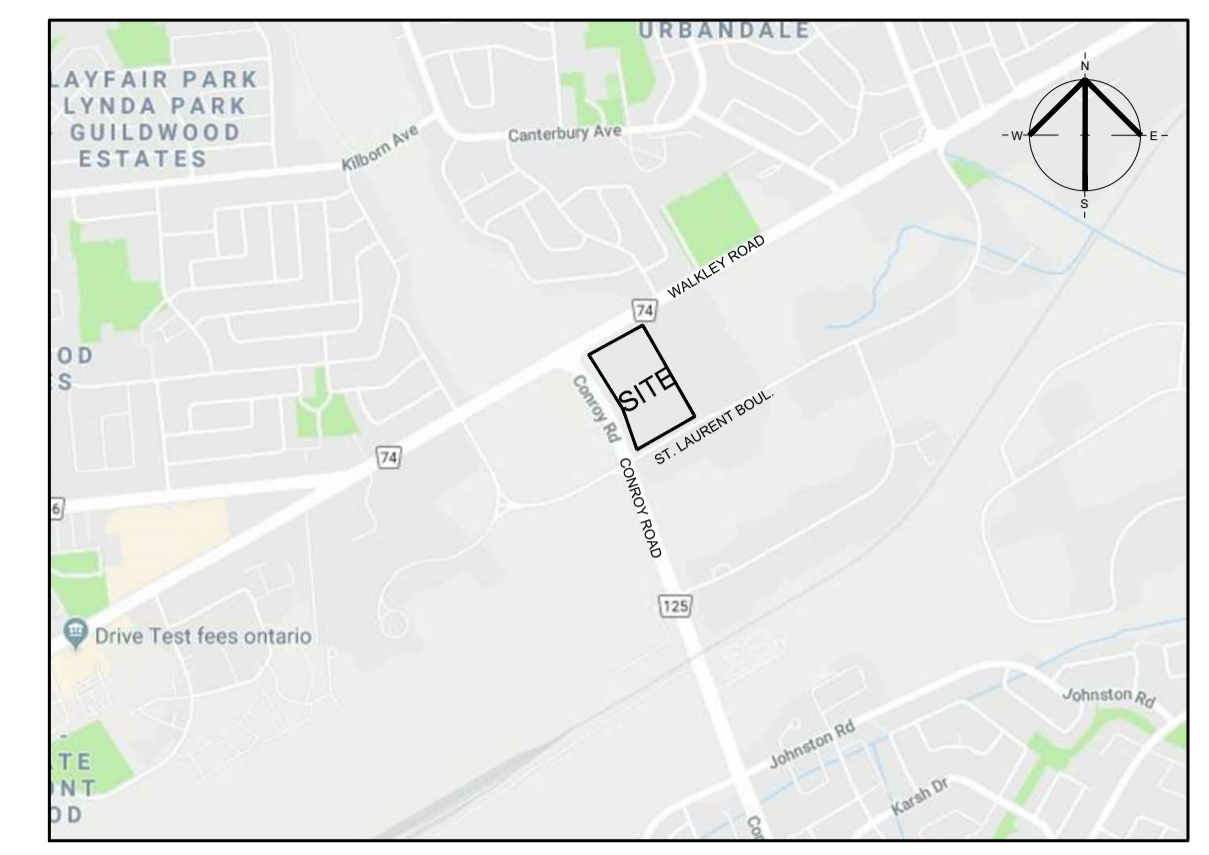


1 SITE PLAN - PHASE 1
SCALE 1:700



2 KEY PLAN
SCALE N/A

TOPOGRAPHICAL PLAN OF SURVEY OF
PART OF LOTS A & 1
CONCESSION 5 (RIDEAU FRONT)
Geographic Township of Gloucester
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan comprising of sheets 1 and 2 are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 11th day of November, 2020.

PROJECT INFORMATION:

BUILDING CLASSIFICATION:
THE BUILDING IS CLASSIFIED AND DESIGN TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY:
GROUP F, DIVISION 2, SPRINKLERED,
ONE STOREY (3.2.2.67)

PHASE 1 BUILDING STATISTICS:
BUILDING AREA (FOOTPRINT): 8551 m²
GROSS FLOOR AREA: ±8460 m²
NUMBER OF STOREYS ABOVE GRADE: 1
NUMBER OF STOREYS BELOW GRADE: 0
BUILDING SPRINKLERED: YES
OF STREET ACCESS ROUTES: 1
CONSTRUCTION TYPE: NON-COMB.
FLOOR ASSEMBLY & F.R.R.: 2 HOUR
MEZZANINE: 1 HOUR

ZONING INFORMATION - PHASE 1

ZONING MECHANISM	REQUIRED	PROVIDED
ZONING CODE	OTTAWA ZONING BY-LAW, 2008-255 IL [1477] S117-h2	WAREHOUSE
MINIMUM LOT AREA	2,000 m ²	57,104.1 m ² 14.11 acre
MINIMUM FRONT YARD	7.5 m	EXISTING
MINIMUM CORNER SIDE YARD	7.5 m	7.5 m
MINIMUM INTERIOR SIDE YARD	7.5 m	20.8 m
MINIMUM REAR YARD	7.5 m	23.03 m
MAXIMUM BUILDING HEIGHT	12 m - 24 m - 36 m (SCHEDULE 117)	11.1 m 1 STOREY
MAXIMUM LOT COVERAGE	65 %	30 %
MINIMUM WIDTH OF LANDSCAPING	3 m	3 m
STANDARD PARKING SPACE	2.6 m x 5.2 m	2.6 m x 5.2 m
ACCESSIBLE PARKING SPACE	3.4 m x 5.2 m TYPE 'A' 2.4 m x 5.2 m TYPE 'B'	
BICYCLE PARKING	7 (WAREHOUSE 1 / 2000 m ² of G.F.A.) (OFFICE 1 / 250 m ² of G.F.A.)	7
BUILDING FOOTPRINT	EXISTING	8483.2 m ²
	PROPOSED WAREHOUSE PHASE 1	85471 m ²
TOTAL	PERMITTED MAX. 83610 m ²	17030.2 m ²

PARKING SPACE SCHEDULE
(AREA C, SCHEDULE 1)

PROPOSED WAREHOUSE PHASE 1	BY-LAW REQUIRED		PROVIDED
	OFFICE	WAREHOUSE	
EXISTING	±160	±160	±160
OFFICE / WAREHOUSE	±40	±40	±414
TOTAL	±200	±200	414

LEGEND

- PROPERTY LINE
- - - YARD SETBACK
- ▭ EXISTING BUILDING TO REMAIN
- ▭ EXISTING BUILDING TO BE DEMOLISHED
- ▭ PROPOSED WAREHOUSE
- SOFT: LANDSCAPED AREA REFER TO LANDSCAPE PLAN
- ▭ CONCRETE PAD & SIDEWALK
- ▭ 6m WIDE FIRE ROUTE, REFER TO CIVIL
- ▭ PAVEMENT PATIO REFER TO LANDSCAPE PLAN
- ▭ GARBAGE ENCLOSURE
- ▭ BUILDING ENTRANCE
- ▭ NEW DEPRESSED CURB - SEE LANDSCAPE
- ▭ NEW CURB
- ▭ T.W.S.I.
- ▭ FIRE HYDRANT
- ▭ EXISTING PARKING TO REMAIN
- ▭ PROPOSED PARKING
- ▭ LIGHT POST
- ▭ FIRE DEPARTMENT CONNECTION

NOTE
ALL SIDEWALKS TO BE MIN. 1800 PER CITY REQUIREMENTS



N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

project
WALKLEY CONROY WAREHOUSES

MANULIFE

construction north seal
true north
ONTARIO ASSOCIATION OF ARCHITECTS
ROBERT C. MATTHEWS
LICENCE 2966

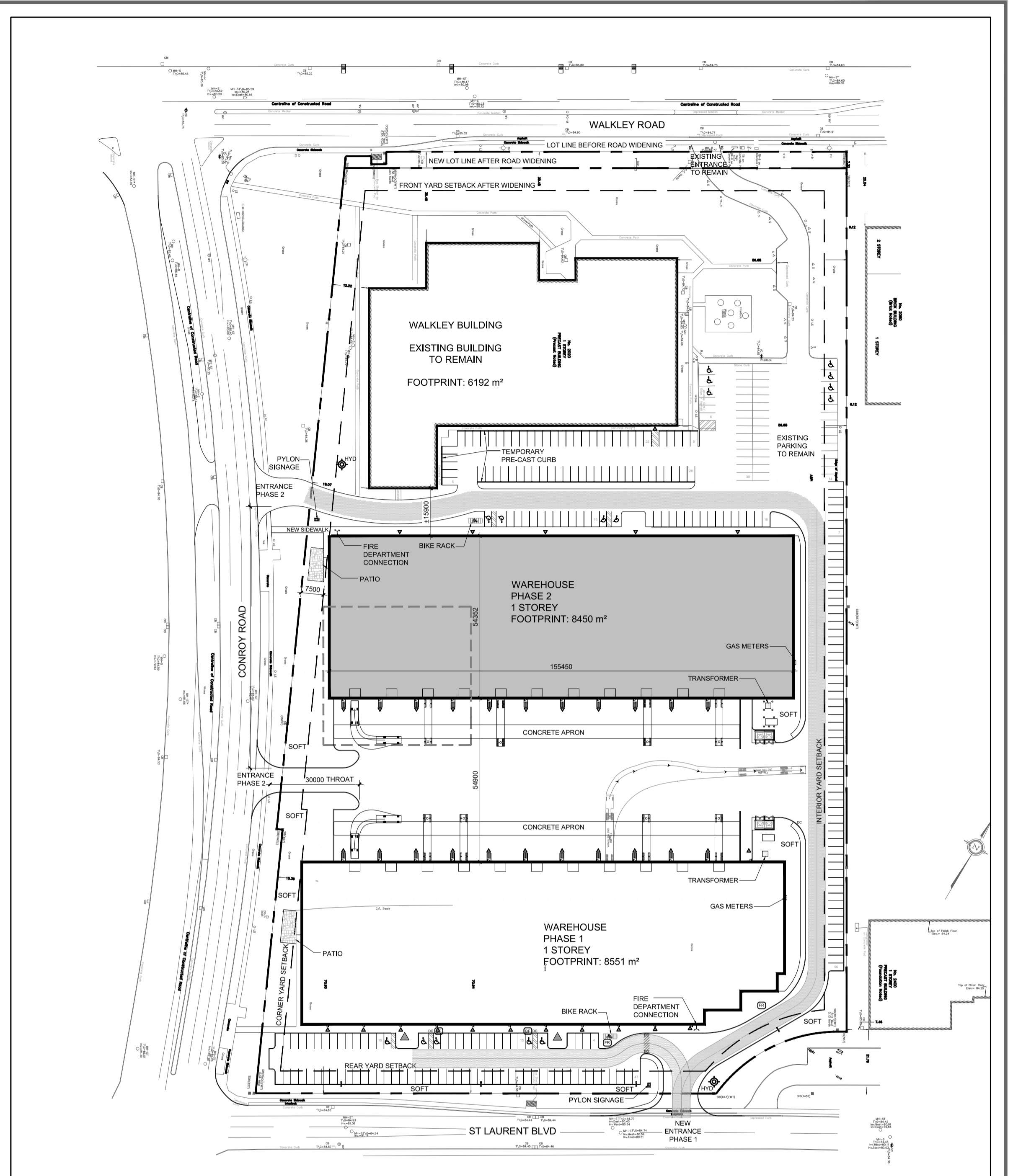
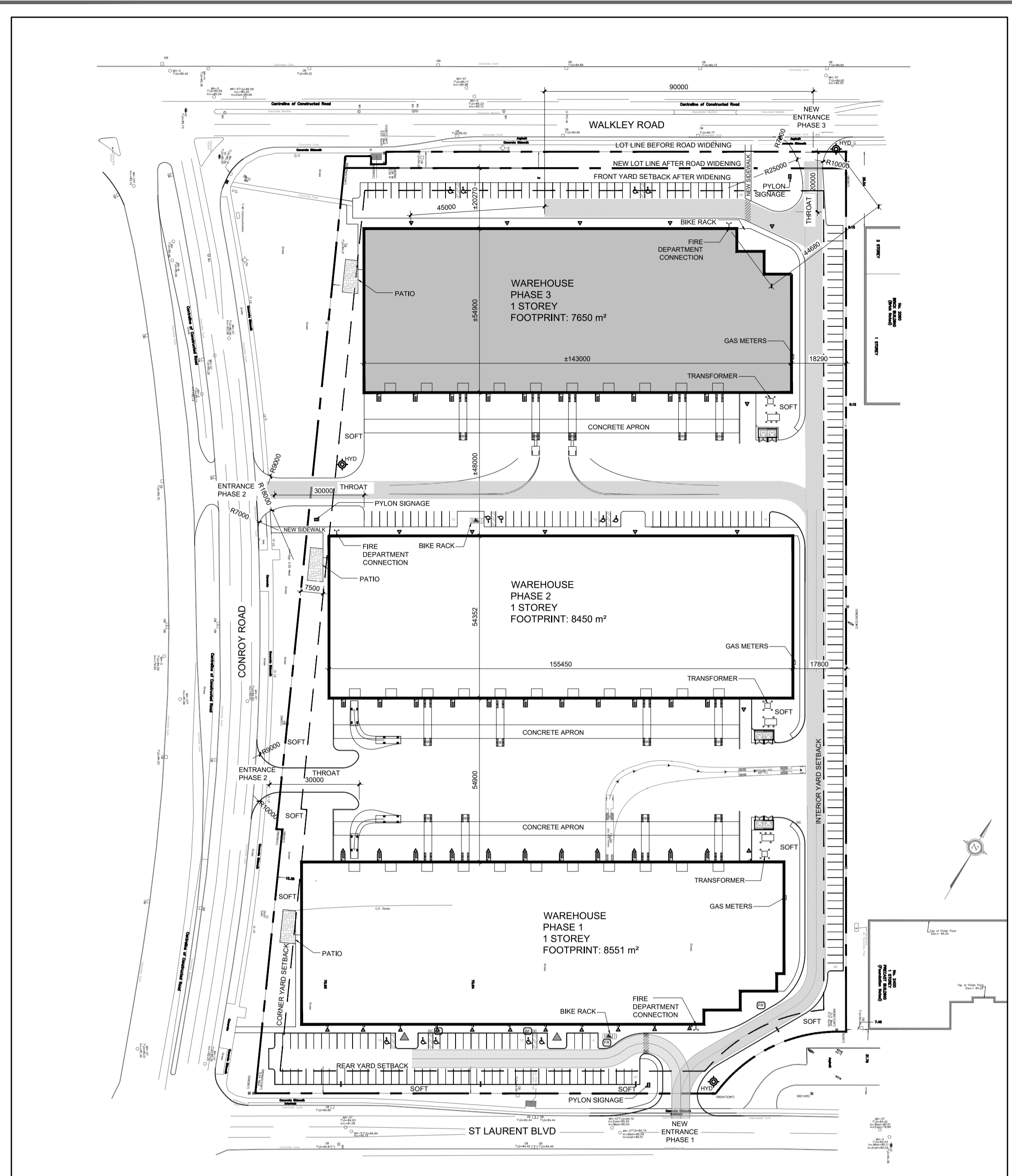
drawing title
SITE PLAN - PHASE 1

scale AS SHOWN	drawn by J.J
date Jan. 2021	checked by R.M
project number 20-560	drawing number A001
	revision

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

CITY'S FILE NO.: XXXX

PLAN NO.: #XXXXX



ZONING INFORMATION - PHASE 3

ZONING MECHANISM	REQUIRED	PROVIDED
ZONING CODE	OTTAWA ZONING BY-LAW, 2008-250 IL [1477] S117-h2	WAREHOUSE
MINIMUM LOT AREA	2,000 m² 0.494 acre	57,104.1 m² 14.11 acre
MINIMUM FRONT YARD	7.5 m	30.48 m EXISTING
MINIMUM CORNER SIDE YARD	7.5 m	7.5 m
MINIMUM INTERIOR SIDE YARD	7.5 m	18.3 m
MINIMUM REAR YARD	7.5 m	23.03 m
MAXIMUM BUILDING HEIGHT	12 m - 24 m - 36 m (SCHEDULE 117)	±11.5 m 1 STOREY
MAXIMUM LOT COVERAGE	65 %	43.2 %
MINIMUM WIDTH OF LANDSCAPING	3 m	3 m
STANDARD PARKING SPACE	2.6 m x 5.2 m	2.6 m x 5.2 m
ACCESSIBLE PARKING SPACE	3.4 m x 5.2 m TYPE 'A' 2.4 m x 5.2 m TYPE 'B'	
BICYCLE PARKING	6 (WAREHOUSE 1 / 2000 m² of G.F.A.) (OFFICE 1 / 250 m² of G.F.A.)	6
BUILDING FOOTPRINT		
	WAREHOUSE PHASE 1	8547 m²
	WAREHOUSE PHASE 2	8450 m²
	WAREHOUSE PHASE 3	7650 m²
	TOTAL	PERMITTED MAX. 83610 m² 24647 m²

PARKING SPACE SCHEDULE (AREA C, SCHEDULE 1)

	BY-LAW REQUIRED	PROVIDED
WAREHOUSE PHASE 1	OFFICE (2.4 / 100 m², 10%) WAREHOUSE (0.8 / 100 m², FIRST 5000 m²) (0.4 / 100 m², ABOVE 5000 m²)	±72
WAREHOUSE PHASE 2	OFFICE (2.4 / 100 m², 10%) WAREHOUSE (0.8 / 100 m², FIRST 5000 m²) (0.4 / 100 m², ABOVE 5000 m²)	±71
WAREHOUSE PHASE 2	OFFICE (2.4 / 100 m², 10%) WAREHOUSE (0.8 / 100 m², FIRST 5000 m²) (0.4 / 100 m², ABOVE 5000 m²)	±66
TOTAL		±209

LEGEND

- PROPERTY LINE
- YARD SETBACK
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED
- PROPOSED WAREHOUSE
- LANDSCAPED AREA REFER TO LANDSCAPE PLAN
- CONCRETE PAD & SIDEWALK
- 6m WIDE FIRE ROUTE, REFER TO CIVIL
- PAVER PATIO REFER TO LANDSCAPE PLAN
- GARBAGE ENCLOSURE
- BUILDING ENTRANCE
- NEW DEPRESSED CURB - SEE LANDSCAPE
- NEW CURB
- T.W.S.I.
- FIRE HYDRANT
- EXISTING PARKING TO REMAIN
- PROPOSED PARKING
- LIGHT POST
- FIRE DEPARTMENT CONNECTION

SIGNAGE LEGEND:

- FR FIRE ROUTE
- BP HANDICAP PARKING

2 SITE PLAN - PHASE 3 SCALE 1:1000

ZONING INFORMATION - PHASE 2

ZONING MECHANISM	REQUIRED	PROVIDED
ZONING CODE	OTTAWA ZONING BY-LAW, 2008-250 IL [1477] S117-h2	WAREHOUSE
MINIMUM LOT AREA	2,000 m² 0.494 acre	57,104.1 m² 14.11 acre
MINIMUM FRONT YARD	7.5 m	30.48 m EXISTING
MINIMUM CORNER SIDE YARD	7.5 m	7.5 m
MINIMUM INTERIOR SIDE YARD	7.5 m	17.8 m
MINIMUM REAR YARD	7.5 m	23.03 m
MAXIMUM BUILDING HEIGHT	12 m - 24 m - 36 m (SCHEDULE 117)	±11.5 m 1 STOREY
MAXIMUM LOT COVERAGE	65 %	40.7 %
MINIMUM WIDTH OF LANDSCAPING	3 m	3 m
STANDARD PARKING SPACE	2.6 m x 5.2 m	2.6 m x 5.2 m
ACCESSIBLE PARKING SPACE	3.4 m x 5.2 m TYPE 'A' 2.4 m x 5.2 m TYPE 'B'	
BICYCLE PARKING	7 (WAREHOUSE 1 / 2000 m² of G.F.A.) (OFFICE 1 / 250 m² of G.F.A.)	7
BUILDING FOOTPRINT		
	EXISTING WAREHOUSE PHASE 1	6191.5 m²
	WAREHOUSE PHASE 1	8547 m²
	WAREHOUSE PHASE 2	8450 m²
	TOTAL	PERMITTED MAX. 83610 m² 23188.5 m²

PARKING SPACE SCHEDULE (AREA C, SCHEDULE 1)

	BY-LAW REQUIRED	PROVIDED
WAREHOUSE PHASE 1	OFFICE (2.4 / 100 m², 10%) WAREHOUSE (0.8 / 100 m², FIRST 5000 m²) (0.4 / 100 m², ABOVE 5000 m²)	±72
WAREHOUSE PHASE 2	OFFICE (2.4 / 100 m², 10%) WAREHOUSE (0.8 / 100 m², FIRST 5000 m²) (0.4 / 100 m², ABOVE 5000 m²)	±71
EXISTING (CITY OF OTTAWA)	±68 G.F.A. ±2850 m² (2.4 / 100 m²)	±143
EXISTING PERSONAL SERVICE (GOODLIFE FITNESS)	±52 G.F.A. ±1520 m² (3.4 / 100 m²)	120
TOTAL		±263

LEGEND

- PROPERTY LINE
- YARD SETBACK
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED
- PROPOSED WAREHOUSE
- LANDSCAPED AREA REFER TO LANDSCAPE PLAN
- CONCRETE PAD & SIDEWALK
- 6m WIDE FIRE ROUTE, REFER TO CIVIL
- PAVER PATIO REFER TO LANDSCAPE PLAN
- GARBAGE ENCLOSURE
- BUILDING ENTRANCE
- NEW DEPRESSED CURB - SEE LANDSCAPE
- NEW CURB
- T.W.S.I.
- FIRE HYDRANT
- EXISTING PARKING TO REMAIN
- PROPOSED PARKING
- LIGHT POST
- FIRE DEPARTMENT CONNECTION

SIGNAGE LEGEND:

- FR FIRE ROUTE
- BP HANDICAP PARKING

1 SITE PLAN - PHASE 2 SCALE 1:1000

1	SITE PLAN APPLICATION	05 MAR 2021
no.	revision	date

N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

project
WALKLEY CONROY WAREHOUSES

MANULIFE

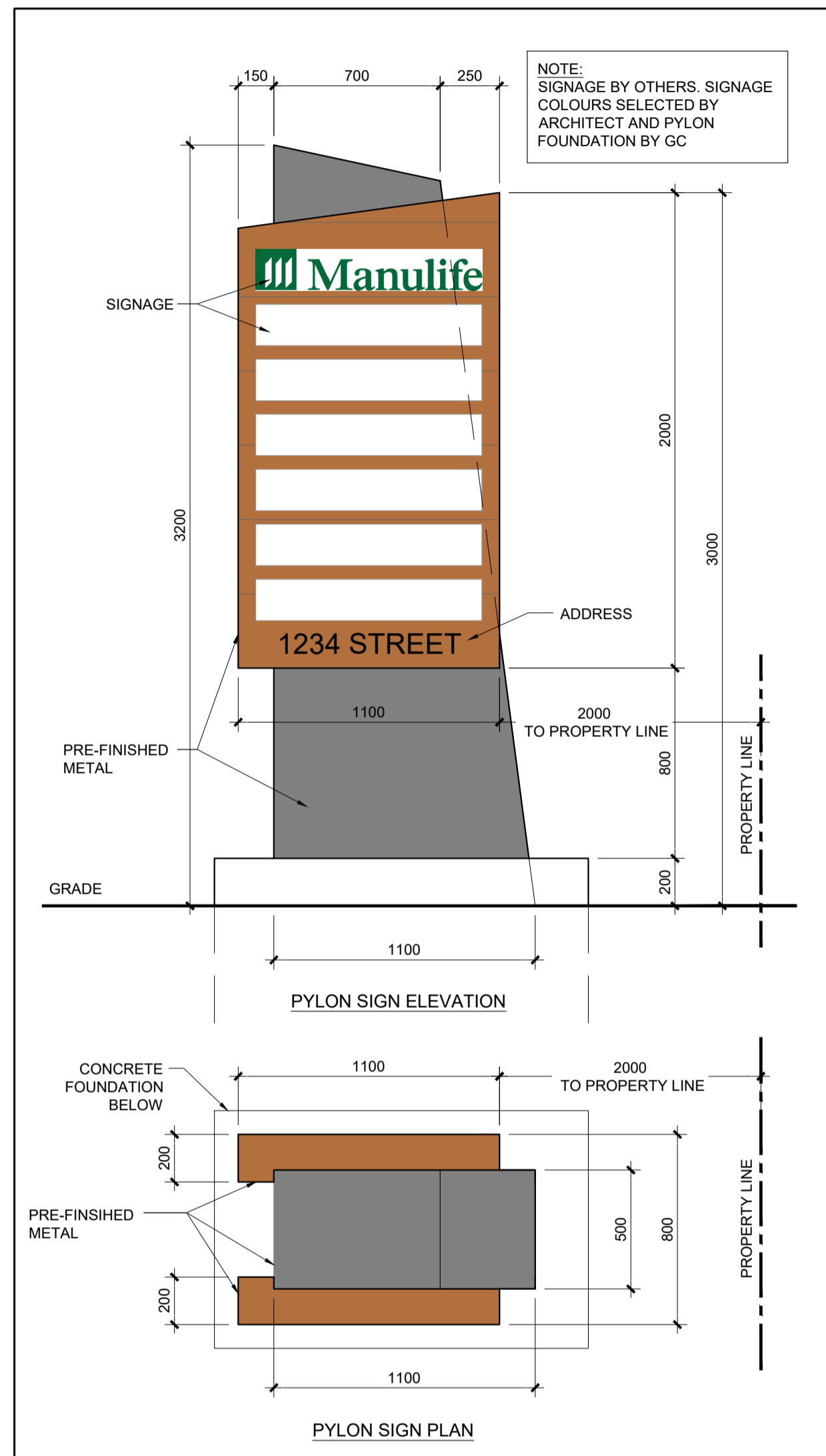
construction north seal
north true north
WEST EAST SOUTH
ONTARIO ASSOCIATION OF ARCHITECTS
ROBERT C. MATTHEWS
LICENCE 2966

drawing title
SITE PLAN - PHASE 2 & 3

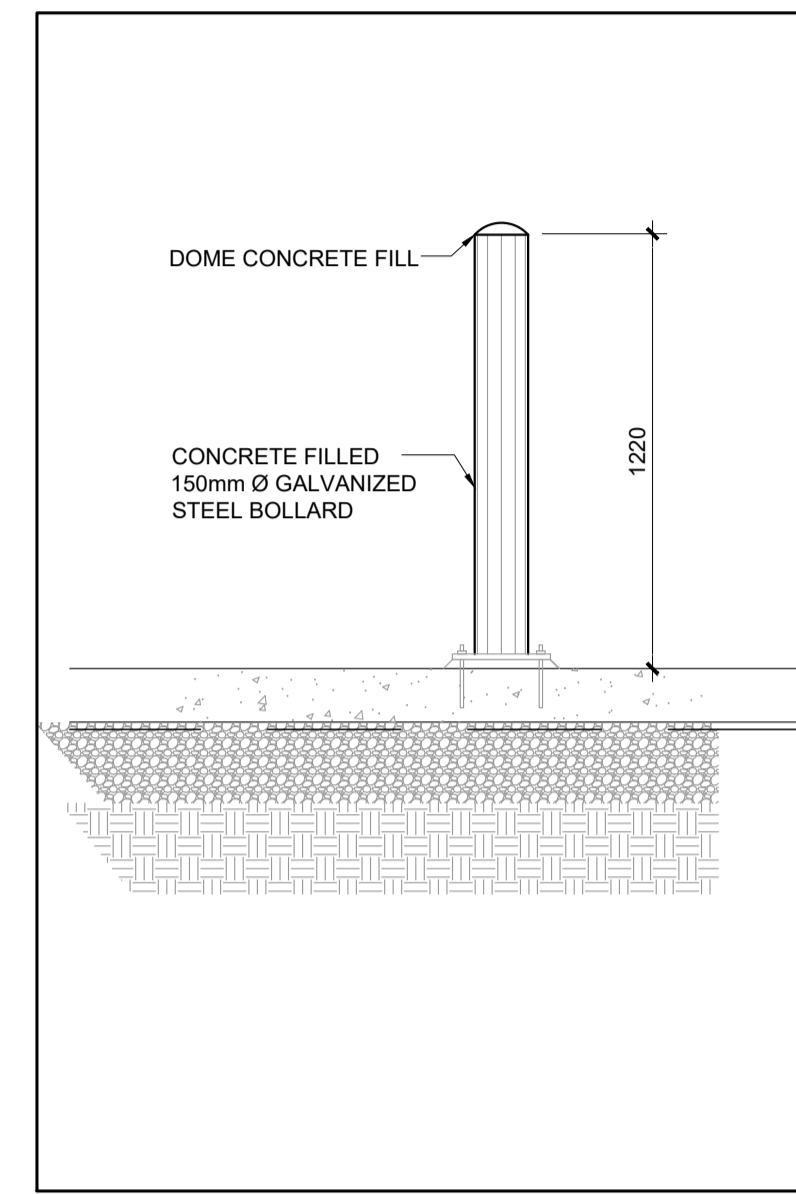
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date	Jan. 2021	checked by	R.M
project number	20-560	drawing number	A002
		revision	

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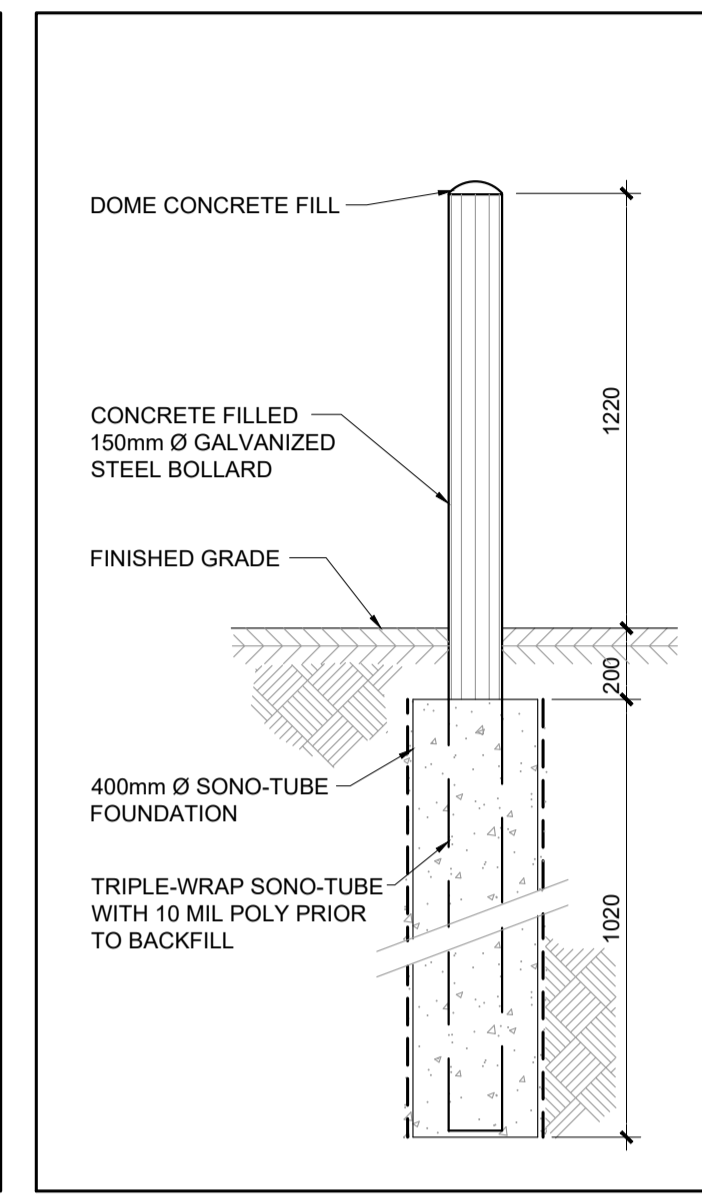
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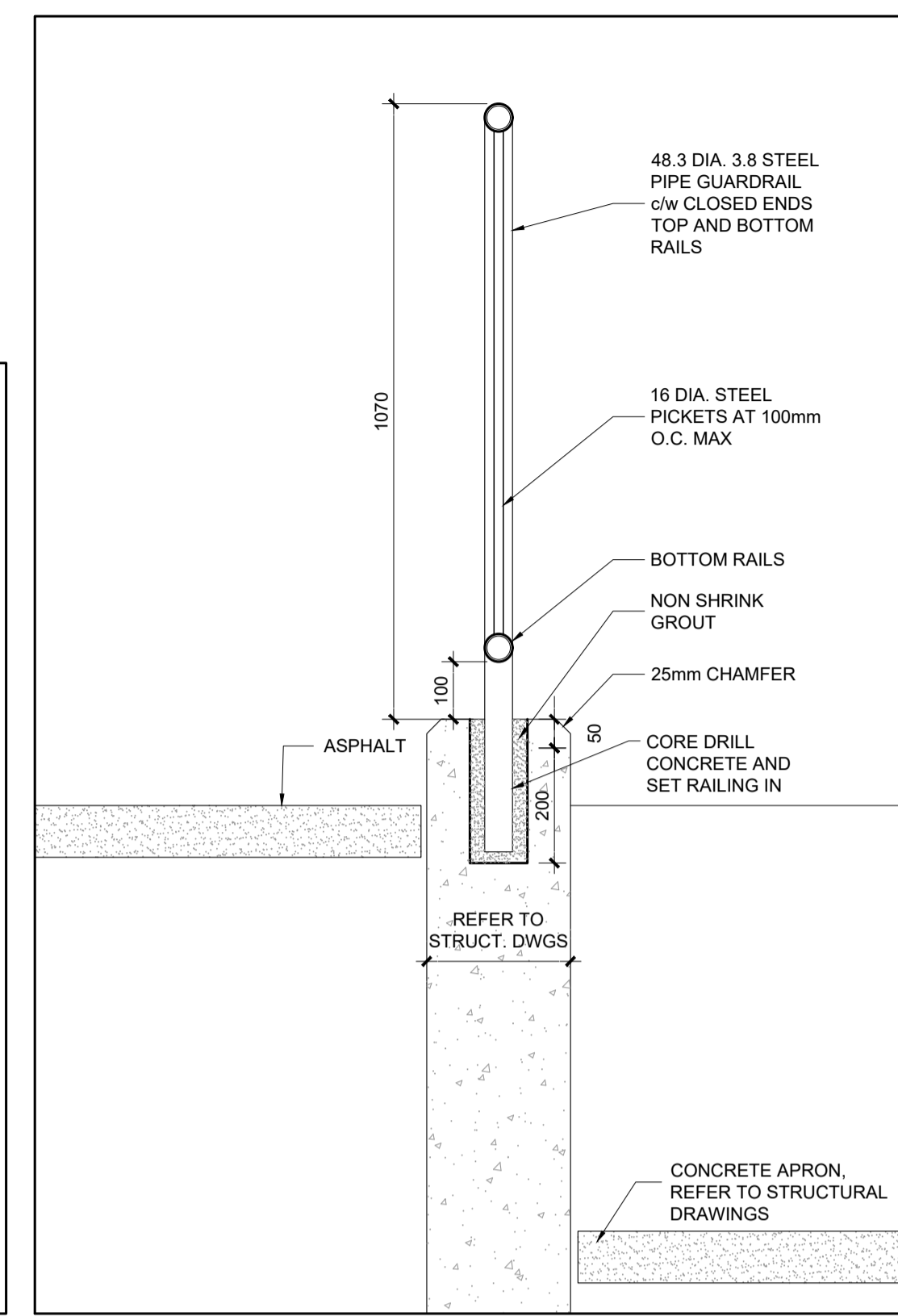
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A003 SCALE 1:20



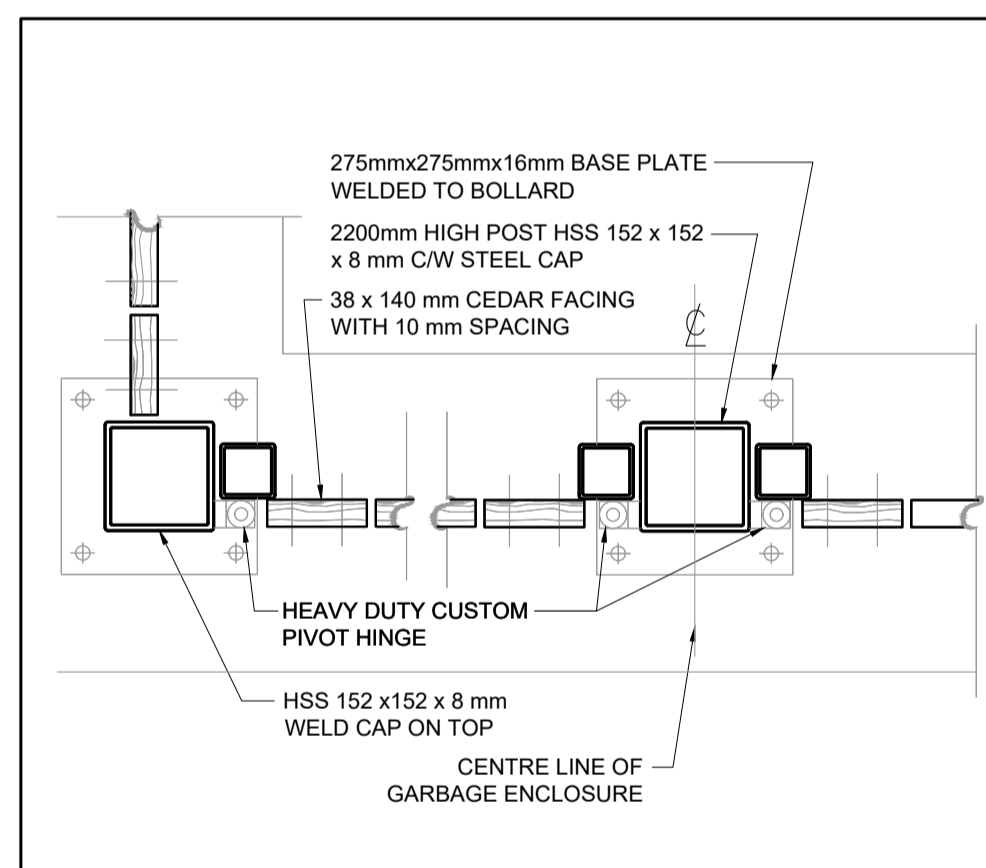
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A003 SCALE 1:20



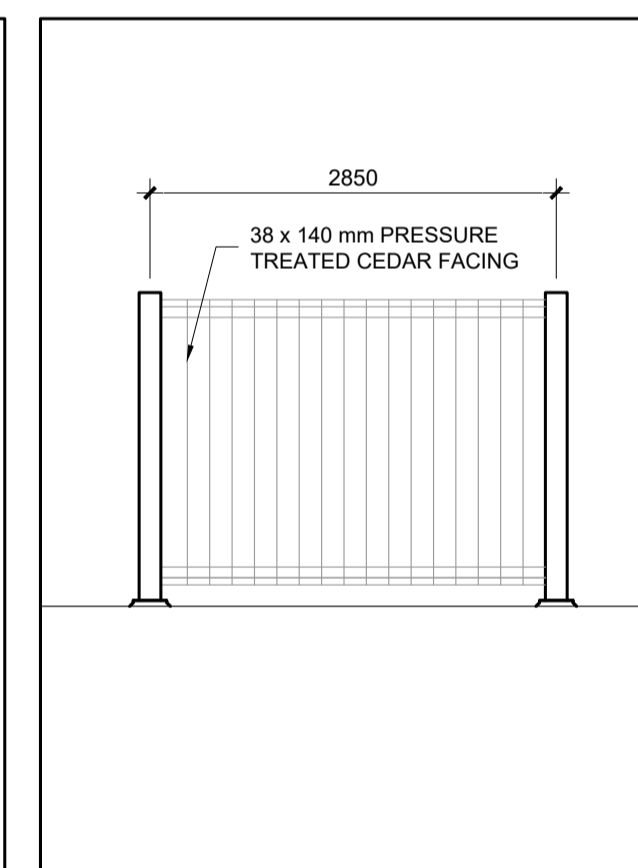
9 IN GROUND BOLLARD DETAIL
A003 SCALE 1:20



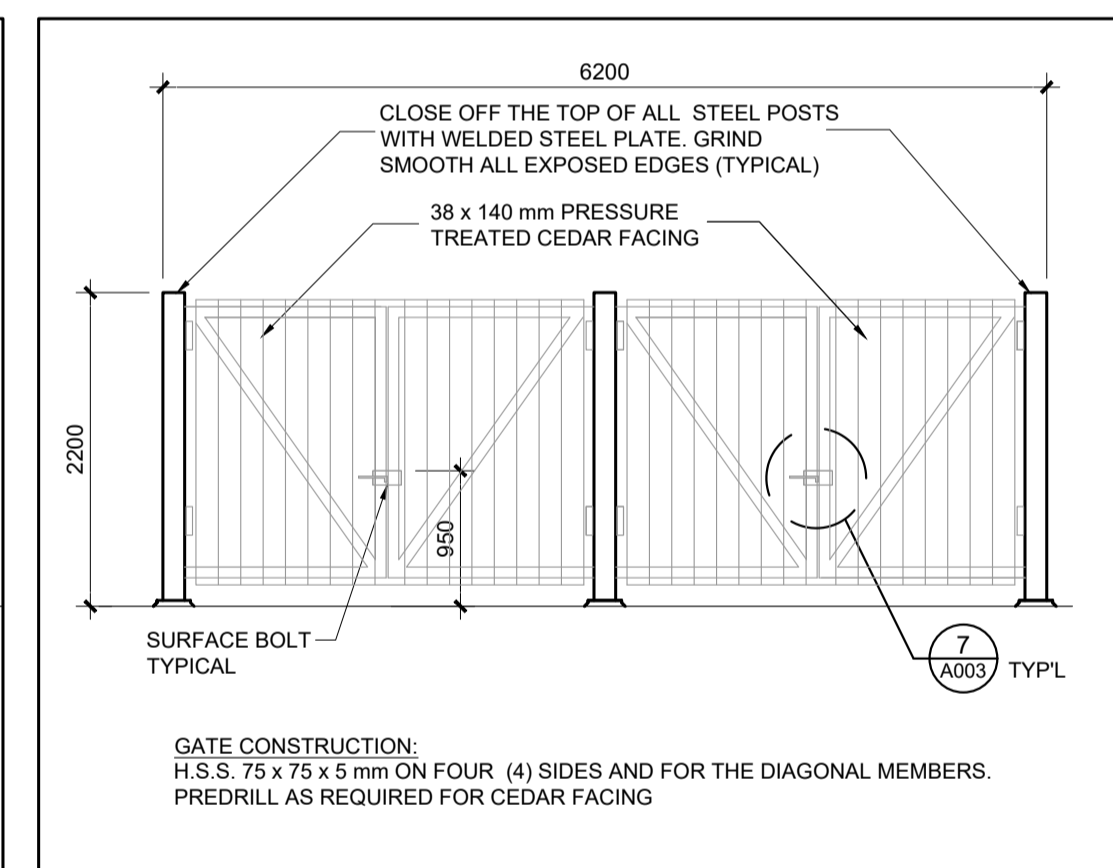
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A003 SCALE 1:10



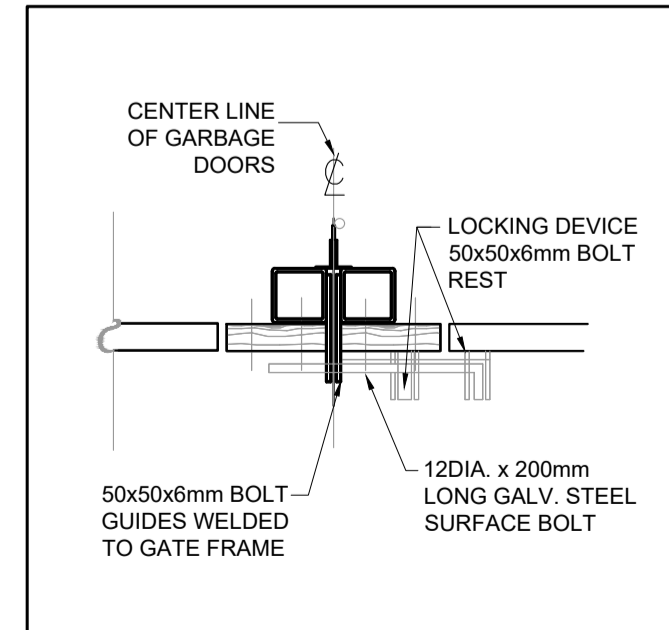
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A003 SCALE 1:10



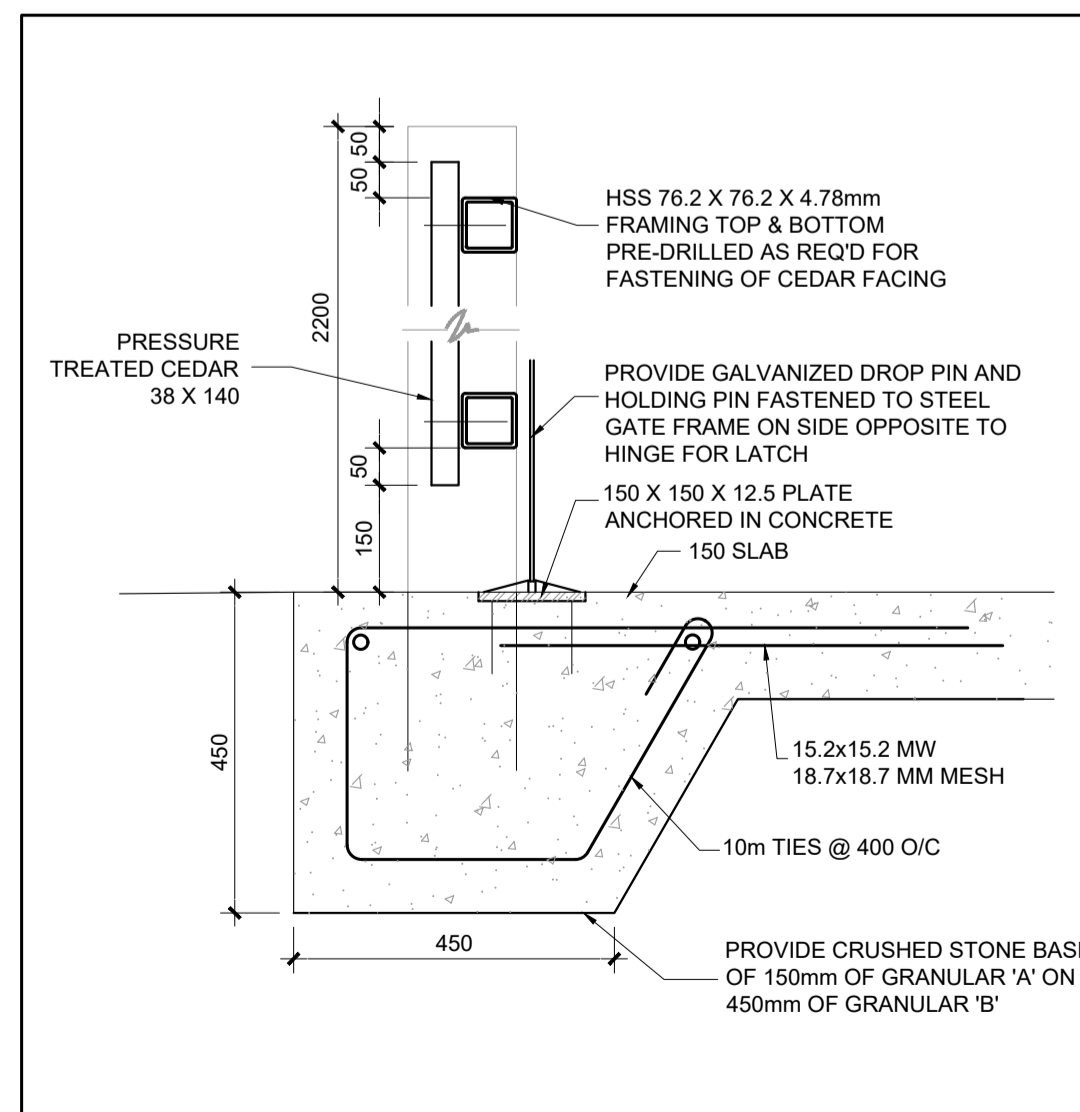
3 GARBAGE ENCLOSURE ELEVATION
A003 SCALE 1:50



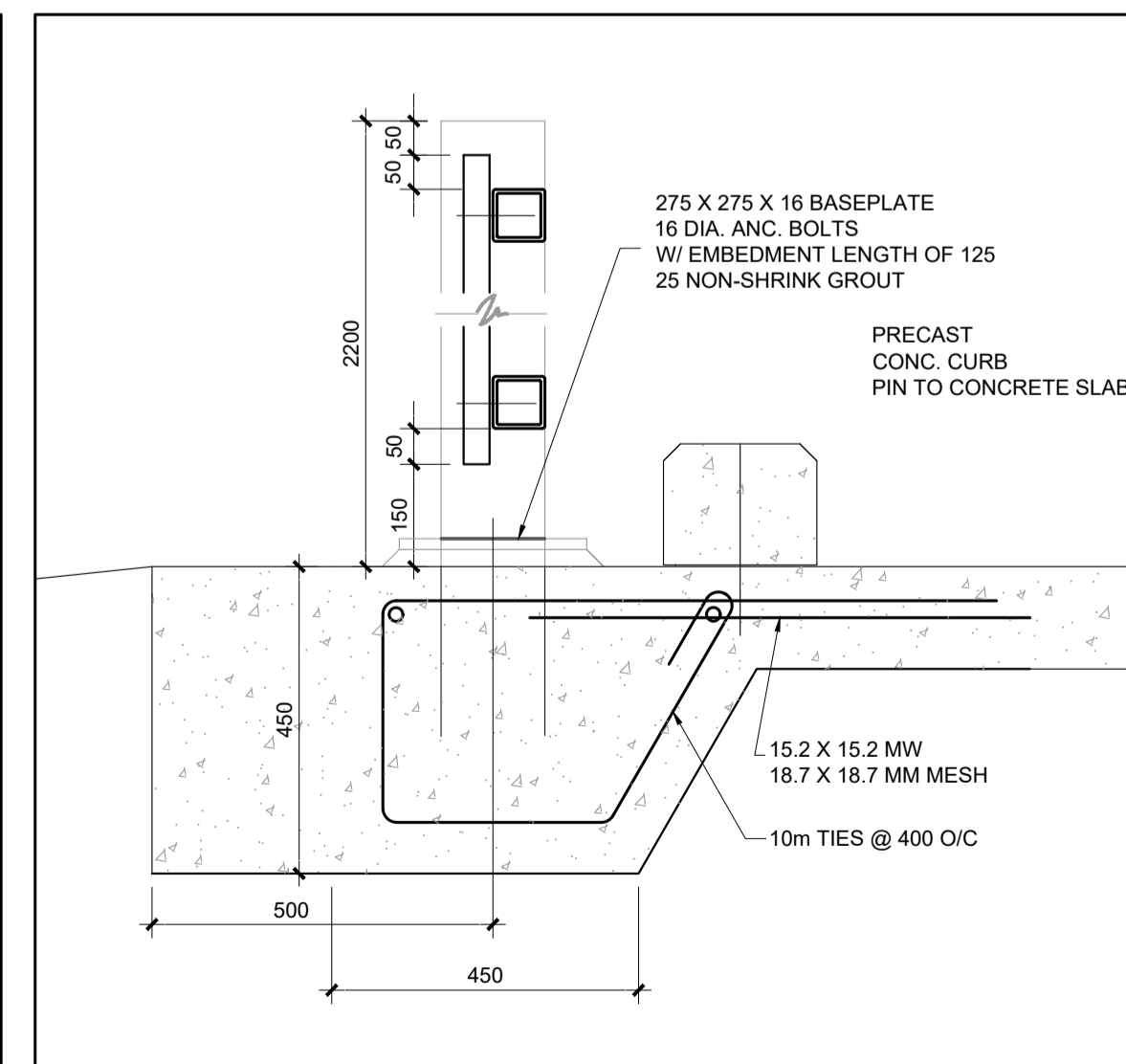
2 GARBAGE ENCLOSURE ELEVATION
A003 SCALE 1:50



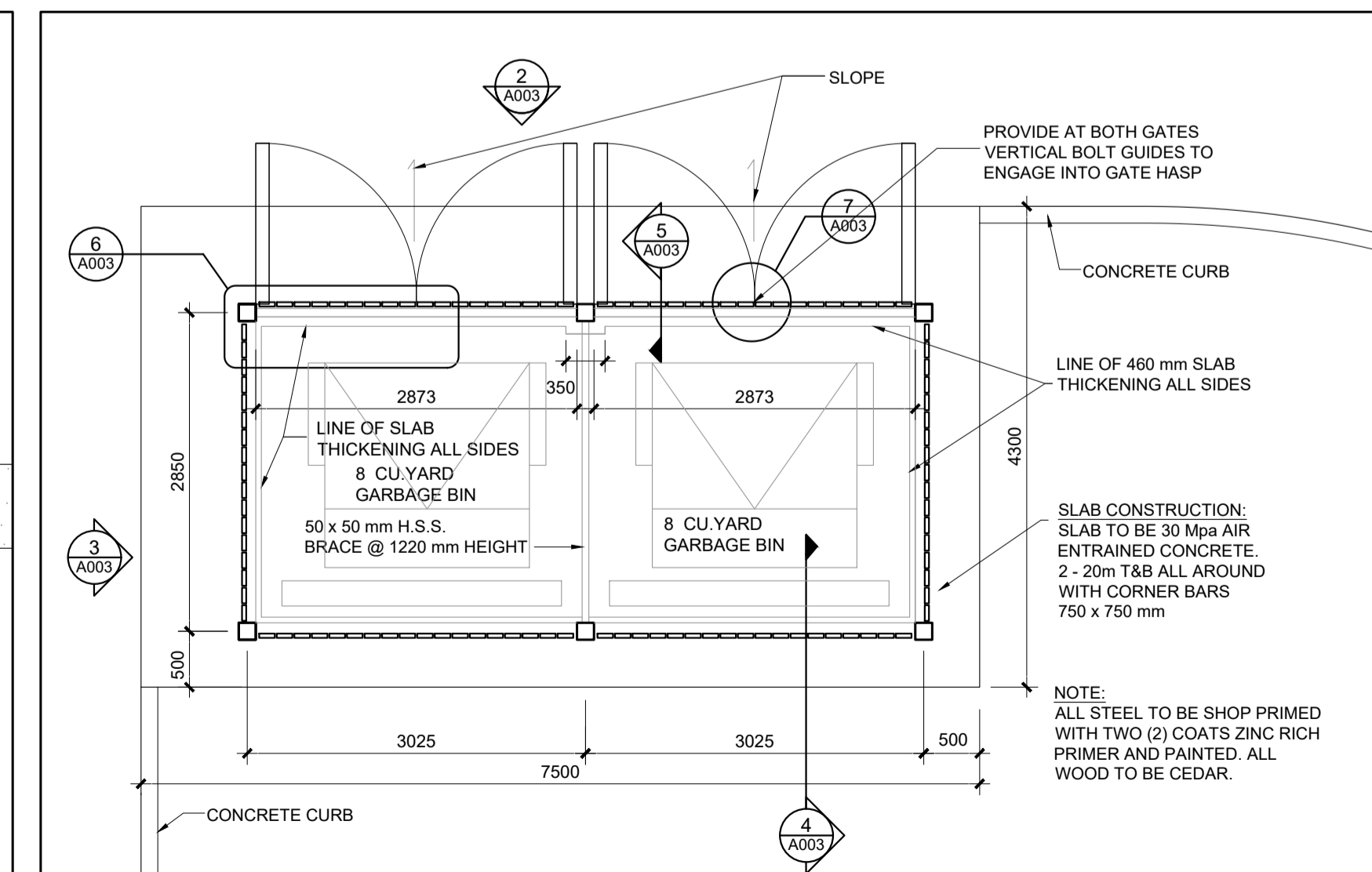
7 SECTION DETAIL
A003 SCALE 1:10



5 SECTION DETAIL
A003 SCALE 1:10



4 SECTION DETAIL
A003 SCALE 1:10



1 GARBAGE ENCLOSURE PLAN
A003 SCALE 1:50

≡ Canderel

1	SITE PLAN APPLICATION	05 MAR 2021
no.	revision	date

N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

project
WALKLEY CONROY WAREHOUSES

MANULIFE

construction north seal

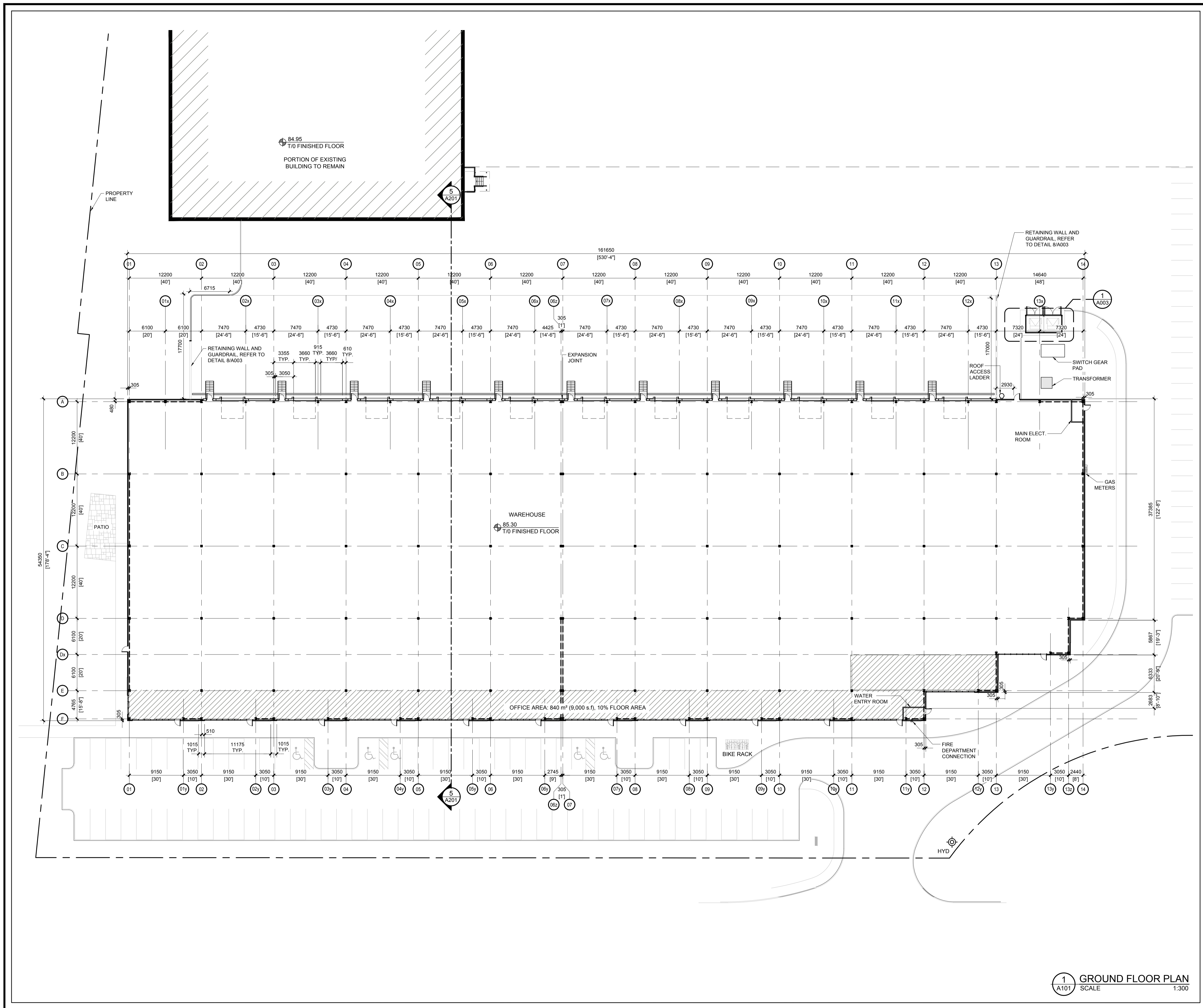
drawing title
SITE PLAN DETAILS

scale AS SHOWN	drawn by J.J
date Jan. 2021	checked by R.M
project number 20-560	drawing number A003

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PLAN NO.: #XXXXX

CITY'S FILE NO.: XXXX



1.	SITE PLAN APPLICATION	05 MAR 2021
no.	revision	date

N45 ARCHITECTURE INC.
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 tel. 613.224.0095 fax 613.224.9811

project
WALKLEY CONROY WAREHOUSES

MANULIFE

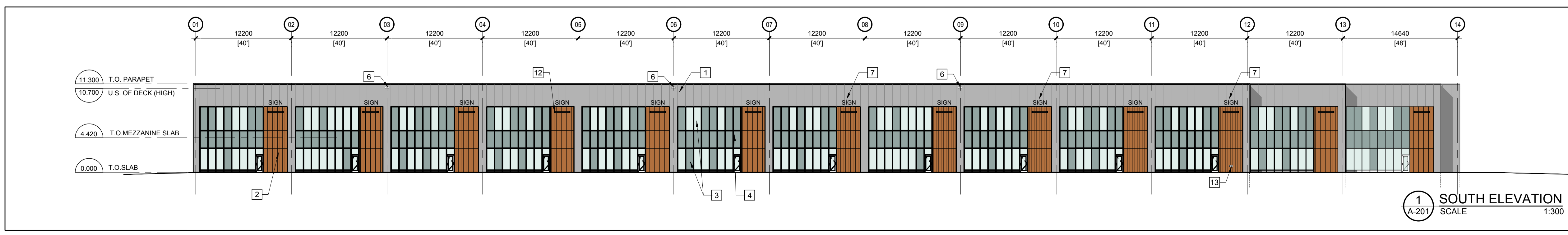
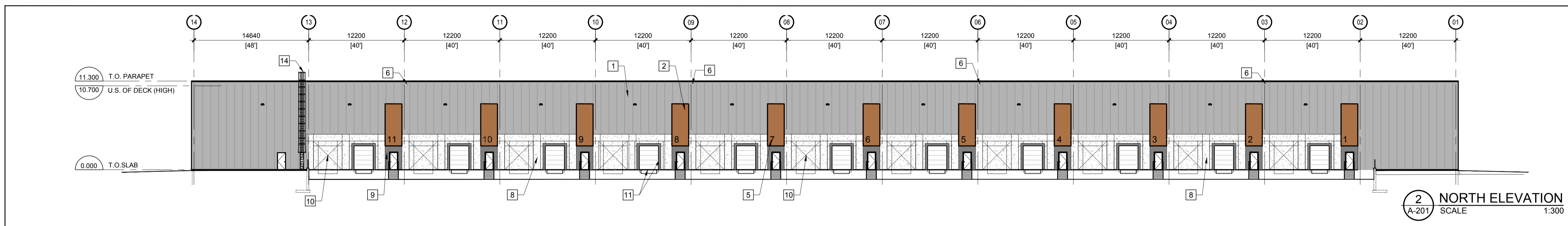
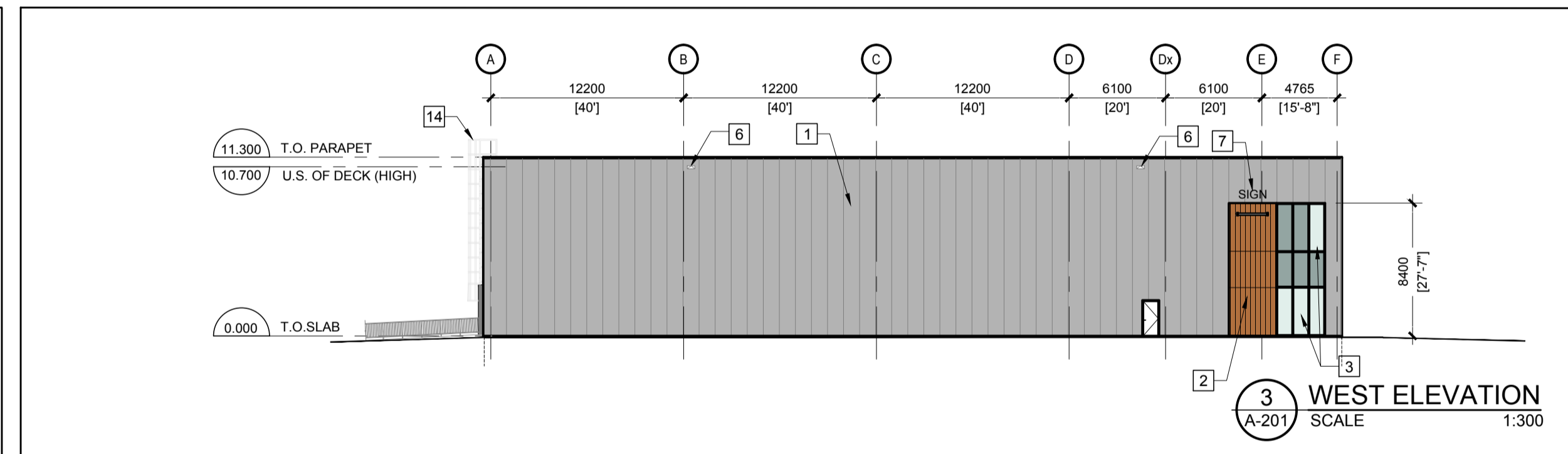
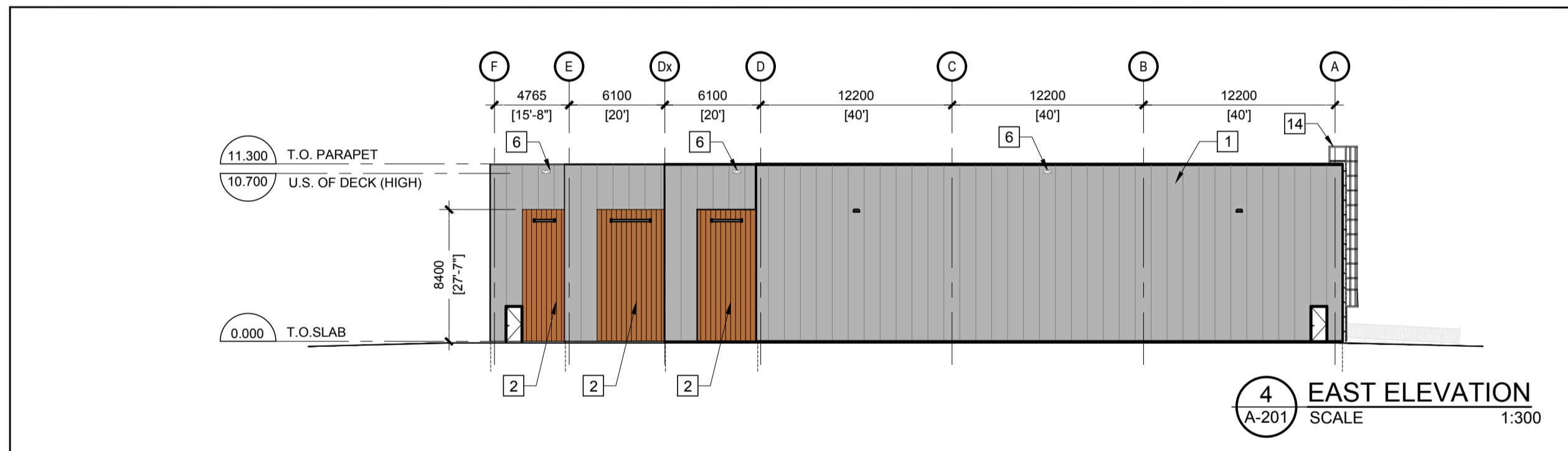
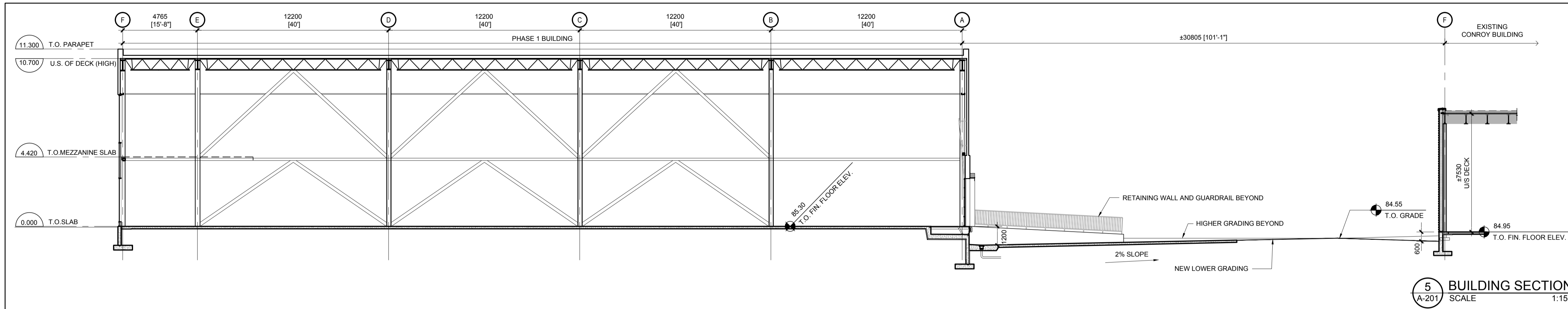
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drawing title GROUND FLOOR PLAN PHASE 1	
scale 1:300	drawn by DL
date 16 FEB 2021	checked by GW
project number 17-130	drawing number A101
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.	
	revision

1 GROUND FLOOR PLAN
 A101 SCALE 1:300

ELEVATION LEGEND

- 1 WHITE INSULATED METAL WALL PANEL
- 2 INSULATED METAL WALL PANEL WITH WOOD GRAIN
- 3 GLAZING
- 4 SPANDREL
- 5 LOADING BAY NUMBER / SIGNAGE
- 6 SCUPPER
- 7 SIGNAGE LOCATION
- 8 PRECAST PANEL LIGHT GREY SANDBLAST FINISH
- 9 PRECAST PANEL DARK GREY
- 10 FUTURE KNOCK OUT PANEL
- 11 TYPICAL LOADING DOCK, DOCK SEAL & LEVEL
- 12 WALL MOUNTED LIGHT FIXTURE, REFER TO ELEC. DRAWINGS
- 13 FIRE DEPARTMENT CONNECTION
- 14 ROOF ACCESS LADDER



1.	SITE PLAN APPLICATION	05 MAR 2021
no.	revision	date

N45 ARCHITECTURE INC.
 71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
 tel. 613.224.0095 fax 613.224.9811

project
WALKLEY CONROY WAREHOUSES
MANULIFE

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drawing title ELEVATIONS PHASE 1	
scale 1:300	drawn by DL
date JAN 2021	checked by GW
project number 17-130	drawing number A201
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.	
revision	