

PROJECT SITE

<u>3 LOCATION PLAN</u> SP-01 SCALE: N.T.S.

SITE & PROJECT STATISTICS GENERAL INFORMATION Mature Neighbourhood 360 m² Max. Building Height: 11 m 4.512 m 28% lot depth and 25% lot area Min. Int. Side Yard: 1.5 m with a building wall equal or less than 11 m Max. Permitted Units: PROJECT STATISTICS Apartment Dwelling, Low-rise Combined Lot Width: 20.139 m Combined Lot Area: 614.2 m² 10.9 m 4.512 m 8.54 m 1.5 m Number of Proposed Units: 16 units PARKING CALCULATION Parking Space Rate Area: Area X As per Section 101 Required Parking: 0 spaces for first 12 units - Section 101(3) 0.5 spaces/ unit for 16 units - Table 101 Resident Parking Provided: 0 spaces VISITOR PARKING CALCULATION As per Section 102 Required Visitor Parking: 0 spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces/unit for 4 units - Table 102 Visitor Parking Provided: 0 spaces Total Parking Provided: 0 spaces BICYCLE PARKING CALCULATION Required Parking: 8 spaces 0.5sp/unit for 16 units[111A(b)(i)] Total Resident Parking: 8 spaces 0 spaces Total Parking Provided: 16 spaces AMENITY AREA CALCULATION
As per Table 137 Total Amenity Area Req'd: 15 m²/unit for first 8 units 168 m² plus 6 m²/unit for remaining 8 units Communal Amenity Req'd: 120 m² 100% of the amenity area for the first 8 units (7) OVERHEAD WIRE Communal Amenity Provided: 138.0 m² At Grade Rear Yard: 58.13 m² Private Amenity Area Provided: 7.74 m² 13.64 m² 18.60 m² 18.15 m²

PLAN OF LOTS 152 AND 153 REGISTERED PLAN 88291 CITY OF OTTAWA ANNIS, O'SULLIVAN, VOLLEBEKK LTD. 2019 NERAL ARCHITECTURAL NOTES:

out the expressed consent of the Architect.

ain clarification prior to commencing work.

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Positions of exposed or finished Mechanical or Electrical devices, fittings and

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SURVEY INFO SCALE: NTS

SITE PLAN SYMBOLS LEGEND

BUILDING ENTRANCE BUILDING EXIT

EXISTING ELEVATION

Total Amenity Area Provided:

—□—□— BOARD FENCE

196.13 m²

SYMBOLS LEGEND SCALE: N.T.S. 1) EXISTING BUILDING TO BE DEMOLISHED

(2) EXISTING TREE TO BE REMOVED (3) EXISTING TREE TO BE RETAINED

(4) INTERLOCKING CONCRETE PAVERS (5) WINDOW WELL (6) SOFT LANDSCAPING

(8) EXISTING FENCE TO BE REMOVED 9 STEEL AND CLEAR GLASS GUARD EXISTING ASPHALT DRIVEWAY TO BE DEMOLISHED

(11) EXISTING DEPRESSED CURB (12) EXISTING DEPRESSED CURB TO BE REMOVED (13) EXISTING RETAINING WALL TO BE REMOVED

(14) SUNKEN TERRACE (15) ARCHITECTURAL RETAINING WALL (16) BICYCLE WHEELING RAMP

(17) TOE WALL (18) PROPOSED GAS BLOW-OFF STATION

KEYNOTE LEGEND

250 - 252 HINCHEY AVE

RE-ISSUED FOR SITE PLAN CONTROL

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RYAN M. KOOLWINE

LICENCE

7370

ISSUE RECORD

ISSUED FOR SITE PLAN CONTROL

2020-09-04

2020-08-19

2020-03-04

2020-03-02

2020-02-19

2020-01-31

250 - 252 Hinchey Avenue Ottawa, ON

1922 NOTED AP

SITE PLAN

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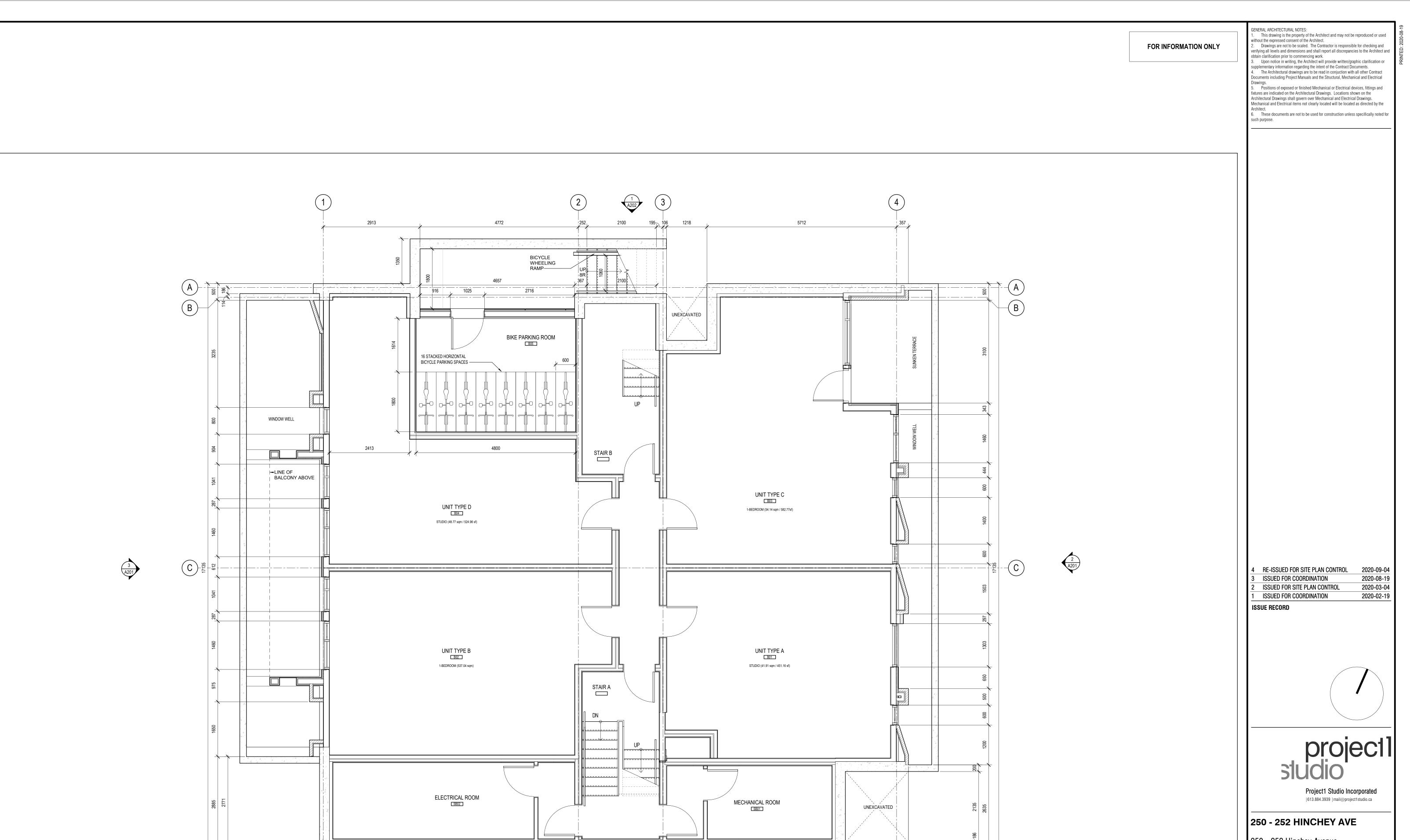
DRAWN

REVIEWED

RMK

² ZONING SP-01 SCALE: N.T.S.

SCALE: N.T.S.



17738

1 LEVEL P1 - FLOOR PLAN A100 SCALE: 1:50 250 - 252 Hinchey Avenue Ottawa, ON

1922 1:50

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I EVEL - ELOC

BASEMENT LEVEL - FLOOR PLAN

A100



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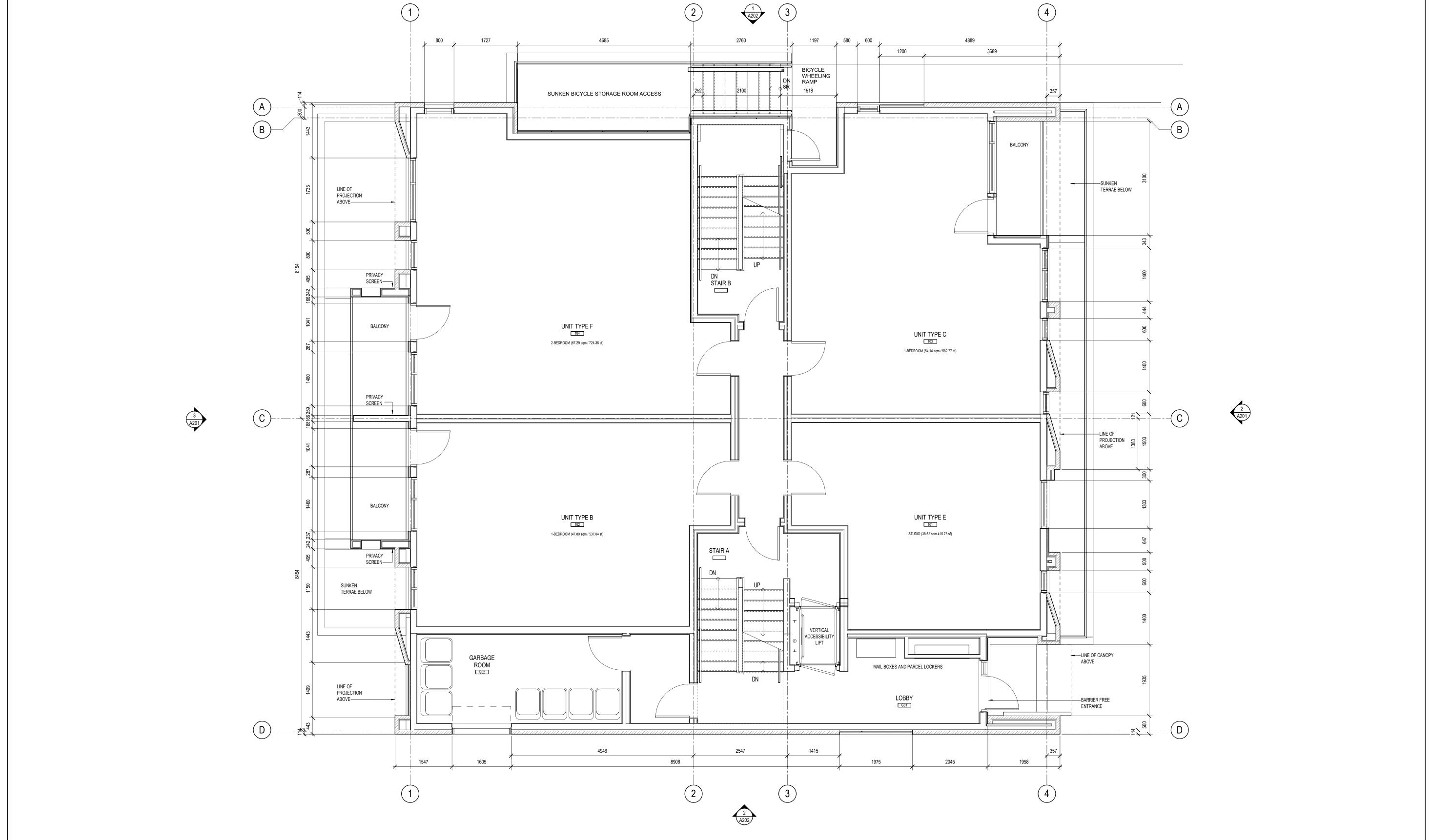
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1 LEVEL 01 - FLOOR PLAN
A101 SCALE: 1:50

ISSUE RECORD

2020-09-04 2020-08-19

2020-03-04

2020-02-19

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LEVEL 01 - FLOOR PLAN

A10⁻

FOR INFORMATION ONLY

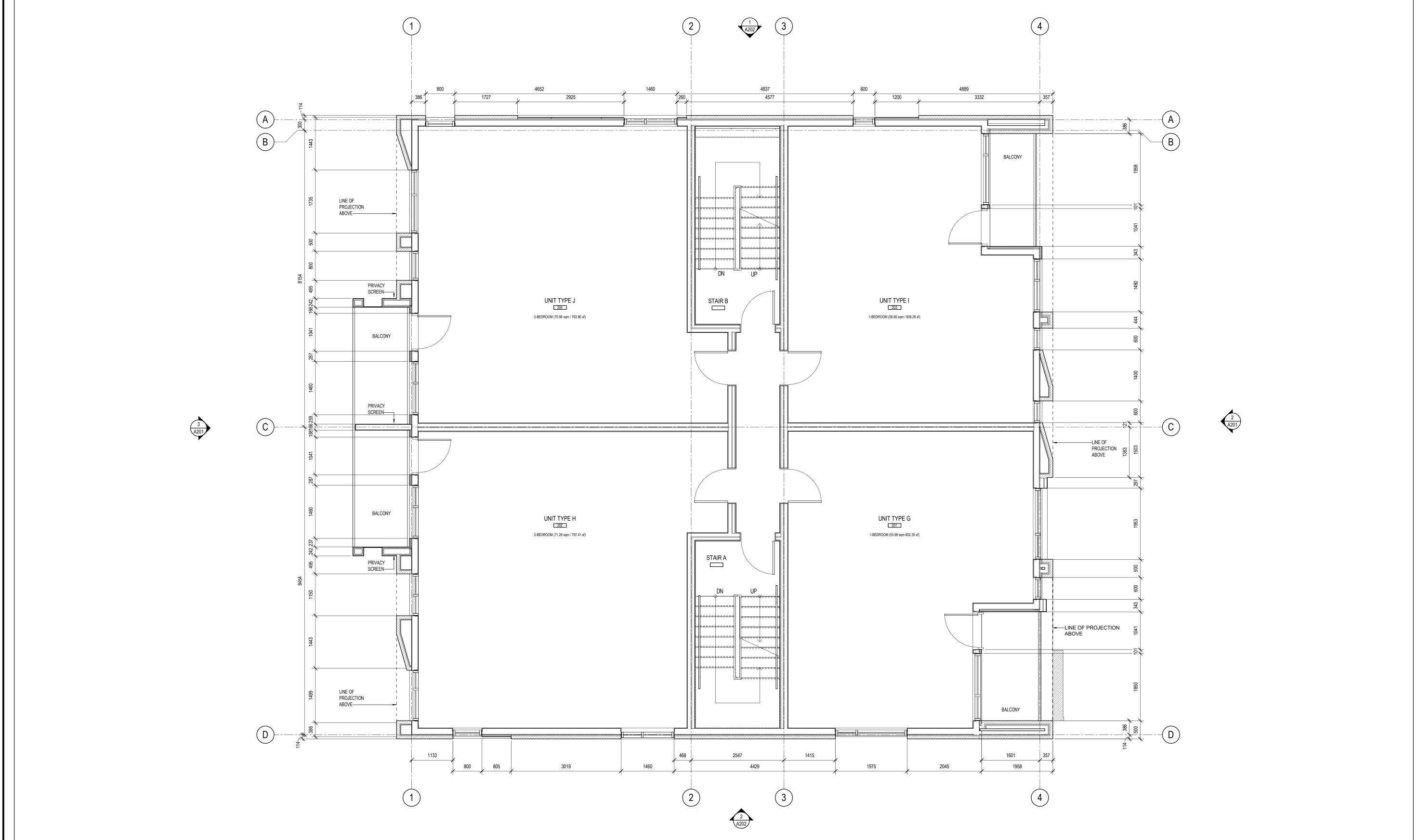
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1 LEVEL 02 - FLOOR PLAN
A102 SCALE: 1:50

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PROJ SCALE 1922 1:50

AP RMK

LEVEL 02 - FLOOR PLAN



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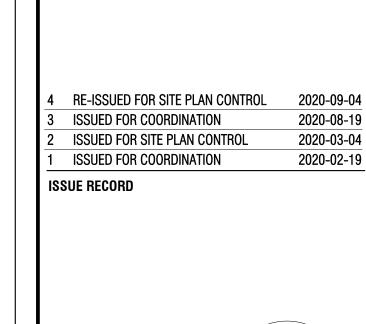
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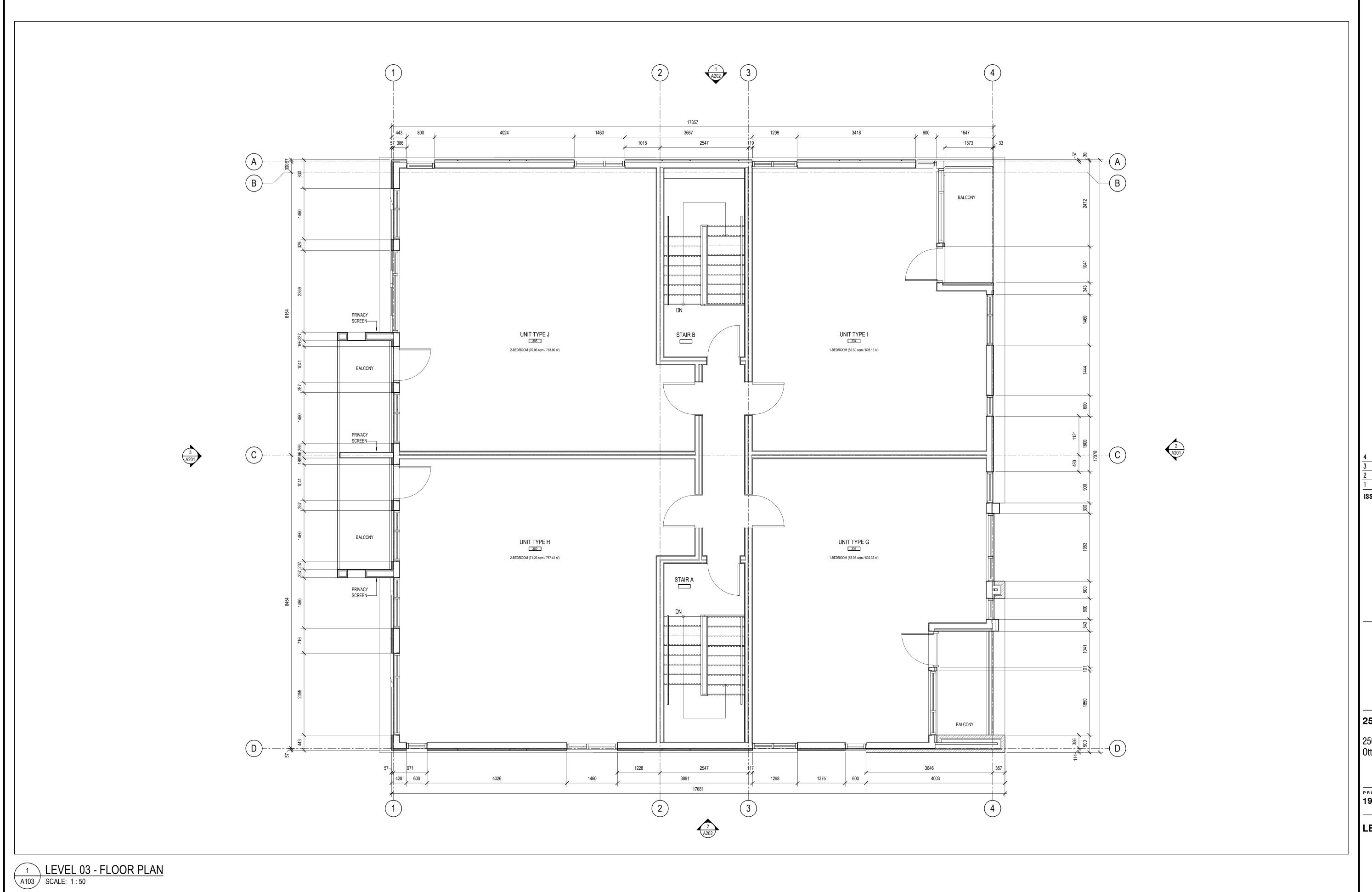
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LEVEL 03 - FLOOR PLAN

A103



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ROOF PLAN

