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## **CannaGenetics Inc. – WestKan Business Park Carp, Ontario Planning Rationale**

**CannaGenetics Inc. – WestKan Business Park  
Carp, Ontario  
Planning Rationale in support of  
Official Plan Amendment &  
Zoning By-law Amendment Applications**

Prepared By:

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March / 13 / 2020

Novatech File: 118179  
Ref: R-2019-020

March 13, 2020

City of Ottawa  
Planning Infrastructure and Economic Development Department  
110 Laurier Avenue West, 4<sup>th</sup> Floor  
Ottawa, ON  
K1p 1J1

**Attention: Cheryl McWilliams, Planner III, Planning Services**

Dear Ms. McWilliams:

**Reference: Official Plan Amendment & Zoning By-law Amendment Applications  
Blocks 10 & 12 – WestKan Business Park  
Our File No.: 118179**

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The following Planning Rationale has prepared in support of an Official Plan Amendment application and a Zoning By-law Amendment application to facilitate the development of Blocks 10 & 12 in the WestKan Business Park (the "Subject Property"). The Subject Property is legally described as Blocks 10 & 12, Plan 4M-1511.

The Subject Property is designated Carp Airport on Schedule A of the City of Ottawa's Official Plan. The property is zoned Air Transportation Facility, Subzone B (T1B) in the City of Ottawa's Zoning By-law 2008-250.

This Planning Rationale examines the location and context of the Subject Property, the proposed Official Plan Amendment, the proposed Zoning By-law Amendment, the planning policy and regulatory framework of the site, and makes recommendations on the proposed Official Plan Amendment and Zoning By-law Amendment.

Should you have any questions regarding any aspect of this Planning Rationale, please do not hesitate to contact either Adam Thompson or the undersigned.

Yours truly,

**NOVATECH**



Ryan Poulton, M.PL.  
Planner

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## 1.0 INTRODUCTION

Novatech has prepared this Planning Rationale in support of an Official Plan Amendment application and a Zoning By-law Amendment application to facilitate the development of Blocks 10 & 12 in the WestKan Business Park (the “Subject Property”). The Subject Property is designated Carp Airport on Schedule A of the City of Ottawa’s Official Plan (OP). The property is zoned Air Transportation Facility, Subzone B (T1B) in the City of Ottawa’s Zoning By-law 2008-250. The Official Plan Amendment and Zoning By-law Amendment applications will facilitate the development of the currently vacant lot. The proposed site-specific Official Plan Amendment will permit the development of a Cannabis Production Facility on the Subject Property. A site-specific Zoning By-law Amendment is requested to add Cannabis Production Facility as a permitted use on the Subject Property.

This Planning Rationale will demonstrate that the proposed Official Plan Amendment and Zoning By-law Amendment will:

- Be consistent with the Provincial Policy Statement (2014);
- Conform to the policies in the City of Ottawa Official Plan (up to and including Official Plan Amendment 224);
- Establish appropriate zoning standards for the Subject Property; and
- Be compatible with surrounding development.

### 1.1 Description of Subject Property

Blocks 10 & 12 in the WestKan Business Park are located in the West Carleton – March Ward of the City of Ottawa, adjacent to the Carp Airport (see Figure 1). The Subject Property is legally described as Blocks 10 & 12, Plan 4M1511. The property has an approximate area of 42,150 m<sup>2</sup>, and approximately 201 metres of frontage along Russ Bradley Road. The property is currently vacant.

**Figure 1. Aerial Photo of Subject Property**





## 1.2 Site Location and Community Context

**North:** North of Blocks 10 & 12 are lands proposed for a Business Park as per an approved concept plan and draft plan of subdivision. Lands further north of the proposed business park are generally agricultural to the Village of Carp. There are several residential properties that front onto Carp Road north of the Subject Property.

**Figure 2. Agricultural Lands along Carp Road**



**South:** Immediately south of the Subject Property is the east-end of the main runway for the Carp Airport and associated vacant lands within the Carp Airport. Lands uses south of the Carp Airport include mineral aggregate extraction (quarries), and industrial.

**Figure 3. Air Photo of Carp Airport and Quarries**



**East:** East of the Subject Property are several vacant parcels within the Westkan Business Park. Along the east side of Carp Road is the Irish Hills Golf and Country Club and a storage yard for construction materials.

**Figure 4. Irish Hills Golf & Country Club**



**West:** Immediately west of Blocks 10 & 12 is the Carp Airport. Most of the airport's principle buildings, a small aircraft hangar, and several taxiways are located on the north side of the core airport lands. The airports main aircraft hangars are located on the west side of the airport property. A Draft Plan of Subdivision approval for a residential “fly-in” community is currently in effect for the whole of the Carp Airport lands. This proposed residential community will be located southwest of the airport. The core airport (including the main runway) separate the business park (including Blocks 10 & 12) from the future residential community.

**Figure 5. Carp Airport**

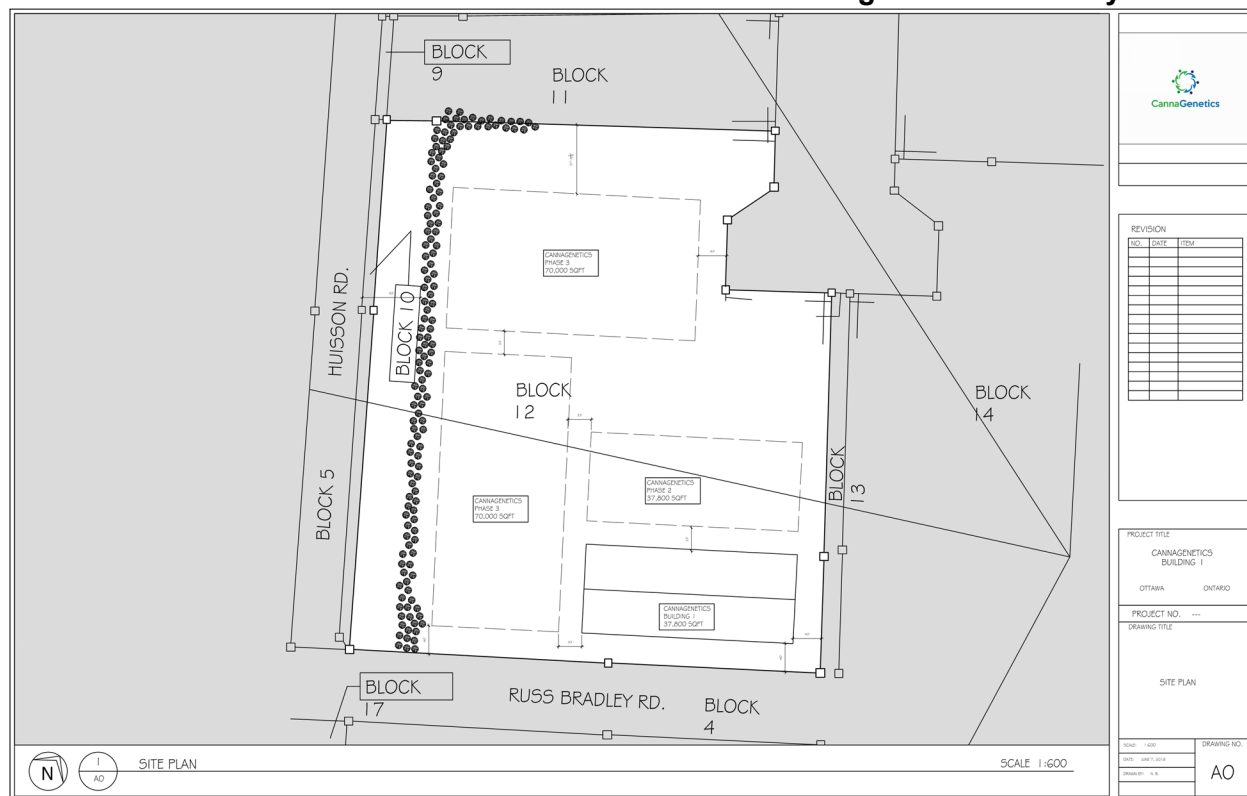




## 2.0 PROPOSED DEVELOPMENT

Blocks 10 & 12 are currently vacant and used temporarily for agriculture. CannaGenetics are proposing to develop the Subject Property to accommodate a Cannabis Production Facility (see Figure 6).

**Figure 6. Preliminary Site Plan**



The operation of CannaGenetics is bound by the Cannabis Act. Each license under the Cannabis Act dictates the authorized activities for which a production facility operates. The proposed Cannabis Production Facility will operate under three specific licenses as per Cannabis Act legislation.

- Federal Sales – Medical;
- Standard Cultivation;
- Processing.

(Health Canada CTLS Application #: APP-SX094BIV4I-2018: Originally ACMPR #: 10-MM0981)

The proposed facility will operate using precision aeroponics, a specific growing method and different from 90% of all current licensed producers. CannaGenetics is a no soil producer and their platform is centred around conservation of resources, product safety, and quality and transparency.

It is our understanding that, by employing precision aeroponics methods, the proposed facility will not use soil or pesticides, water required for production is reduced by 90%, and nutrients required



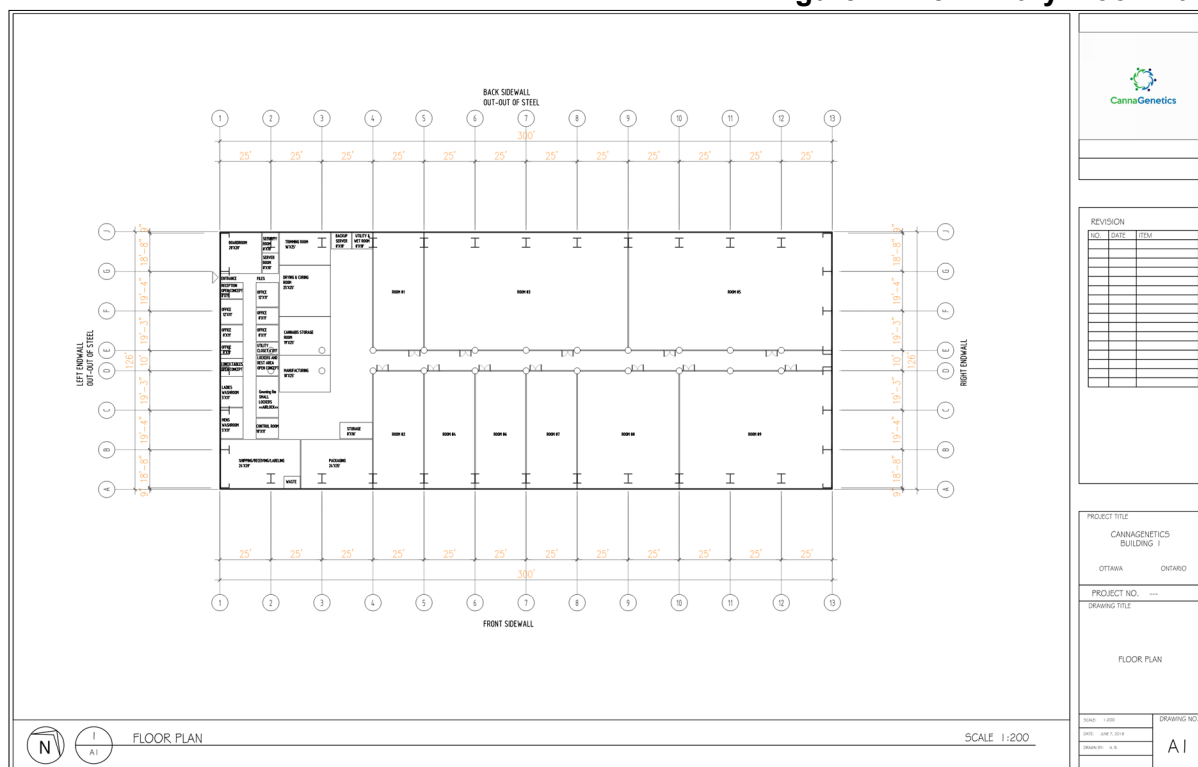
for production is reduced by 70%. Water used for production will be purified through reverse osmosis. Light Emitting Diode (LED) lighting will reduce the electricity requirements of the facility by 50% compared to High Pressure Sodium (HPS) lighting.

The proposed Cannabis Production Facility will initially include one industrial building located near the southeast corner of the property. Ultimately, there is sufficient vacant land on the Subject Property to expand the proposed Cannabis Production Facility to multiple buildings. Provided the Official Plan Amendment and Zoning By-law Amendment are approved by City staff and Council, a Site Plan Control application will be required to establish the proposed Cannabis Production Facility on the Subject Property.

The Subject Property was chosen by CannaGenetics specifically for its proximity to the Carp Airport. A grassed taxiway is proposed for the WestKan Business Park which will provide Blocks 10 & 12 with access to the airport runways. The Subject Property is accessed from Carp Road via Russ Bradley Road. Carp Road is a rural arterial road with direct access to Highway 417. The accessibility of the Subject Property to both air and truck travel supports the development of light industrial manufacturing uses including the proposed Medical Marihuana Production Facility.

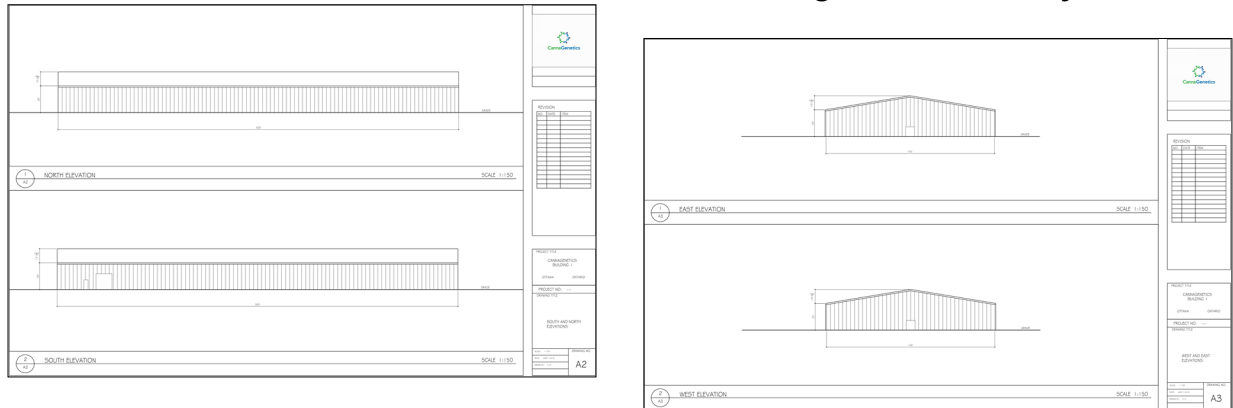
Cannabis production will be located within the industrial building (see Figure 7). No outdoor cultivation nor greenhouses are proposed on the Subject Property. It is understood plants will be processed and packaged within the facility.

### Figure 7. Preliminary Floor Plan



The proposed Cannabis Production Facility will be within a rectangular-shaped one-storey industrial building. The building will have a simple exterior design that is appropriate for a rural industrial park (see Figure 8).

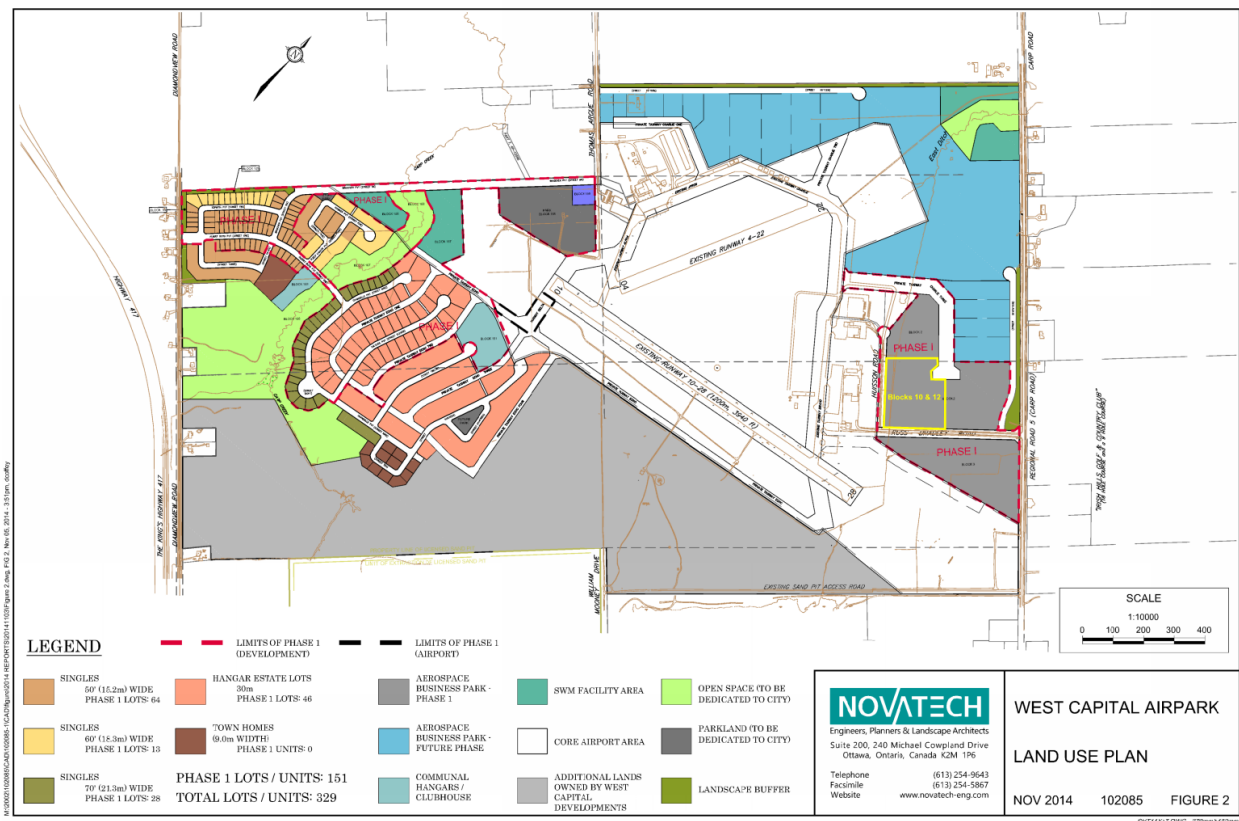
Figure 8. Preliminary Elevations



The Cannabis Production Facility will require regular delivery of supplies and shipping of goods. Ground commercial delivery vehicles will access the property from Russ Bradley Road. This use is anticipated to generate two daily commercial vehicle trips associated with the operation of the facility.

The Subject Property is located within the WestKan Business Park. This business park is part of the overall development plan for the Carp Airport (see Figure 9). The WestKan Business Park is located east of the airport and adjacent to Carp Road. A residential fly-in community is proposed on airport lands west of the airport and near Highway 417.

Figure 9. West Capital Airpark Land Use Plan Markup



The core of the Carp Airport separates the WestKan Business Park including Subject Property from the residential fly-in community. The distance between the business park and residential lots is more than sufficient to adequately buffer the proposed Cannabis Production Facility from the proposed residential properties. The location and use of the land for a Cannabis Production Facility within the WestKan Business Park is appropriate for the Subject Property.

### **3.0 PROPOSED OFFICIAL PLAN AMENDMENT**

Blocks 10 & 12 are currently designated Carp Airport on Schedule A of the City of Ottawa's Official Plan. The Carp Airport designation does not permit the development of a Cannabis Production Facility on the Subject Property. The Official Plan Amendment proposes a site-specific policy to permit a Cannabis Production Facility use on Blocks 10 & 12 of the WestKan Business Park. The Official Plan Amendment does not seek to change the Carp Airport designation of the Subject Property.

The requested Official Plan Amendment is considered appropriate for the Subject Property. Processing of an Official Plan Amendment includes a review by various agencies and will require a statutory public meeting. The proposed wording for the Official Plan Amendment is attached as Appendix A.

### **4.0 PROPOSED ZONING BY-LAW AMENDMENT**

Blocks 10 & 12 are currently zoned Air Transportation Facility, Subzone B (T1B) in the City of Ottawa's Zoning By-law 2008-250. The T1B zone does not permit the development of a Cannabis Production Facility on the Subject Property. The Zoning By-law Amendment application proposes to rezone Blocks 10 & 12 to permit a Cannabis Production Facility use. The Zoning By-law Amendment does not seek to change the underlying Air Transportation Facility zone of the Subject Property.

The requested rezoning is considered appropriate for the Subject Property. Processing of a Zoning By-law Amendment includes a review by various agencies and will require a statutory public meeting. The proposed wording for the Zoning By-law Amendment is attached as Appendix B.

## **5.0 PLANNING POLICY AND REGULATORY FRAMEWORK**

### **5.1 Provincial Policy Statement**

The 2014 Provincial Policy Statement (2014) provides policy direction on land use planning and development matters of provincial interest. The PPS was issued under the authority of Section 3 of the Planning Act and came into effect on April 30, 2014. All decisions affecting planning matters "*Shall be consistent with*" policies issued under Section 3 of the Planning Act.

Section 1.1.4 of the PPS sets out policies for rural areas in municipalities. Policy 1.1.4.1 of the PPS states:

- “Healthy, integrated and viable rural areas should be supported by:*
- e) using rural infrastructure and public service facilities efficiently;*
  - f) **promoting diversification of the economic base and employment opportunities** through goods and services, including value-added products and the sustainable management or use of resources;”*

The proposed Official Plan Amendment and Zoning By-law Amendment will permit the development of a Cannabis Production Facility on Blocks 10 & 12 of the WestKan Business Park. The proposed Cannabis Production Facility will operate efficiently with existing rural transportation infrastructure, including direct access to the Carp Airport runways and access to Carp Road via Russ Bradley Road. The proposed Cannabis Production Facility will promote diversification of the local rural economy and will provide new employment opportunities associated with the production of medical products.

Section 1.1.5 of the PPS sets out policies for rural lands within municipalities. Policy 1.1.5.3 of the PPS states: *“Recreational, tourism and other economic opportunities should be promoted.”* The proposed Official Plan Amendment and Zoning By-law Amendment are site-specific applications to permit a Cannabis Production Facility use on Blocks 10 & 12. If another Cannabis Production Facility is proposed to be developed in the WestKan Business Park, the proposal will need to conform with the Official Plan policies and be consistent with the zoning provisions of the day. The proposed site-specific amendments will diversify the currently approved uses within WestKan Business Park. Approval of a Cannabis Production Facility use on the Subject Property will promote new economic opportunities within the WestKan Business Park.

Policy 1.1.5.4 of the PPS states: *“Development that is compatible with the rural landscape and can be sustained by rural service levels should be promoted.”* The Subject Property is located adjacent to the Carp Airport and is within a business park. The proposed one-storey building will be compatible with the surrounding airport and future business park uses. The proposed Cannabis Production Facility will be serviced by a private well and septic system. Approval of the proposed Official Plan Amendment and Zoning By-law Amendment promotes compatible development in a rural area of the City of Ottawa that will be sustained by rural service levels.

Policy 1.1.5.5 of the PPS states: *“Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the unjustified and/or uneconomical expansion of this infrastructure.”* The proposed development will be serviced by private services including a well and septic system. Private services are appropriate for development of the Subject Property as it is located within a rural area. The Subject Property has direct access to the Carp Airport via a planned grass taxiway and will benefit from the existing air transportation infrastructure at the Carp Airport. The Subject Property also has access to Carp Road from Russ Bradley Road, a rural arterial road with access to Highway 417. The proposed development is appropriate to the planned and existing infrastructure available to the Subject Property.

Policy 1.1.5.6 of the PPS states: *“Opportunities should be retained to locate new or expanding land uses that require separation from other uses.”* Section 97 of the City of Ottawa’s Zoning By-law requires Cannabis Production Facilities that include outdoor cultivation to be located at least 300 metres from a residential use or institutional zone. The proposed Cannabis Production Facility will be fully contained within a building and is not subject to a setback. Regardless, the nearest residential use exceeds 260 metres.

Section 1.3 of the PPS includes policies on employment. Policy 1.3.1 states:

*“Planning authorities shall promote economic development and competitiveness by:*

- a) providing for an appropriate mix and range of employment and institutional uses to meet long-term needs;*
- b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses;*
- c) encouraging compact, mixed-use development that incorporates compatible employment uses to support liveable and resilient communities; and*
- d) ensuring the necessary infrastructure is provided to support current and projected needs.”*

Approval of the requested amendments will permit the development a Cannabis Production Facility on the Subject Property. This use will add to the mix of employment uses currently permitted within the WestKan Business Park. The amendments will provide a new opportunity to diversify the economic base in the rural area around the Carp Airport. The proposed one-storey building will be compatible with, and will efficiently use available lands, within the Carp Airport business park. The proposed Cannabis Production Facility will be serviced by a private well and septic system and can take advantage of existing transportation infrastructure.

Section 1.3.2 of the PPS includes policies on Employment Areas. The Subject Property is within the Carp Road Corridor Rural Employment Area. Policy 1.3.2.3 of the PPS states: *“Planning authorities shall protect employment areas in proximity to major goods movement facilities and corridors for employment uses that require those locations.”* The proposed Cannabis Production Facility is an employment use that requires access to transportation infrastructure to support their operations. The Subject Property was selected for this use due to its proximity and accessibility to the Carp Airport and Carp Road.

Section 2.0 of the PPS provides policies related to the use and management of resources. The proposed rezoning adheres to the policies in Section 2.0 as follows:

- Relating to Section 2.1 (Natural Heritage), there are no natural features on the Subject Property;
- Relating to Section 2.2 (Water), there are no water features on the Subject Property;
- Relating to Section 2.3 (Agriculture), the Subject Property is designated Carp Airport and is within the Carp Road Corridor Rural Employment Area. The Subject Property is not considered prime agricultural land;
- Relating to Section 2.4 (Minerals and Petroleum), the Subject Property has no known areas of minerals or petroleum potential;
- Relating to Section 2.5 (Mineral Aggregate Resources), the Subject Property has no mineral aggregate potential.



The proposed Official Plan Amendment and Zoning By-law Amendment are consistent with the Provincial Policy Statement. Approval of the requested Official Plan Amendment and zoning provisions will have no negative impacts to natural heritage and features or cultural heritage resources. The proposed development is consistent with the policies of the PPS.

## 5.2 City of Ottawa Official Plan

The City of Ottawa Official Plan was adopted by City Council on May 14, 2003 and modified by the Minister of Municipal Affairs on November 10, 2003. There have been numerous modifications and amendments approved by City Council and former Ontario Municipal Board. For the purposes of this Planning Rationale, the Official Plan Consolidation up to and including Official Plan Amendment No. 224 (the “Official Plan”) was used for reference.

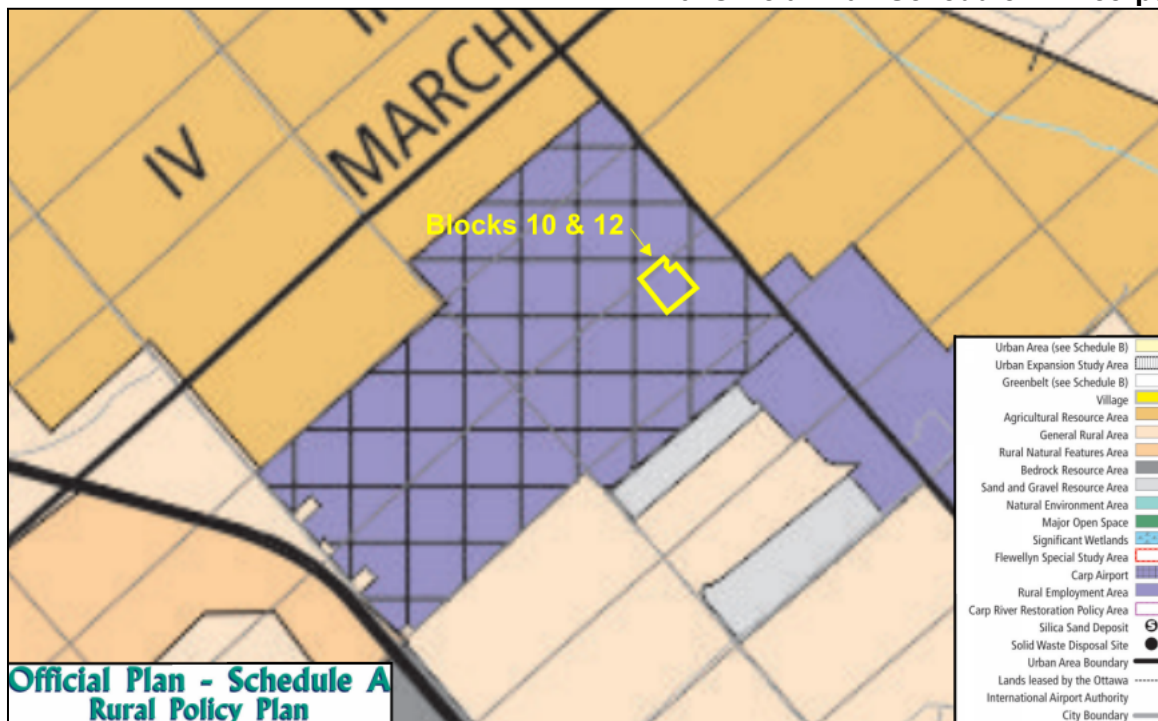
### 5.2.1 Airports

Block 12 is designated Carp Airport on Schedule A of the City of Ottawa’s Official Plan (OP) (see Figure 10). Section 3.10 of the OP describes the function and current operations of the three airports within the City of Ottawa.

Policy 1 of Section 3.10 states:

*“The City will work with the Ottawa Macdonald-Cartier Airport Authority and other airport operators in the development of their land use and servicing plans to ensure sufficient flexibility is provided to respond to market changes in the demand for air travel and services, and to support the role of the airports in the local economy.”*

10. Official Plan Schedule A Excerpt



Section 3.10 of the OP requires the City to work with the operators of the Carp Airport to support the role of the airport in the local economy. The proposed site-specific amendments will permit the development of an industrial use on the Subject Property that is compatible but not currently permitted within the WestKan Business Park. Diversifying the permitted uses within the business park will help support new development at Carp Airport and provide new employment opportunities to the local rural economy.

Subsections of Section 3.10 set out policies for each airport in Ottawa. Section 3.10.2 of the OP sets out policies for lands designated “Carp Airport”. Policy 2 in Section 3.10.2 of the OP states:

*“The land uses permitted in the designation are aviation and other land uses associated with an airport including an aerospace business park and an accessory residential fly-in community consistent with the Carp Airport master land use and servicing plan.”*

The WestKan Business Park is the employment lands permitted on lands designated Carp Airport. Policy 2 limits uses within the WestKan Business Park to land uses associated with an airport including an aerospace business park. The business park is located on employment lands within the Carp Road Corridor, and on Carp Airport Lands. Development of the WestKan Business Park will provide employment opportunities to the nearby Village of Carp and surrounding rural areas. The business park also is buffered from nearby residential uses by the Carp Airport and commercial properties along Carp Road. The proposed Cannabis Production Facility is compatible in scale and design with other similar light-industrial uses permitted on the employment lands within the business park. The proposed Cannabis Production Facility is an appropriate use within the WestKan Business Park. An Official Plan Amendment is required to permit a Cannabis Production Facility use on Blocks 10 & 12. The proposed Official Plan Amendment adds a site-specific policy to Section 3.10.2 of the OP to permit the development of a Cannabis Production Facility on the Subject Property.

The WestKan Business Park proposes a grassed taxiway which provides the Subject Property with access to the runways at the Carp Airport. The proposed Cannabis Production Facility will have the opportunity to use the Carp Airport for air transportation of produced goods.

The Official Plan Amendment and Zoning By-law Amendment conform to the policies of the City of Ottawa’s Official Plan.

### **5.2.2 Carp Road Corridor Community Design Plan**

The Carp Road Corridor Community Design Plan (the Carp Road CDP) was prepared by the City of Ottawa to guide the long-term development of lands near Carp Road and located between Stittsville to the south and the Village of Carp to the north (the “Carp Road Corridor”). The Carp Airport is located at the north end of the Carp Road Corridor along the west side of Carp Road. The Carp Road CDP sets out policies to guide development within the Carp Road Corridor. The Carp Road CDP was adopted by City Council in June 2004.

Section 1.4 of the Carp Road CDP lists the objectives for the Carp Road Corridor:

- *“To promote the Carp Road Corridor as a rural employment area which is an attractive base for a wide range of industrial and commercial uses;*
- *To enhance the visual appearance of the corridor and maintain the rural landscape;*
- *To provide a plan that ensures that future land uses are compatible and the Corridor continues to be an area where people work, live and play and enjoy a rural lifestyle;*
- *To ensure that servicing in the corridor is adequate and meets the needs for the future;*
- *To ensure that Carp Road continues to function as a major arterial road that provides easy accessibility to Highway 417 and the Carp Airport and businesses in the Corridor; and*
- *To protect and enhance natural features.”*

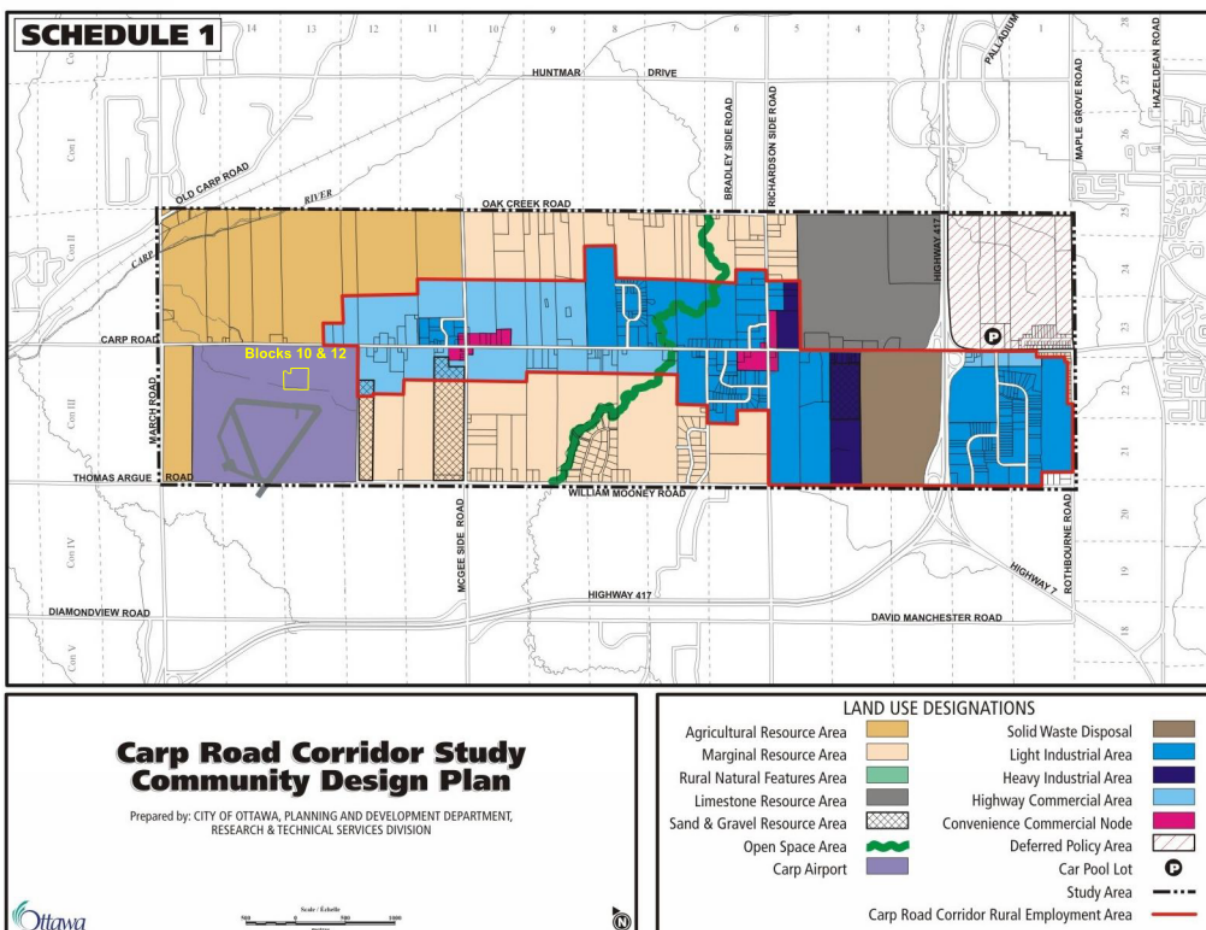
The proposed amendments will facilitate the development of the Subject Property to accommodate a use that is currently not permitted on the Subject Property. The amendments promote the diversification of industrial uses on lands associated with the Carp Airport and support the development of the Corridor as a rural employment area. The Subject Property does not have frontage along Carp Road and will have a limited visual impact from Carp Road. The Carp Airport buffers the future residential fly-in community west of the airport from the Subject Property. The Subject Property is surrounded by the airport and vacant industrial lots within the Westkan Business Park. A Cannabis Production Facility on the Subject Property will be compatible with surrounding uses. The proposed facility will be serviced by private services including a septic system and a well and will not compromise the ability of Carp Road to act as a major arterial road. There are no natural features identified on the Subject Property. The proposed amendments are consistent with the objectives of the CDP.

Schedule 1 of the CDP designated the Subject Property as “Carp Airport” (see Figure 11). Section 2.9 of the CDP sets out policies for lands designated Carp Airport. Section 2.9 of the CDP states: *“The uses permitted include aviation and uses associated with the airport.”* Section 2.9 of the CDP limits the uses on the Subject Property to uses that are associated with the airport.

Section 2.9 of the Carp Road CDP contains the single policy applicable to the Carp Airport. Policy 1 of Section 2.9 states: *“The policies for Carp Airport in the Ottawa Official Plan (Section 3.10.2) shall apply.”* The proposed Official Plan Amendment will add a site-specific policy to Section 3.10.2 of the OP to permit a Cannabis Production Facility use on the Subject Property. Based on Policy 1 of Section 2.9, approval of the Official Plan Amendment will not require any changes to the policies of the Carp Road Corridor CDP. The proposed Zoning By-law Amendment will implement to the proposed Official Plan Amendment and permit a Cannabis Production Facility use on the Subject Property.

The Official Plan Amendment and Zoning By-law Amendment conform to the policies of the Carp Road Corridor Community Design Plan.

Figure 11. Carp Road Corridor CDP Schedule 1 Markup



### 5.3 City of Ottawa Zoning By-law 2008-250

The Zoning By-law Amendment application proposes to rezone Blocks 10 & 12 to permit a Cannabis Production Facility. The Subject Property is currently zoned Air Transportation Facility, Subzone B (T1B).

The T1 Zone implements the policies of Section 3.10.2 of the OP permitting airport and airport related uses including a number of general employment uses on lands designated Carp Airport. The proposed site-specific Official Plan Amendment discussed in Section 3.0 of this report will add a new policy to Section 3.10.2 of the OP that will permit a Cannabis Production Facility on the Subject Property. If the proposed Official Plan Amendment is approved by Council, the proposed Zoning By-law Amendment (see Appendix B) will implement the new OP policy into the Zoning By-law, and a site-specific rural exception zone will permit a Cannabis Production Facility use on the Subject Property.

The Official Plan Amendment and Zoning By-law Amendment will be approved concurrently.

In preparation for federal legislation legalizing the medical use of cannabis, a staff report (file no.: ACS2013-PAI-PGM-0227) was prepared to Planning Committee and Council dated January 31<sup>st</sup>, 2014, that proposed changes to the City's Zoning By-law to add "Medical Marihuana Production Facilities" as a defined use in the City of Ottawa Zoning By-law. The recommendations of the report included performance standards to regulate the location of Medical Marihuana Production Facilities in the City. The report recommendations were adopted by City Council on February 26, 2014 and implemented by By-law 2014-74.

The staff report to Planning Committee and Council made recommendations on which zones should permit a Medical Marihuana Production Facility use. The staff report states:

***"In evaluating this new land use, in conjunction with the Regulations, it was determined a medical marihuana production facility is more similar to a pharmaceutical manufacturing plant, an industrial use for zoning purposes, than any other land use."***

The 2014 staff report identifies a Medical Marihuana Production Facility is closest to an industrial use and recommends "Medical Marihuana Production Facility" be added to the list of permitted uses in Industrial Zones of the City.

A staff report (file no.: ACS2018-PIE-PS-0010) to Agriculture and Rural Affairs Committee and Council dated January 18, 2018 made recommendations to approve a Zoning By-law Amendment to permit a Medical Marihuana Production Facility use on the properties at 5130 and 5208 Ramsayville Road. The Planning Rationale section of the staff report states:

*"In 2014, new zoning provisions for medical marihuana production facilities were introduced in the Zoning By-law. A general strategy was developed to determine where this new use may be permitted. A conservative approach was taken based on the information available at the time, limited experience with such facilities, and a desire to direct the use to locations that were best able to accommodate what could be an impactful land use."*

The Planning Rationale section of the 2018 staff report concludes:

*"This site-specific amendment has provided staff with the opportunity to review details concerning the operation of a specific facility. As a result, staff are better informed about the potential impacts and have determined that these impacts can be addressed through the federal license and the site plan control approval process."*

In July 2019, following legalization of recreational cannabis, the City of Ottawa undertook a Zoning By-law Amendment to recognize for the production of both medicinal and recreational cannabis. By-law Amendment 2019-222 also streamlined the provisions of the Zoning By-law to differentiate between production facilities that are exclusively indoor operations and those that contain outdoor cultivation.

Section 97 of the Zoning By-law includes zoning provisions for the regulation of Cannabis Production Facilities. Provision 1 (a) states a Cannabis Production Facility: *"must be a listed permitted use in the zone it is located in and must comply with the provisions of that zone,"* The



proposed Zoning By-law Amendment will add “Cannabis Production Facility” as a permitted use on the Subject Property through a site-specific rural exception zone.

Provisions 1 (b), (c), and (d) of Section 97 of the Zoning By-law require a Cannabis Production Facility not have any outdoor storage and is not permitted within a dwelling. The proposed facility will be located completely within an industrial building on the Subject Property and will not have any outdoor storage.

Provision 1 (e) of Section 97 of the Zoning By-law states that no Cannabis Production Facility *“that includes cultivation in an outdoor area or in a greenhouse may be located within 300 metres of a residential use or an Institutional or Rural Institutional Zone”*. This provision does not apply to the proposed Cannabis Production Facility as it will be entirely contained within an enclosed building.

The “T1B Subzone – Carp Airport” permits the following uses:

- Airport and related facilities
- Convenience store
- Heavy equipment and vehicle sales, rental and servicing
- Hotel
- Instructional facility
- **Light industrial uses**
- Office
- One dwelling unit for a caretaker or security guard
- Park
- Parking garage
- Parking lot
- Personal service business
- Place of assembly
- Post secondary education institution
- Research and development centre
- Restaurant, full service
- Restaurant, take-out
- Retail store, limited to a factory outlet store
- Service and repair shop
- Storage yard
- Truck transport terminal
- Warehouse

A variety of uses are permitted in the T1B Subzone to support the development of lands associated with the Carp Airport. The T1B Subzone does not permit the development of a Cannabis Production Facility despite the zoning permitting a number of similar uses. The proposed Cannabis Production Facility is considered similar to an industrial use. Light Industrial Uses are permitted on the Subject Property. A warehouse is also permitted on the Subject Property. The proposed one-storey Cannabis Production Facility will have a similar appearance and function as the Westkan Business Park and surrounding uses as a light industrial use or warehouse use, which are permitted uses.

The proposed Zoning By-law Amendment conforms to and implements the proposed Official Plan Amendment. A Cannabis Production Facility on the Subject Property will support the development of Carp Airport lands. The proposed facility will have a similar appearance and function as a light industrial and warehouse use already permitted within the T1B Subzone. Approval of the proposed amendments and the design of the proposed Cannabis Production Facility is consistent with the zoning provision in Section 97 of the Zoning By-law.

The requested Zoning By-law Amendment establishes appropriate zoning provisions for the development of the Subject Property and permits development that is compatible with surrounding uses.

## 6.0 CONCLUSION

This Planning Rationale has been prepared in support of an Official Plan Amendment application and a Zoning By-law Amendment application to facilitate the development of the property legally described as Blocks 10 & 12, Plan 4M1511. The Official Plan Amendment proposes a site-specific policy to permit a Cannabis Production Facility use on the Subject Property and the Zoning By-law Amendment proposes to rezone the Subject Property to permit a Cannabis Production Facility use. The proposed Cannabis Production Facility complies with the provisions of Section 97 of the Zoning By-law which were established to regulate the location of Cannabis Production Facilities.

The proposed Official Plan Amendment and Zoning Bylaw Amendment are consistent with the policies of the PPS, and the policies of the City of Ottawa's Official Plan. The Zoning By-law Amendment establishes appropriate zoning provisions for the development of the Subject Property and permits development that is compatible with surrounding uses.

The proposed Official Plan Amendment and Zoning Bylaw Amendment are appropriate for the development of the Subject Property and represents good land use planning.

### NOVATECH

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## Appendix A: Proposed Official Plan Amendment

## APPENDIX ‘A’

### BY-LAW 2018-XXX

A by-law of the City of Ottawa to amend the City of Ottawa’s Official Plan to permit the development of a Cannabis Production Facility on the property known municipally as Block 12, Plan 4M1511.

The Council of the City of Ottawa, pursuant to Section 16 of the *Planning Act*, R.S.O. 1990, enacts as follows:

- (a) Section 3.10.2 – Carp Airport of the City of Ottawa’s Official Plan is amended by making the changes as follows:

Item	Section	Details of Amendment
1.	3.10.2 – Carp Airport	Amend Section 3.10.2 by adding the following:  3. Notwithstanding Policy 2 above, the development of a Cannabis Production Facility is permitted on the lands legally described as Blocks 10 & 12, Plan 4M1511.

## Appendix B: Proposed Zoning By-law Amendment



## APPENDIX ‘B’

### BY-LAW 2018-XXX

A by-law of the City of Ottawa to amend By-law Numbered 2008-250 of the City of Ottawa to change the zoning for the property known municipally as Blocks 10 & 12, Plan 4M1511.

The Council of the City of Ottawa, pursuant to Section 34 of the *Planning Act*, R.S.O. 1990, enacts as follows:

- (a) The Zoning By-law Map of By-law 2008-250, entitled the “City of Ottawa Zoning By-law” is amended by rezoning the lands shown on Attachment No. 1 to this by-law as follows:

- (a) Area A – rezoned from T1B to T1B [xxxx]

- (b) Section 240 – Rural Exceptions of By-law No. 2008-250 entitled “City of Ottawa Zoning By-law” is amended by adding rural exception [xxxx] as follows:

Applicable Zones	Additional Land Uses Permitted	Land Uses Prohibited	Provisions
T1B [xxxx]	– Cannabis Production Facility		

ATTACHMENT NO. 1

