

**SITE DATA**

**SITE STATISTICS (NUMBER OF UNITS & GROSS BUILDING AREA)**

BLOCK 1	4 UNITS	6,240 SQ.FT. (580m <sup>2</sup> )
BLOCK 2	6 UNITS	9,360 SQ.FT. (870m <sup>2</sup> )
BLOCK 3	4 UNITS	5,940 SQ.FT. (552m <sup>2</sup> )
BLOCK 4	4 UNITS	5,940 SQ.FT. (552m <sup>2</sup> )
BLOCK 5	4 UNITS	5,940 SQ.FT. (552m <sup>2</sup> )
BLOCK 6	7 UNITS	10,920 SQ.FT. (1,014m <sup>2</sup> )
<b>TOTAL</b>	<b>29 UNITS</b>	<b>44,340 SQ.FT. (4,119m<sup>2</sup>)</b>

**LOT COVERAGE**

TOTAL LOT AREA:	2,949m <sup>2</sup>
TOTAL GROSS BUILDING AREA:	1,444m <sup>2</sup>
TOTAL LOT COVERAGE:	49%
TOTAL HARD SURFACE AREA:	1,038m <sup>2</sup>
TOTAL LOT COVERAGE:	35%
TOTAL LANDSCAPE AREA:	467m <sup>2</sup>
TOTAL LOT COVERAGE:	16%

**SURVEY INFORMATION**

ANNIS O'SULLIVAN, VOLLEBEKK LTD.  
14 CONCOURSE GATE, SUITE 500  
OTTAWA, ON  
K2E 7S6

SURVEYOR'S REAL PROPERTY REPORT  
PART 1 PLAN OF  
LOTS 18,19, 20, 21, 22 & 23  
REGISTERED PLAN 369  
CITY OF OTTAWA

**SITE STATISTICS**

PLANNED UNIT DEVELOPMENT ZONING MECHANISM  
ZONING : R3R[XXXX]

DWELLING TYPE: PUD - 29 UNITS	REQUIRED	PROPOSED
MIN. WIDTH OF PRIVATE DRIVEWAY	6.0m	4.5m
MIN. SEPARATION AREA BETWEEN BUILDINGS	1.2m MIN.	2.4m MIN.
SETBACKS		
FRONT YARD	N/A	3m
CORNER SIDE YARD	N/A	3m
REAR YARD	N/A	3m
INTERIOR SIDE YARD	N/A	3m
MIN. LOT WIDTH		
MIN. LOT AREA	12m MAX.	12m
MAX. BUILDING HEIGHT		

**PARKING REQUIREMENTS - RESIDENTS**  
(PARKING PROVISIONS 2008-250 SECTION 106)

RESIDENTS REQUIRE	PROVIDED
19 TOWNHOUSE DWELLING: 0.75 / DU(17) = 12.75	22 RESIDENT SPACES
STACKED DWELLING: 0.5 / DU(12) = 6	
0 VISITORS	0 VISITORS
19 SPACES	29 TOTAL

**CONSULTANTS**

**ARCHITECT**  
HOBIN ARCHITECTURE INC.  
63 PAMILIA STREET,  
OTTAWA, ON K1S 3K7

**PLANNER**  
STANTEC  
400 - 1331 CLYDE AVENUE  
OTTAWA, ON K2C 3G4

**CONTACT:**  
HUGO LATRELLE  
TEL: 613-236-7200 ext.133

**CONTACT:**  
BARRETT L. WAGAR  
TEL: 613-722-4420

**CIVIL/LANDSCAPE**  
CIMA+  
110-240 CATHERINE STREET  
OTTAWA, ON K2P 2G8

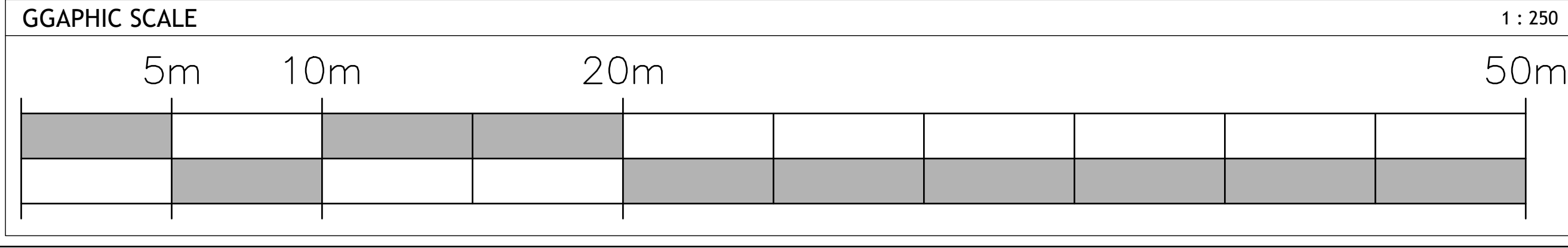
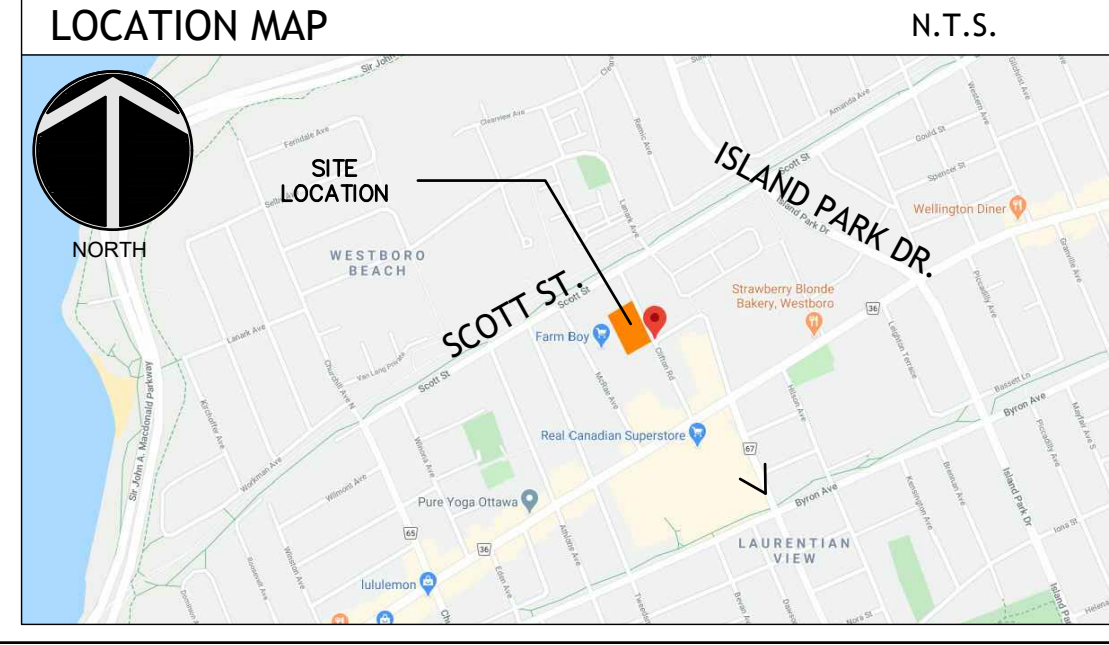
**CONTACT:**  
CHRISTIAN LAVOIE-LEBEL  
TEL: 613-860-2462 EXT. 6621

**APPROVAL SIGNATURE**

APPROVED  REFUSED

DATE \_\_\_\_\_

DERRICK MOODIE, ACTING MANAGER, DEVELOPMENT  
REVIEW, SUBURBAN SERVICES



no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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**HOBIN ARCHITECTURE**

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project title  
CLIFTON TOWNS

drawing title  
SITE PLAN

drawn HL	date SEP/20	scale 1:150
project 2030	drawing no. SP-1	revision no.