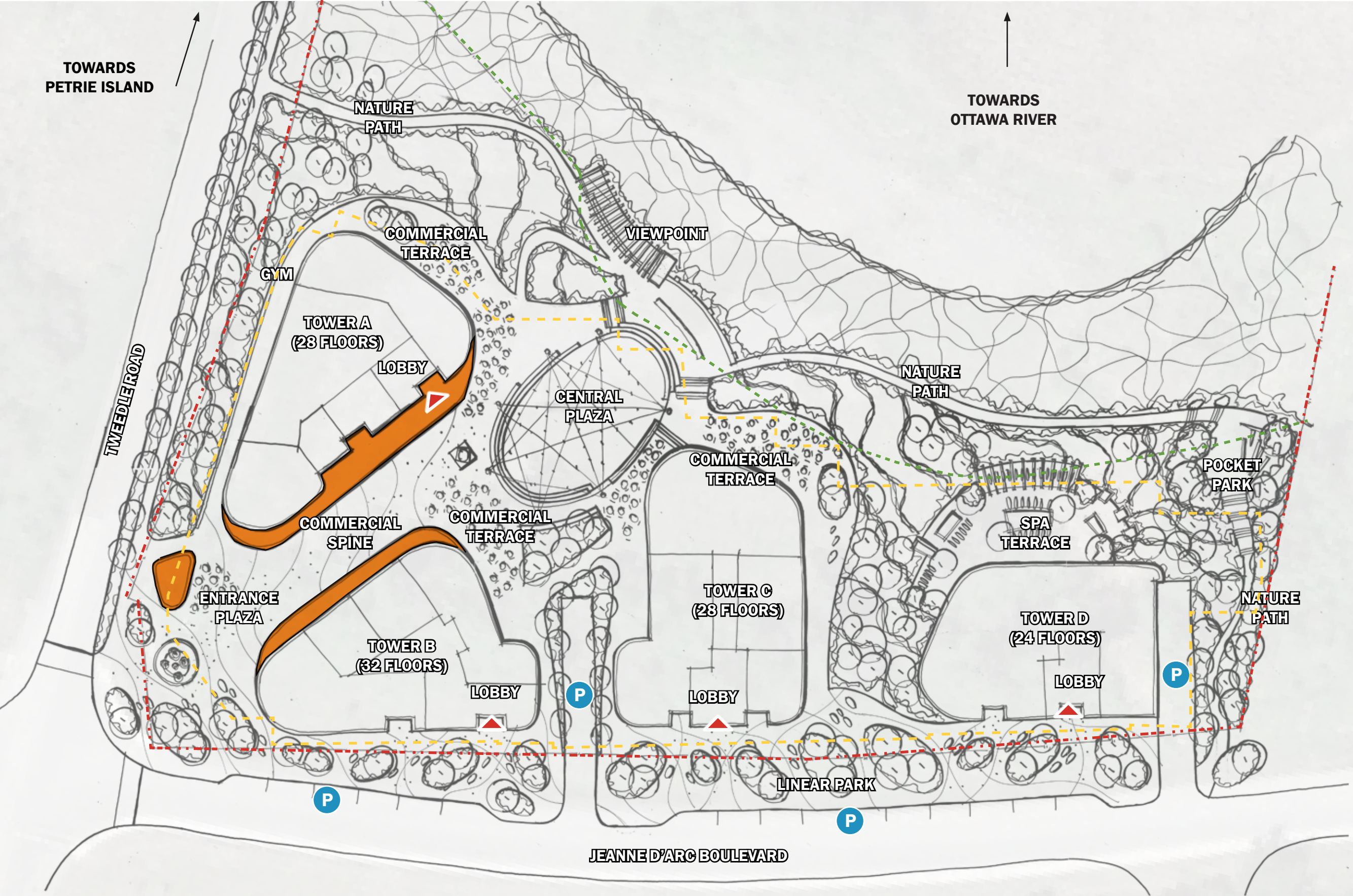
# LANDSCAPE MASTER PLAN

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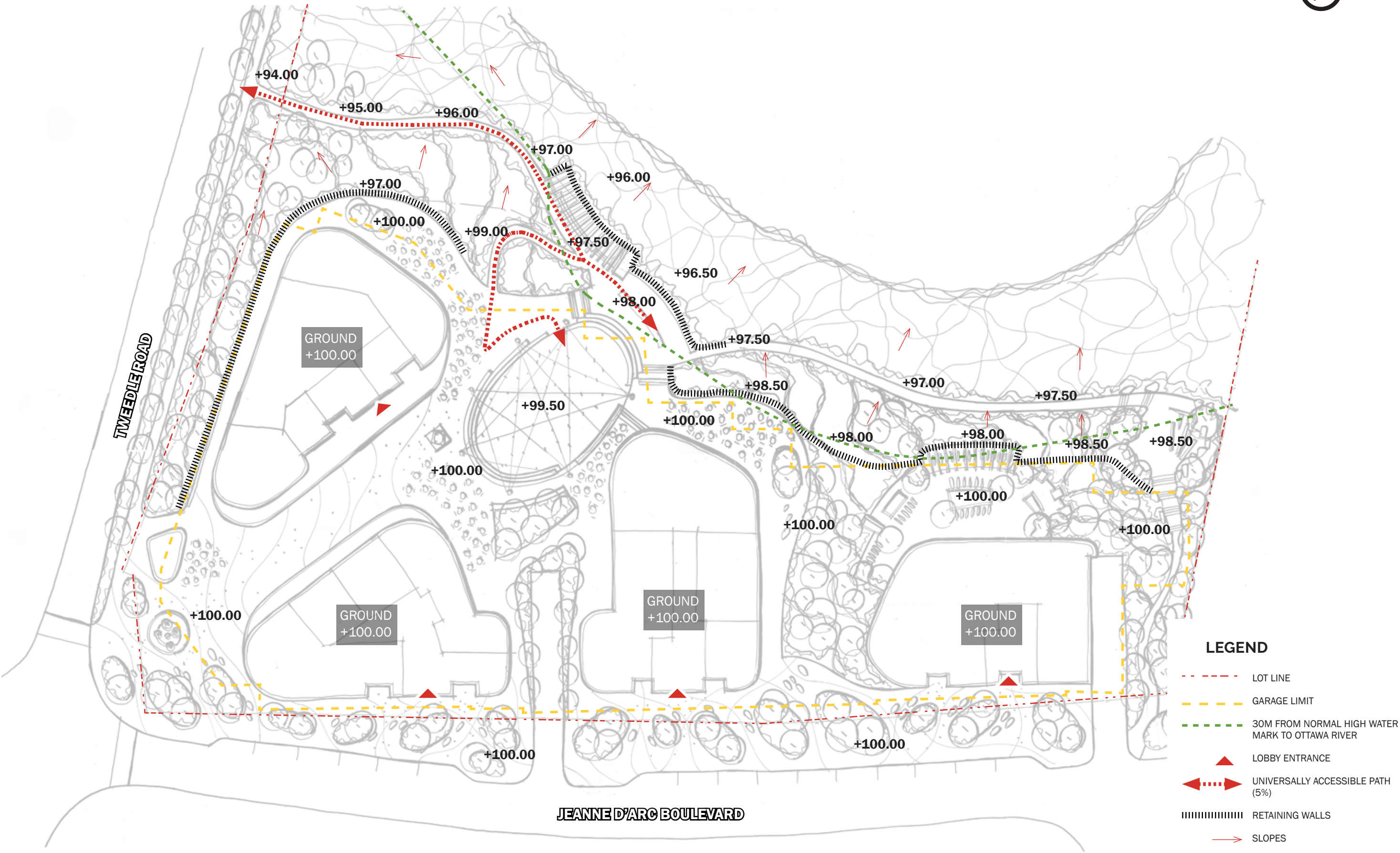




LANDSCAPE MASTER PLAN I





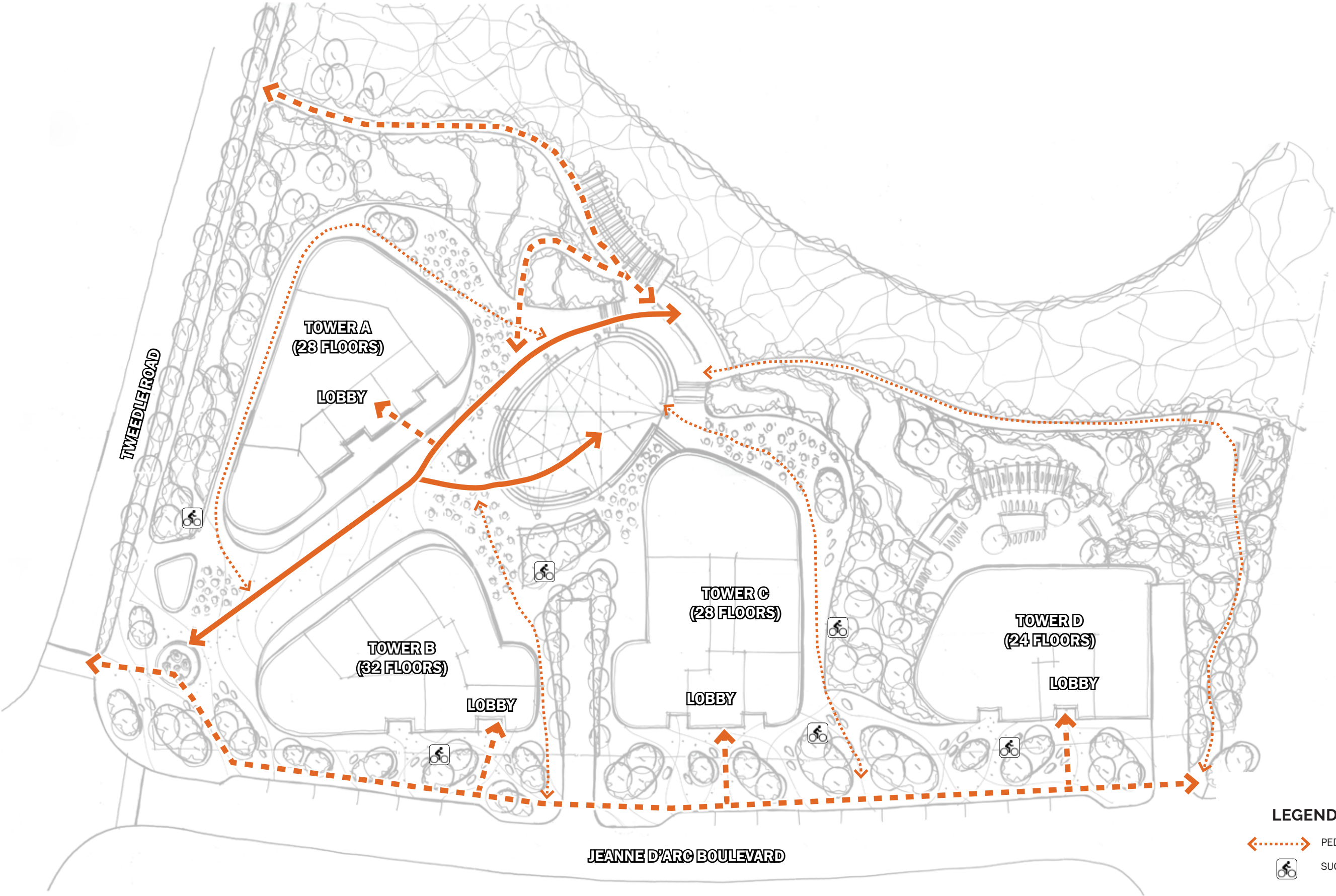




LANDSCAPE MASTER PLAN | GRADING STRATEGY







**LEGEND**

PEDESTRIAN CIRCULATION

SUGGESTED BIKE PARKING





THE PROPOSED BOULDER TYPE RETAINING WALLS ARE MORE THAN 60CM (2 FEET) AND, THEREFORE CAN BE USED AS A TUTRLE BARRIER.

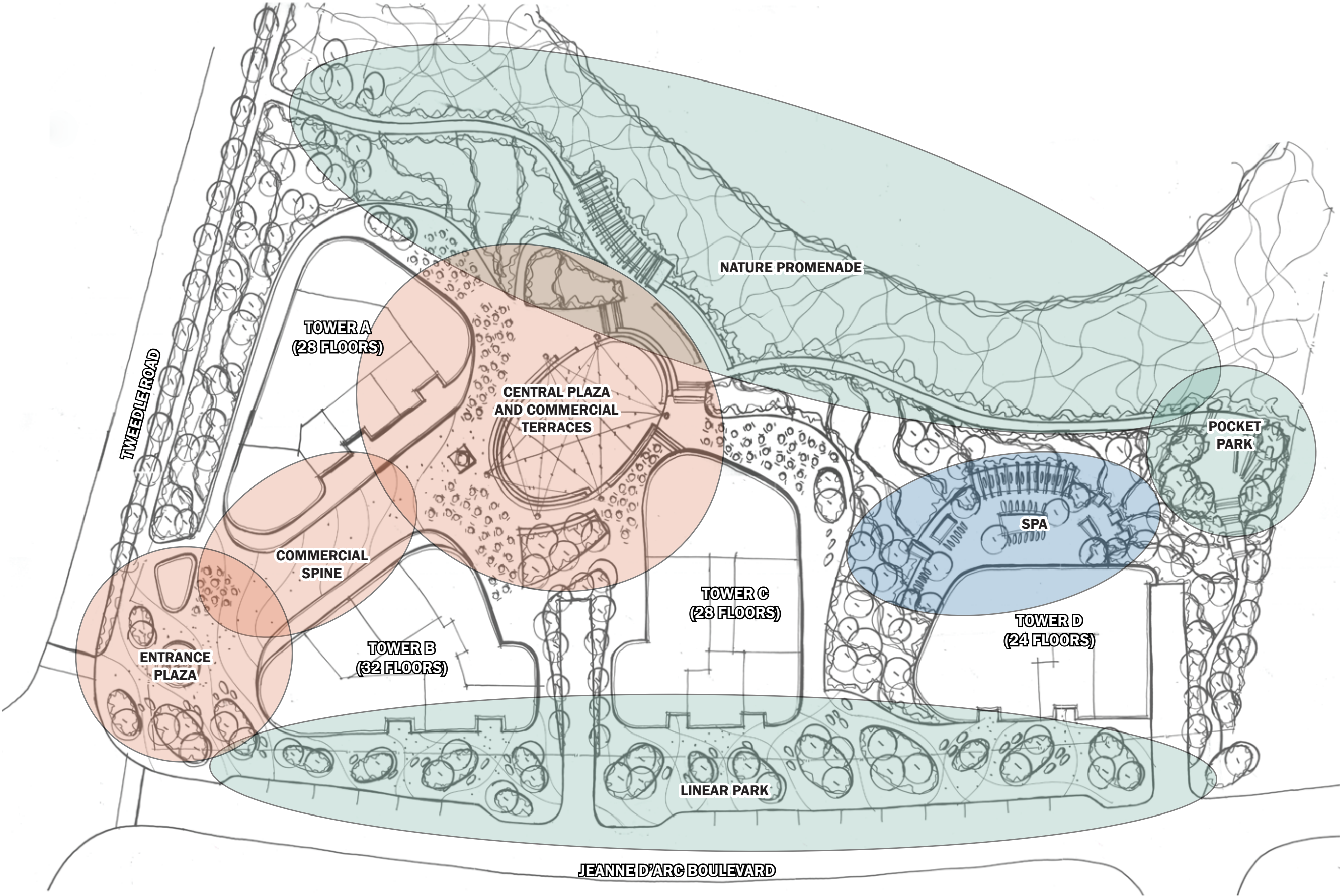




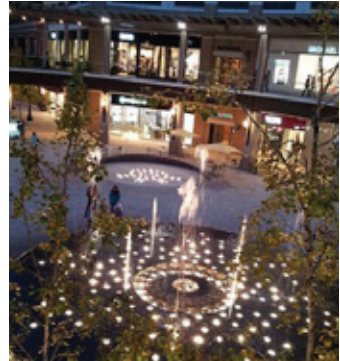
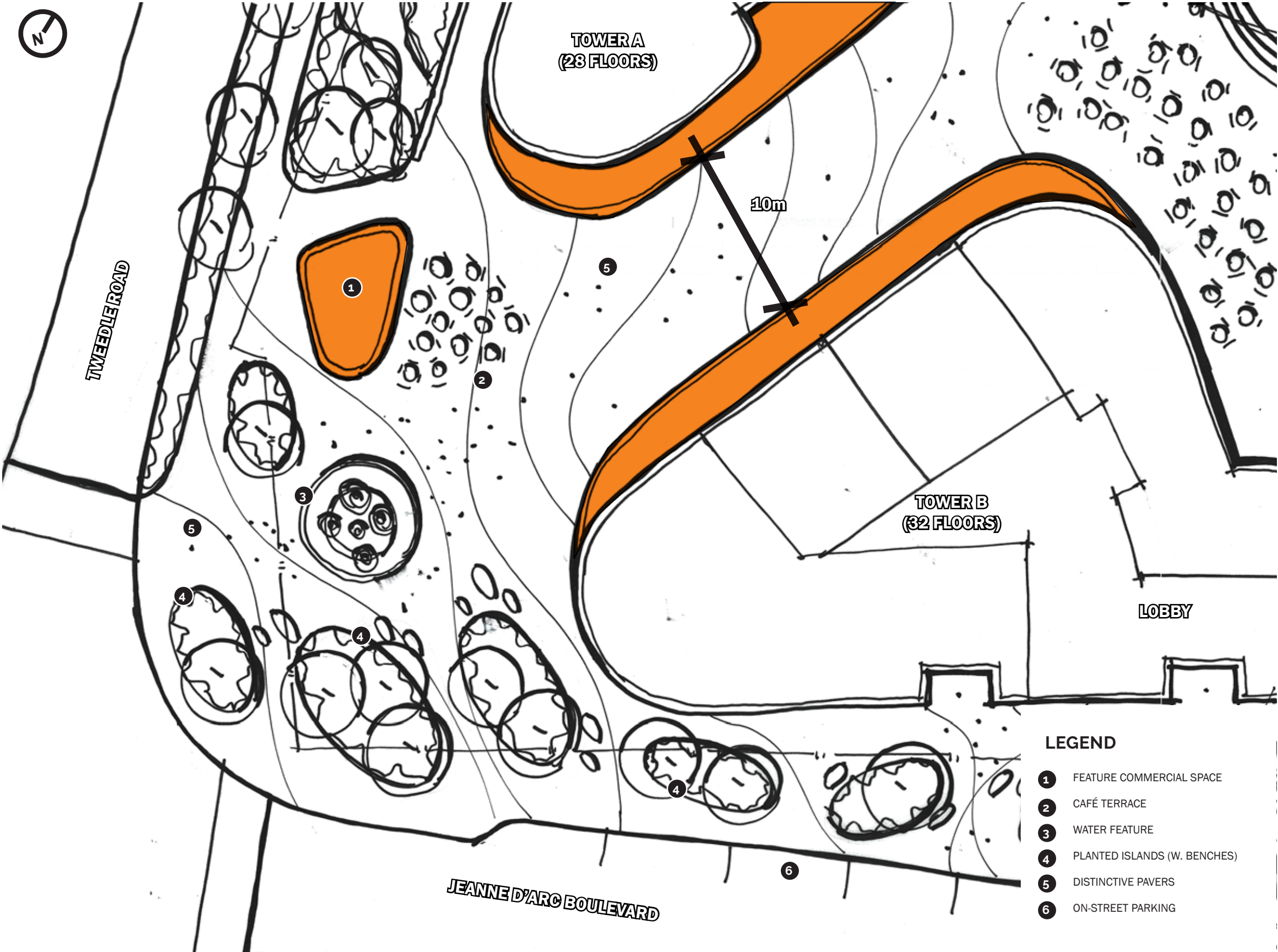
# DISTRICT AND PLACES

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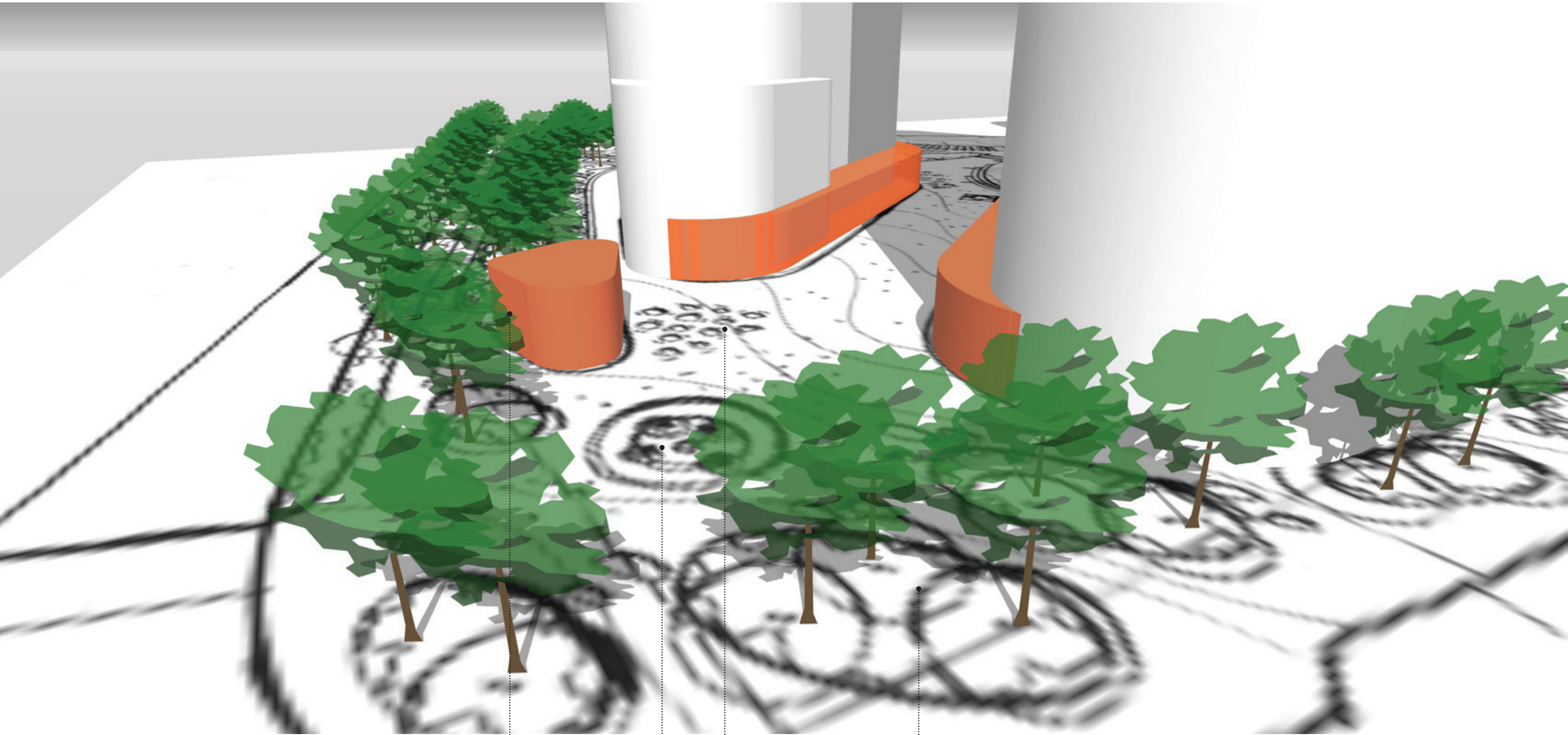












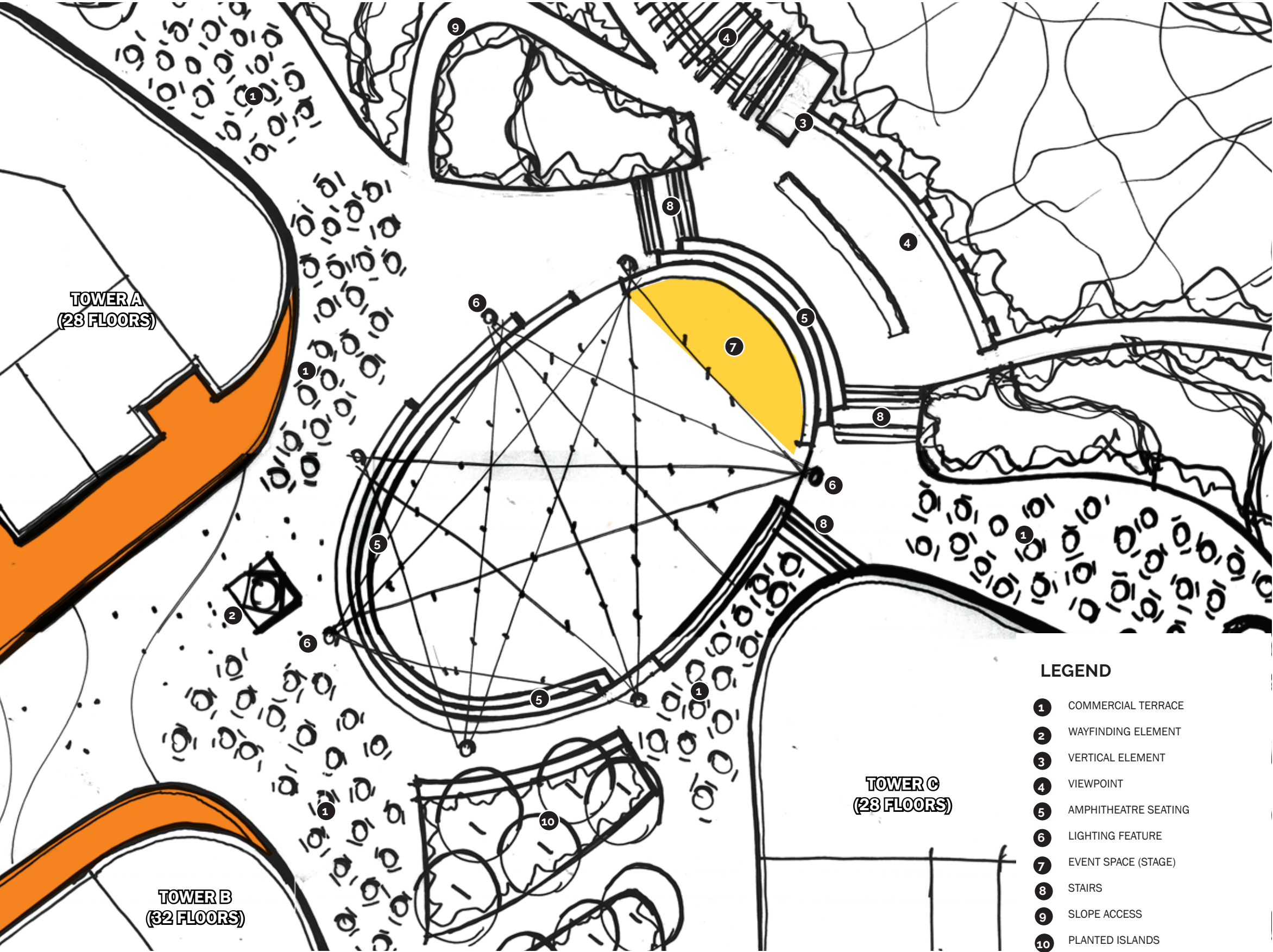
FEATURE PAVILLION

WATER FEATURE

CAFÉ TERRACE

PLANTED ISLANDS

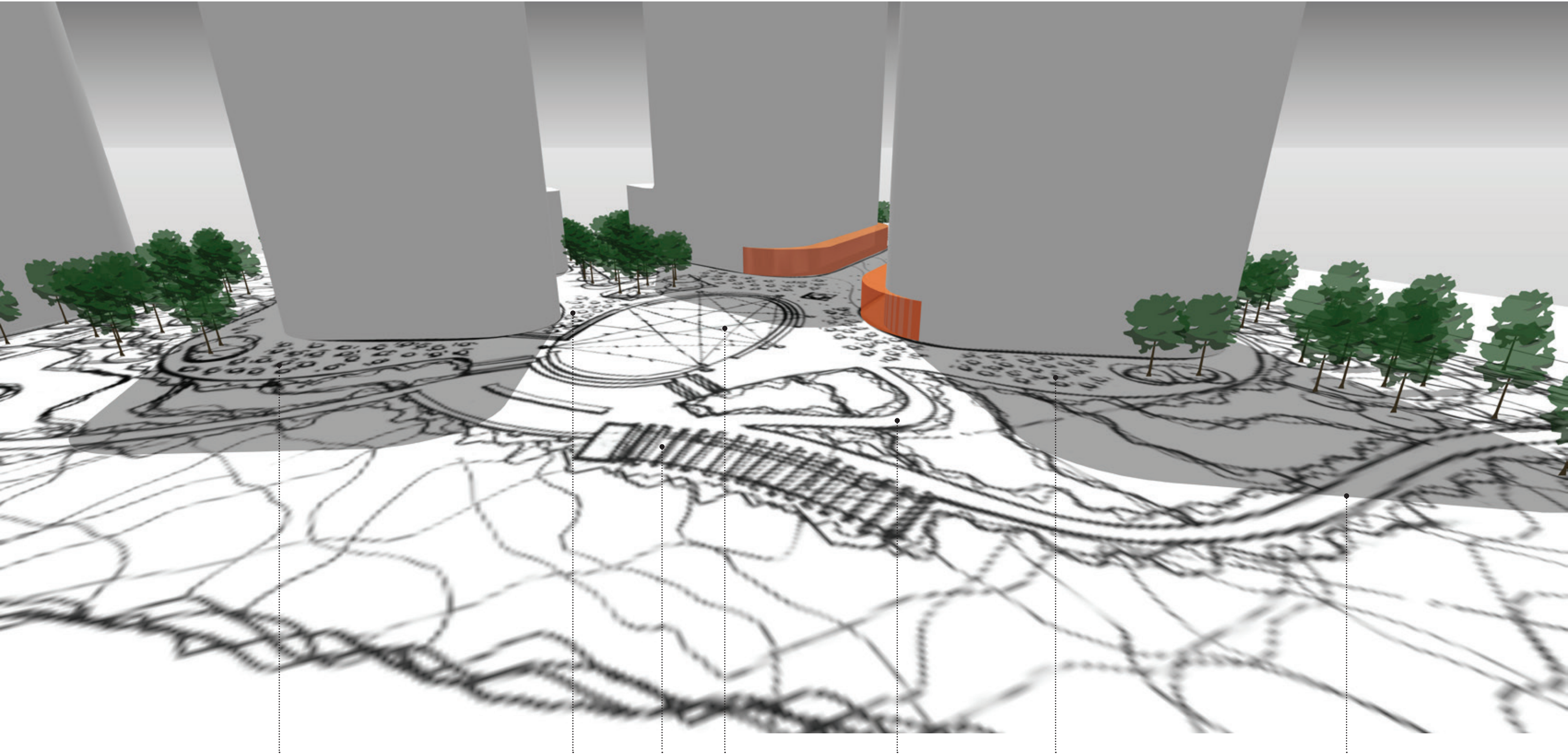




- LEGEND**
- 1 COMMERCIAL TERRACE
  - 2 WAYFINDING ELEMENT
  - 3 VERTICAL ELEMENT
  - 4 VIEWPOINT
  - 5 AMPHITHEATRE SEATING
  - 6 LIGHTING FEATURE
  - 7 EVENT SPACE (STAGE)
  - 8 STAIRS
  - 9 SLOPE ACCESS
  - 10 PLANTED ISLANDS







RESTAURANT TERRACE

RESTAURANT TERRACE

VIEWPOINT

CENTRAL PLAZA

SLOPED PATH

RESTAURANT TERRACE

WALKING PATH



DISTRICTS AND PLACES | CENTRAL PLAZA

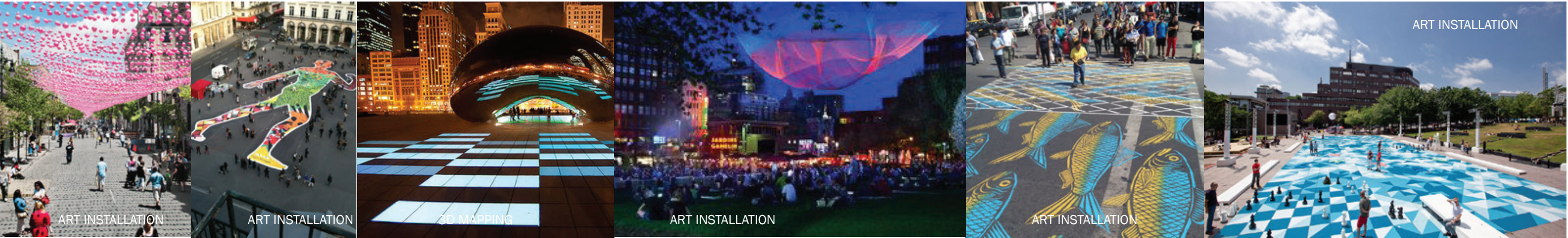
WINTER PROGRAM



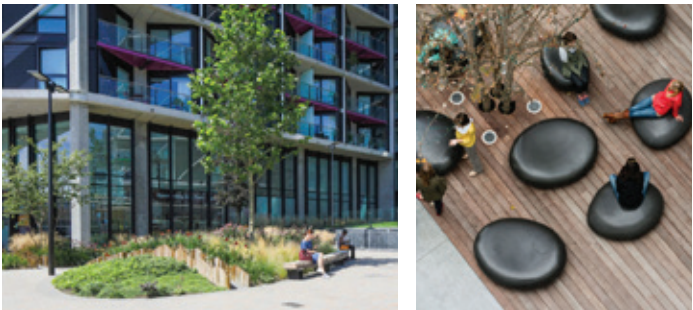
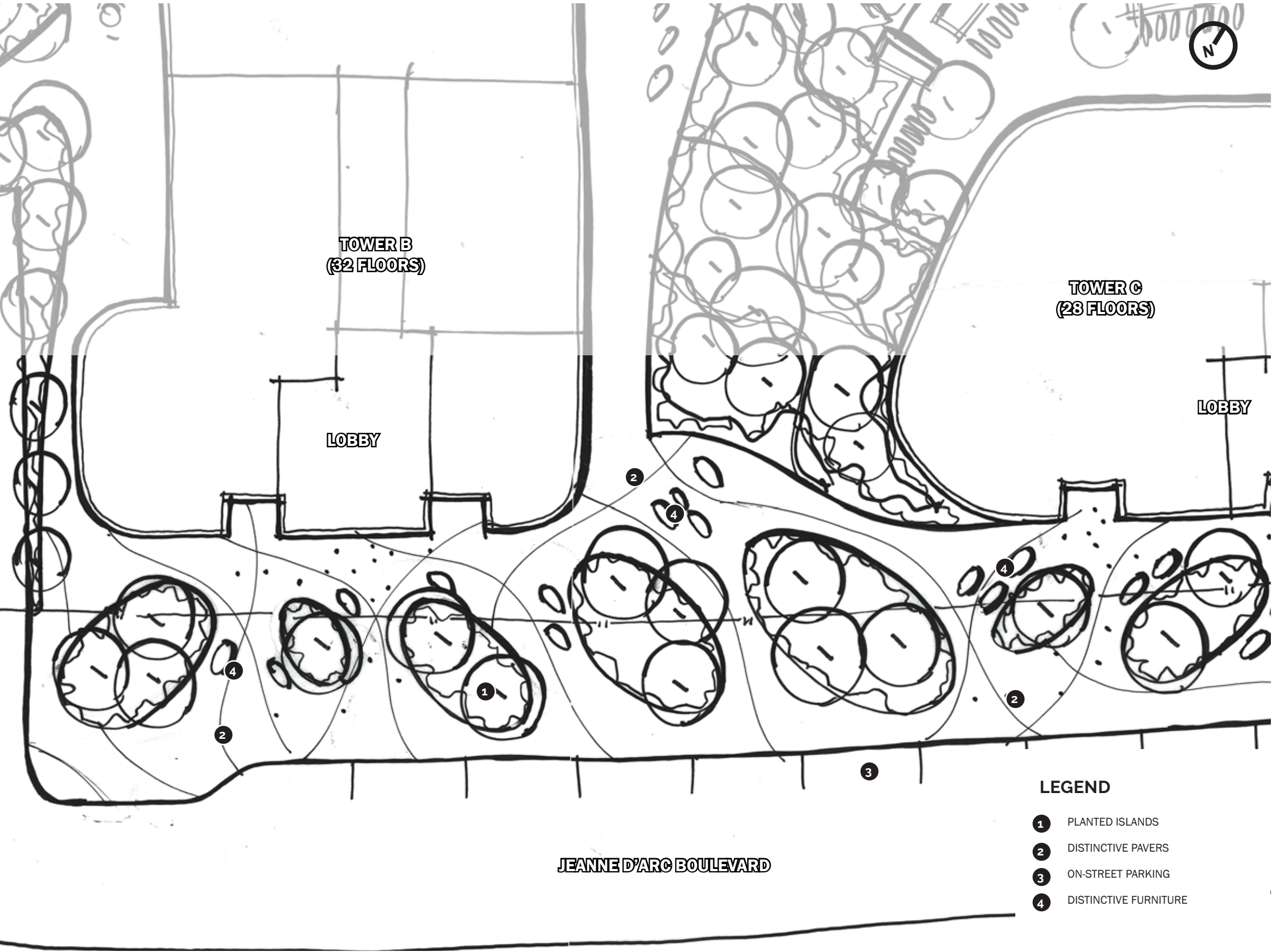
ACTIVITIES



ART AND INSTALLATIONS









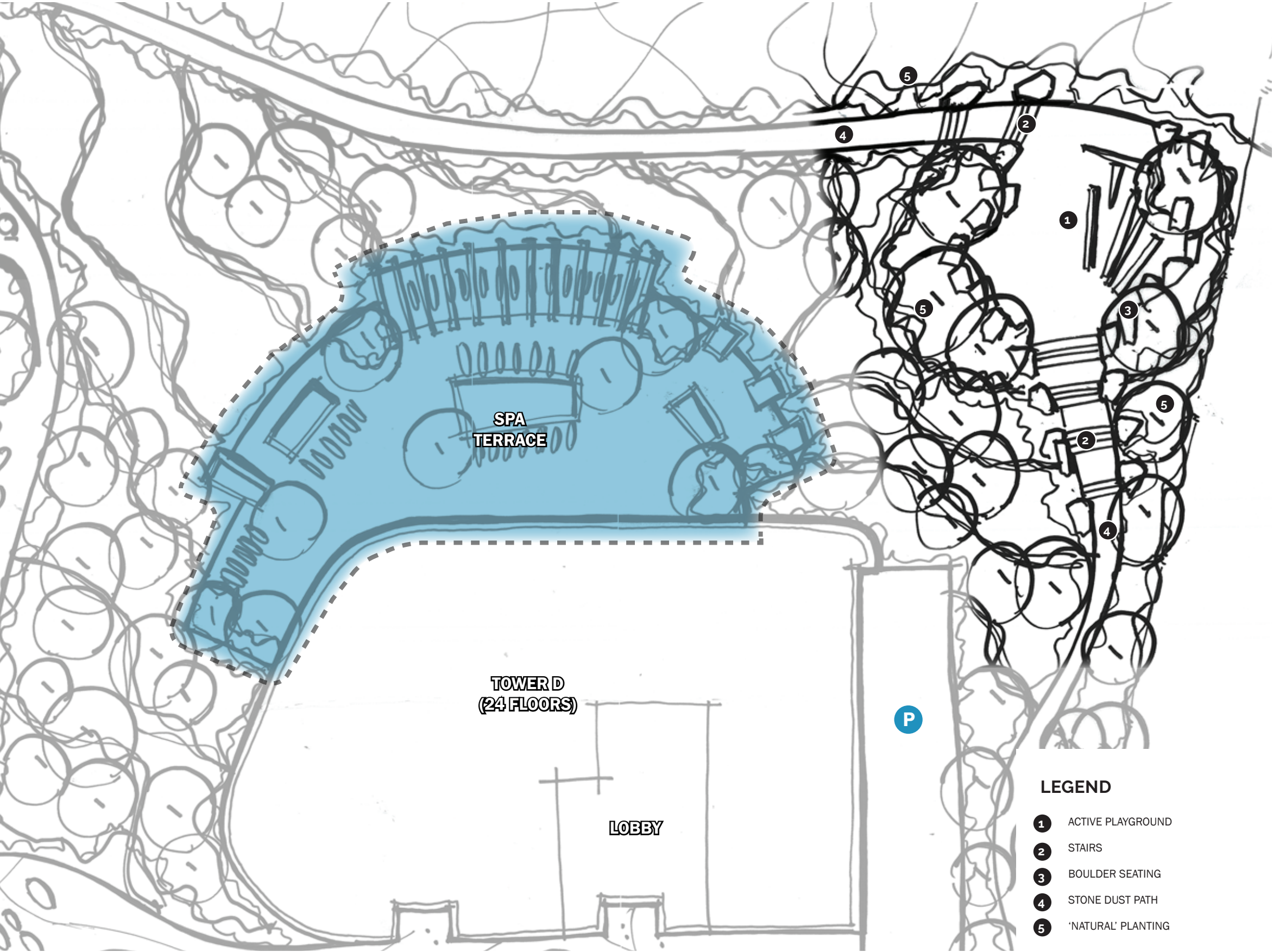


LEGEND

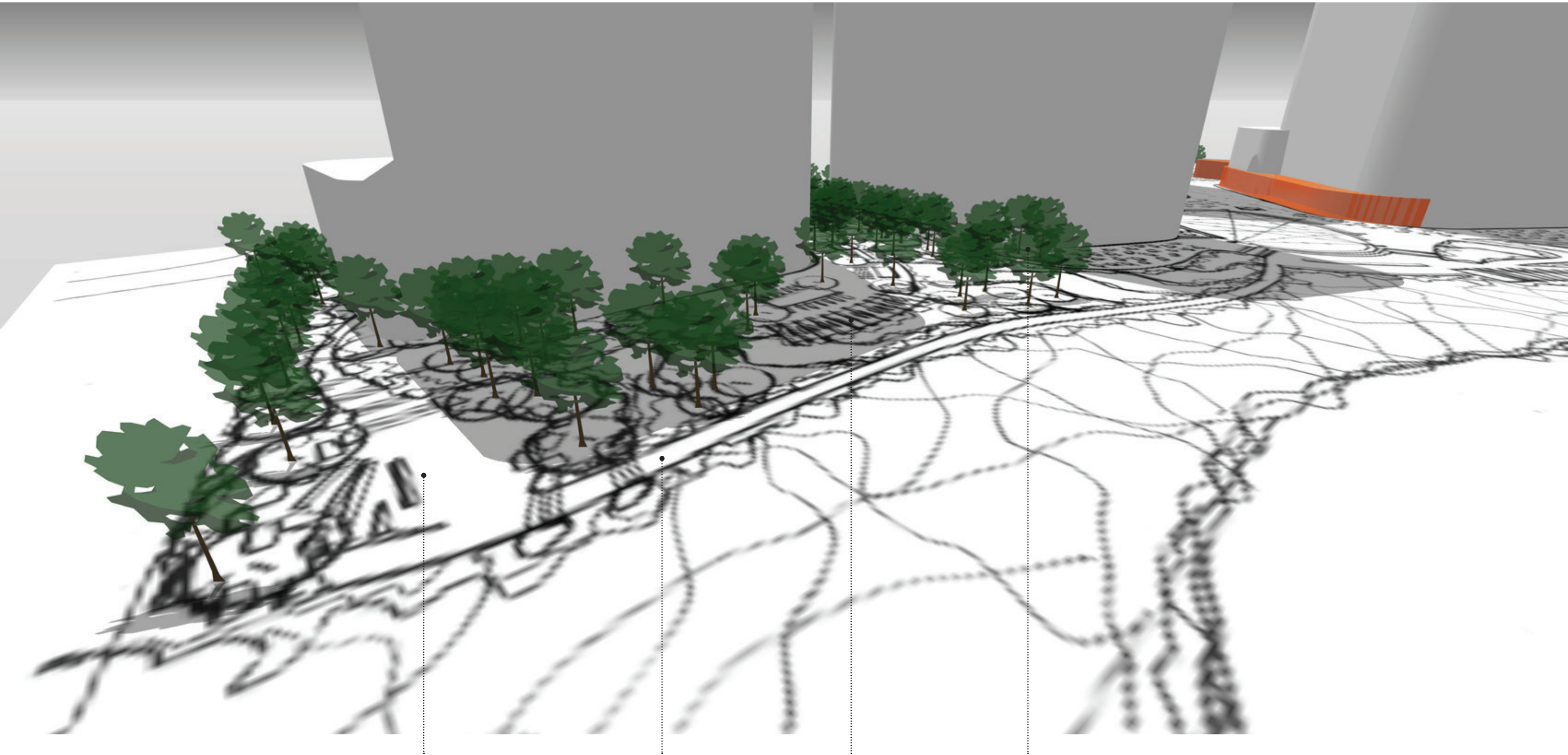
- 1 VIEWPOINT
- 2 STAIRS
- 3 SLOPED ACCESS
- 4 STONE DUST PATH
- 5 'NATURAL' PLANTING











POCKET PARK

WALKING PATH

SPA TERRACE

GREEN BARRIER



# PROJET | PAYSAGE

PLANIFICATION ET ARCHITECTURE DE PAYSAGE