

P H Robinson Consulting

Urban Planning, Consulting and Project Management

File No. D02-02-20-0035 and D07-12-20-0056

December 8, 2020

City of Ottawa

110 Laurier Avenue West, 4th Floor

Ottawa, ON

K2M 1N3

Attn: Ms. Seana Turkington, Planner

Development Review

Subject: Zoning By-law Amendment and Site Plan Control (Complex) Applications- 243 and 245 Hinchey Avenue

Further to our recent discussions and meetings, we have revised the plans and report and the following summarizes what has been modified/changed. Responses in red text.

1. Planning

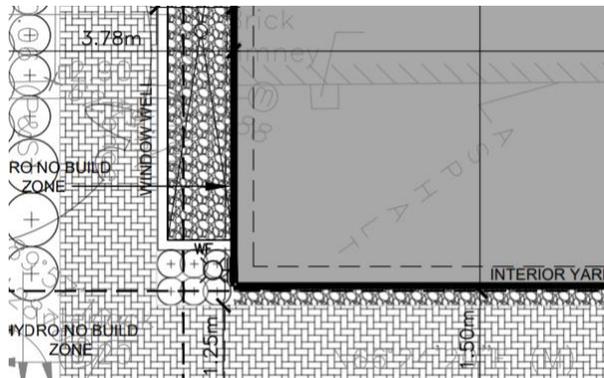
General

1. While it is understood that a sufficient level of detail is required for the site plan, please consider then providing a separate, smaller site plan using the required scale as per the Guide to Preparing Studies and Plans (1:200, 1:250, 1:300, 1:400, or 1:500). Please note that for future applications, the scale requirements from the Guide to Preparing Studies and Plans should be adhered to (even if it means providing two separate site plans, one with more detail and one with less).

Noted for future applications

Site Plan

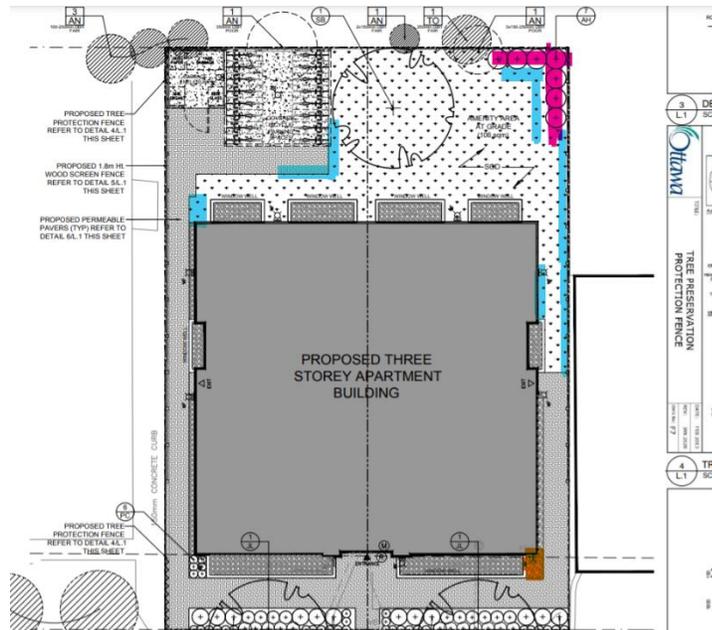
2. Please ensure that the Zoning Table shown on the Site Plan includes information on the accessory structures as the rear, as per Section 55 (i.e., setbacks, height, size in square metres, et cetera). **Provided**
3. The Site Plan shows landscaping in front of the right-hand corner of the building (beside the window well), yet the Landscape Plan does not (see part of comment 5). Please ensure the Site Plan and the corresponding Landscape Plan align. **Both drawings indicate that no landscaping is to be provided there as that is the location of a Siamese connection.**



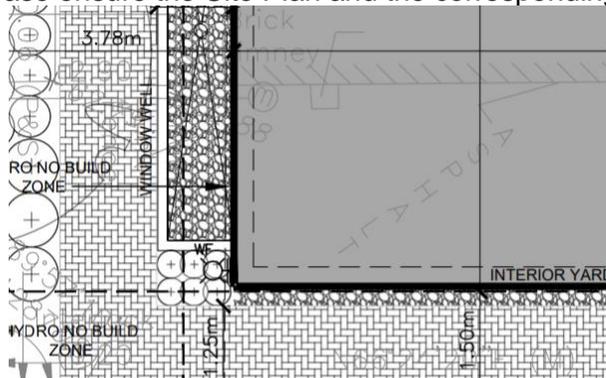
Landscape Plan

4. There are three hard paved paths proposed, one leading to the main entrance, one leading to the interior side yard and the rear, and the third leading to an entrance/exit on the other interior side yard (abutting 249 Hinchey). In order to comply with the new provisions for landscaping under Infill and the R4, both adopted at the Council meeting of October 14th, 2020, it is recommended that this third pathway be replaced with mulch and patio stones (thus still functioning as a walkway, but also increasing the total landscaped percentage). **The third path has been re-instated. We have removed the hard paved path that runs parallel to the front lot line and the front wall of the building between the three paths that connect to the sidewalk and this has increased the soft landscaping % as a result to ensure zoning conformity.**
5. It is strongly recommended that more trees and/or perennials be added to the site, to ensure that the proposal complies with the new landscape minimum percentages. The more landscaping on site, the better. Areas where more landscaping could be included are shown in the image below for further consideration (magenta—consider adding an additional small tree, to increase canopy in the rear right-hand corner, and move the hostas further up towards the ISY; blue—areas where additional landscaping in the form of perennials would be highly beneficial; orange, in FY—consider adding landscaping here, to mirror the condition on the other side, which has landscaping (and helps visually soften the front). Any further additional landscaping in the FY would also be beneficial.

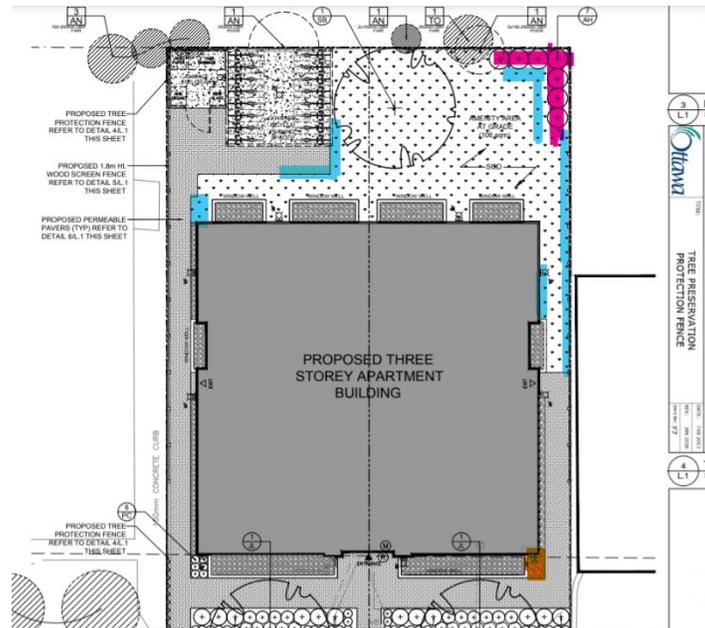
We have added soft landscaping in the front yard as per the comment above and we have also added a tree in the rear yard close the rear property line near the SE corner of the site.



Please ensure the Site Plan and the corresponding Landscape Plan align.



Done



Done. Additional landscaping at the front and rear of the site.

6. Please denote how wide the bike path inside the outdoor bike parking structure is.
Indicated as 1.5 m wide as per zoning by-law and it was previously shown.

Floor Plans

7. Please illustrate how the bike parking inside (basement level) will be secure, as required.
Indicated.

Elevations

8. Please consider utilizing masonry as opposed to sheet metal for the sides of the building, especially given the viewpoint from Scott Street. **Modified**
9. Please include a roof for the garbage storage area, to prevent rodents from entering the area, and to ensure that snow does not collect and prevent garbage collection from occurring. Please ensure the details of the structure is updated. **Roof added and rodent deterrents in terms of mesh on the structure.**
10. Please provide details of the bicycle racks on the plan. **Standard detail shown**
11. Please note that generally waste and bicycle storage details are required on the Site Plan. For the purposes of this application, staff are fine with them appearing on the Elevations Plan but wanted to note this for future. **Noted**
12. The Rear elevation still shows Juliet balconies on all three levels, yet these are not shown on the Site Plan. Please ensure the Elevations and Site Plans align. **Juliet balconies removed from all plans.**

2. Urban Design

1. Staff continue to recommend that masonry be reconsidered around the main public entrance and that the choice of a metal surround for the entrance is a detriment to the street facing façade; **Noted.**
2. It is still recommended that the north façade visible from Scott Street be considered for an improved façade treatment as this view is highly visible from Scott Street and will likely be protected for a significant period of time due to the ownership of land to the north; **Modified**
3. We believe that the south path, leading to/from a secondary entrance must lead to the public right of way by code, please check that, and the portion of interlock leading to the front entrance which duplicates the sidewalk is unnecessary as identified in the last review 09/22/2020 (see 243-245 Hinchey Ave_SK-1); **South path now connects to the sidewalk**
4. We continue to recommend that an awning or alternate architectural feature be provided to indicate the alternate (side) entrances above and beyond adequate lighting. **Awning added**

3. Policy

1. The new Infill Regulations (By-law 2020-289) set out a minimum requirement for 40% of the front yard to be aggregated into a softly landscaped area. While a walkway may pass through the softly landscaped area, it appears that the number of walkways used in the front yard is unnecessary for the site. Reducing or removing one the connecting portions between the two walkways to each side of the building would increase the amount of soft landscaping and ensure further relief under the new Infill provisions is not required. **Paths at the front of the site have been modified at the front of the site to make it zoning compliant**
2. Section 161(13)(d) of the new R4 provisions specifies a minimum area of soft landscaping in the front yard, which in this case (front yard more than 3m and lot more than 12m wide) is 40%. Please denote on the Site Plan whether the proposal meets this threshold. It is unclear what the functional need of having a 2-metre(?) wide pathway at the front is needed for. If possible, to reduce (while maintaining accessibility requirements) and slightly increase the ability to soft landscape more of the front yard, please do so. **Plans modified to meet zoning requirements**
3. Under the new R4 provisions, landscaping is key, which includes the provision of trees. Please consider adding an additional tree at the rear (consider moving the proposed tree at the rear slightly closer to the bike parking and accommodate additional landscaping in that area, if possible) **Additional tree provided in the rear yard.**
4. Please denote how wide the bike path inside the outdoor bike parking structure is. **Shown as 1.5 m wide**
5. The front façade does not appear to meet the requirement of 161(13)(h) concerning additional step-backs. Relief for this will be required and will need to be captured in the staff report to Planning Committee. **Relief required and noted and to be part of the requested modifications to the Zoning in the Minor Rezoning application.**

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4. Waste Collection Services

1. No further comments at this time.

5. Forestry

1. No further comments at this time.

6. Transportation

1. No further comments at this time.

7. Engineering

1. No further comments at this time. Revised plans to reflect changes to site plan (primarily in the front yard) being provided with this re-submission.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 599 9216 or via email at probinson@probinsonconsulting.com

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