



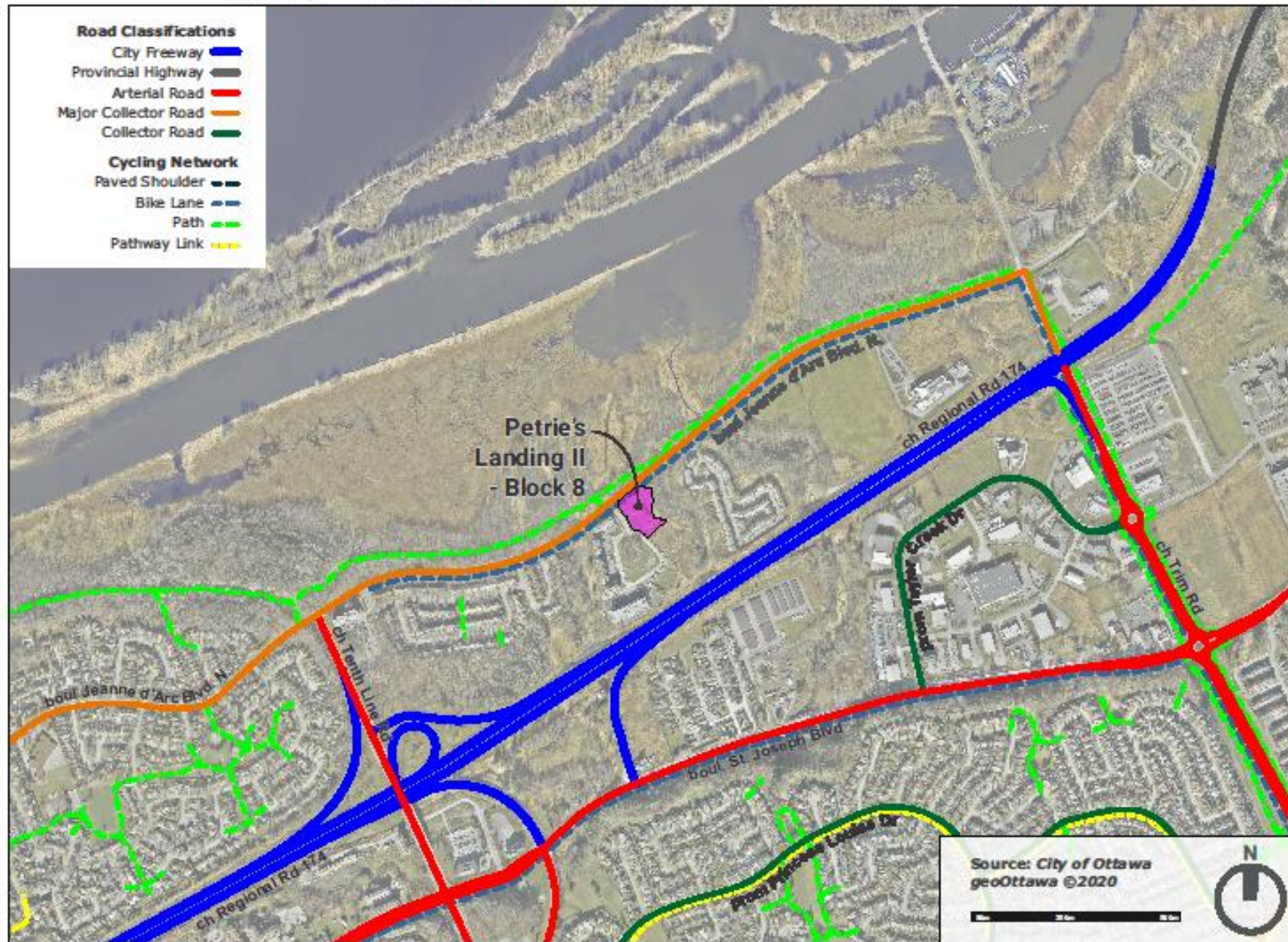
PETRIE'S LANDING

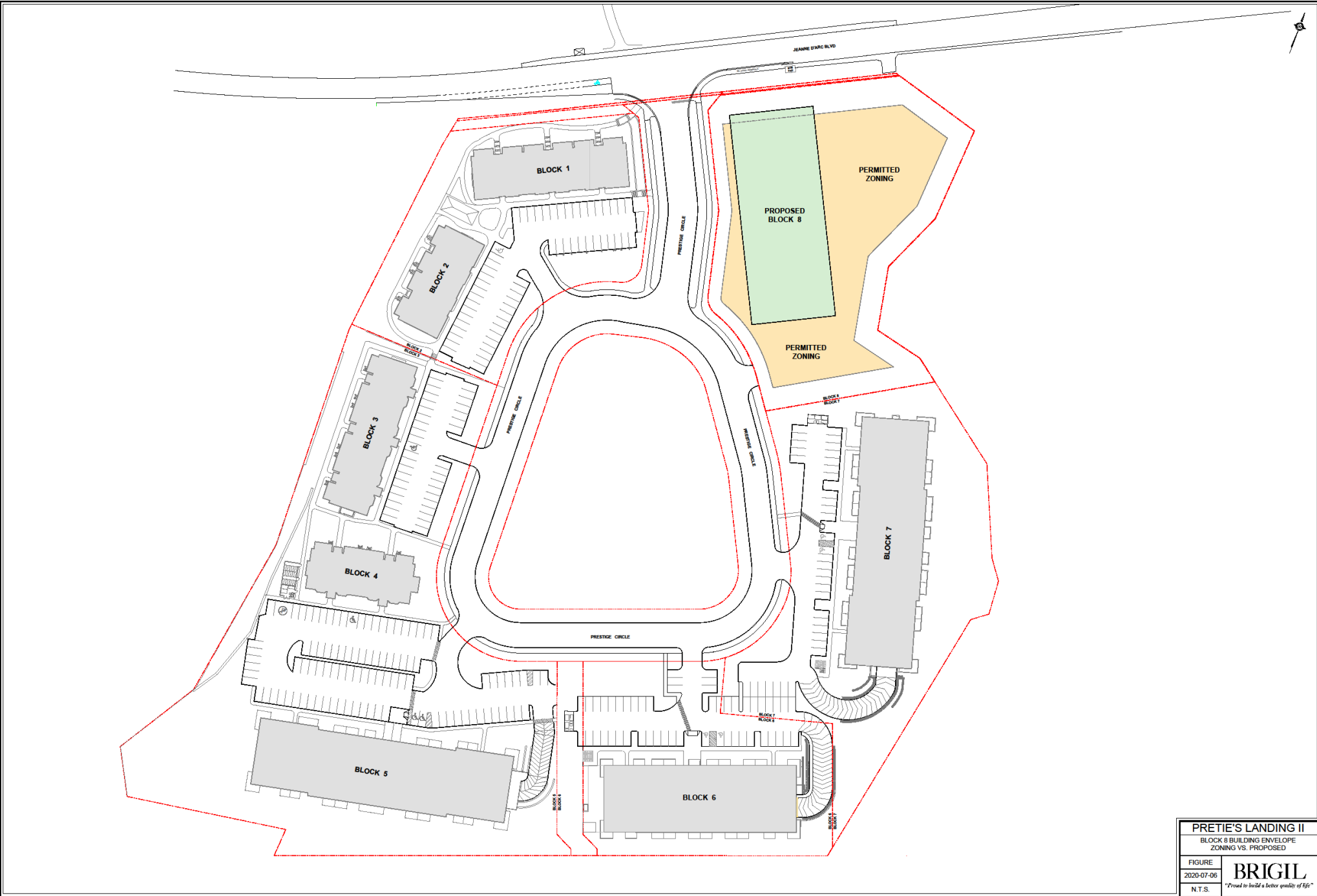


PERSPECTIVES PETRIES 1, 2 & 3

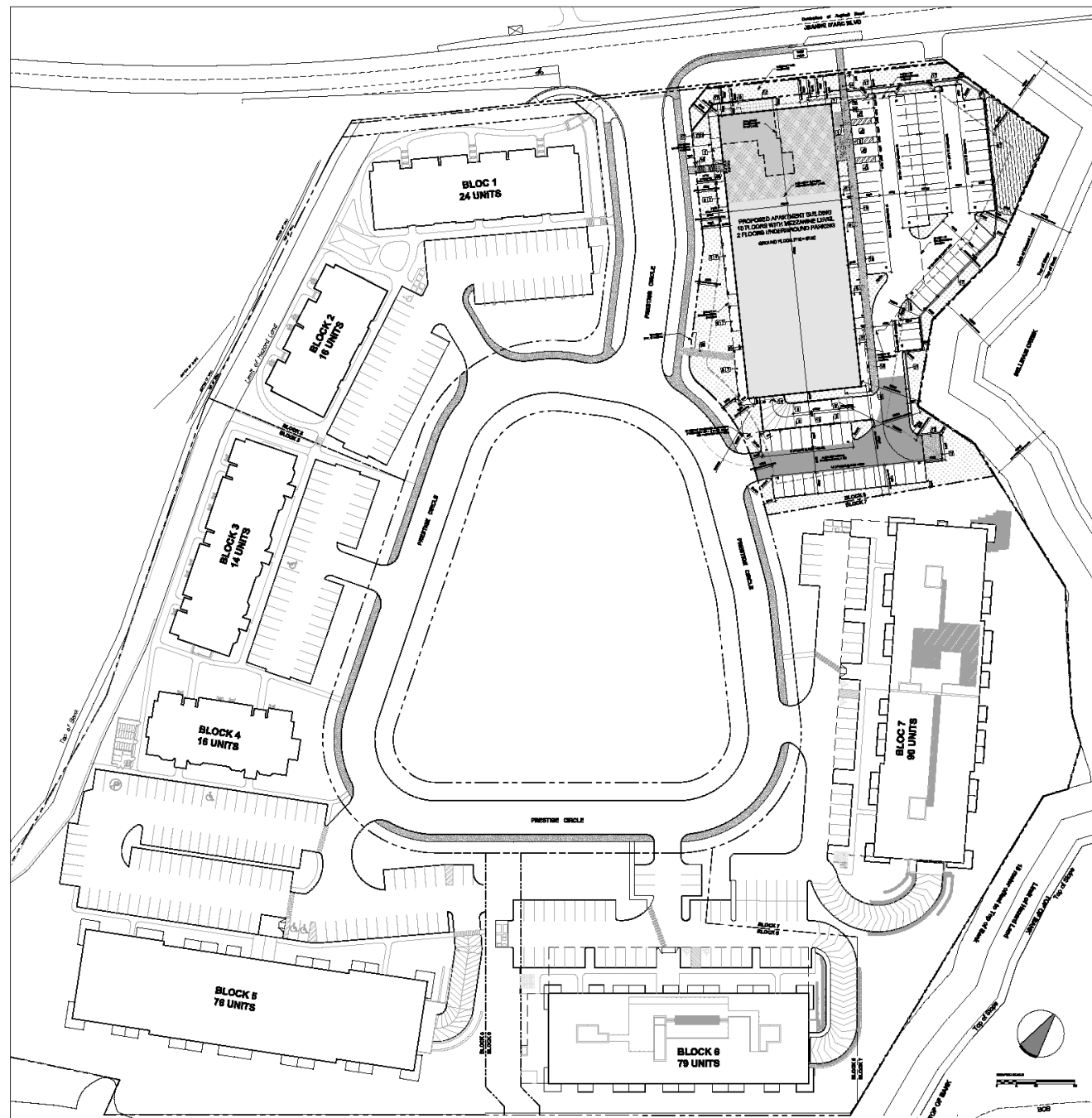


Existing Road and Cycling Network

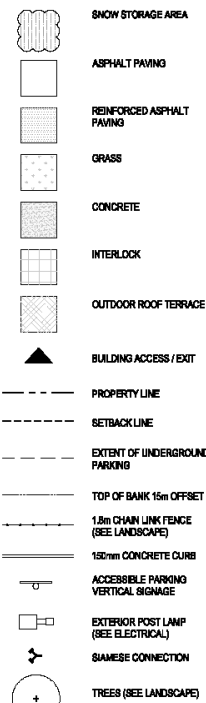




PRETIE'S LANDING II	
BLOCK 8 BUILDING ENVELOPE ZONING VS. PROPOSED	
FIGURE	
2020-07-06	
N.T.S.	



SITE PLAN LEGEND



DRAWING NOTES

- BICYCLE RACK ON PAD (8 SPACES)
- CURB RAMP
- DEPRESSED CURB
- NEW 1800mm INTERLOCK WALKWAY
- 1070mm GUARD RAIL
- TERRACE AT GROUND LEVEL
- UNIT BALCONY ABOVE
- NOT USED
- CONCRETE RETAINING WALL
- SIAMERSE CONNECTION
- CANOPY ABOVE GROUND FLOOR
- GARAGE CONCRETE PAD FOR TEMPORARY CONTAINER LOADING AREA
- NOT USED
- NEW CONCRETE STAIRS LEADING TO EXISTING SIDEWALK WITH 900mm HANDRAIL EXTENDING 300mm AT TOP AND BOTTOM
- EXTERIOR 24m RAMP SLOPED DOWN 15% WITH 9% AND 12% TRANSITION @ TOP AND 12% AND 8% TRANSITION @ BOTTOM
- PROPOSED ACCESS TO BELOW GRADE PARKING GARAGE
- NEW RETAINING WALL (SEE CIVIL)
- NEW 1800mm CONCRETE WALKWAY

PROJECT INFORMATION

SITE SUMMARY

ADDRESS : 8485 JEANNE D'ARC BLVD N
 ZONING : R24
 SITE AREA : 7481.46 m²
 PROPOSED USE : RESIDENTIAL APARTMENTS (214 UNITS)
 BUILDING AREA : 2100 m²

ZONING SUMMARY

	REQUIRED	PROPOSED
MIN LOT AREA :	1000 m ²	7472.96 m ²
MIN LOT WIDTH :	20 m	44.84 m
BUILDING HEIGHT :	10 storeys	10 storeys
MIN YARD SETBACKS :		
• FRONT YARD :	8.0 m	7.21 m
• CONVEYER BELT YARD :	4.5 m	4.77 m
• REAR YARD :	7.5 m	26.81 m
• INTERIOR SIDE YARD :	7.5 m	16.43 m
LANDSCAPE OPEN SPACE :	(30%)	(31.1%)
• SOFT LANDSCAPING :		2100.00 m ²
• HARD LANDSCAPING :		238.25 m ²
TOTAL :	2241.35 m ²	238.25 m ²

VEHICULAR PARKING

	REQUIRED	PROPOSED
RESIDENTIAL APARTMENTS (214 UNITS)		
APPROXIMATE NO. :		
• 1.2 SPACES PER DWELLING :	257	257
VISITOR PARKING (100 UNITS)		
APPROXIMATE NO. :	40	40
TOTAL VEHICULAR PARKING :	300	300
ACCESSIBLE PARKING :	8	8
(INCLUDED IN TOTAL PARKING COUNT)	4 TYPE A & 4 TYPE B	4 TYPE A & 4 TYPE B

BICYCLE PARKING

	REQUIRED	PROPOSED
RESIDENTIAL APARTMENTS (214 UNITS)		
APPROXIMATE NO. :		
• 0.5 SPACES PER DWELLING :	107	107

WASTE MANAGEMENT CONTAINERS

	SIZE	AMOUNT
GARAGE (214 x 0.11 x 0.25 m ³)	4 m ³	4
RECYCLING (214 x 0.09 x 0.19 m ³)	4 m ³	4
ORGANICS (214 x 0.40 x 0.20 m ³)	24 m ³	1

BUILDING SUMMARY

	FLOOR AREA	UNIT COUNT
GROUND FLOOR AREA	2100 m ² (Based on building footprint)	
LEVEL P2 PARKING :	0 m ²	0
LEVEL P1 PARKING :	0 m ²	0
GROUND FLOOR :	1,681.7 m ²	
LEVEL S4 :	1,871.3 m ² floor	25 floor
LEVEL 10 :	1,703.8 m ²	21
LEVEL 11 :	0 m ²	0
TOTAL :	3606.8 m ²	214

AMENITY SPACE

	AMOUNT
PRIVATE TERRACES / BALCONIES :	3000 m ²
• COMMUNAL ROOF TERRACE :	360 m ²
• COMMUNAL PARTY ROOM / BALCONY :	19.3 m ²
• COMMUNAL LOUNGE TERRACE :	60 m ²
• COMMUNAL OUTDOOR SEATING :	740 m ²

UNIT STATISTICS

1 BEDROOM :	1 (1%)
1 BEDROOM + DEN :	36 (26%)
1 BEDROOM INTERIOR :	120 (56%)
2 BEDROOMS :	37 (17%)

GENERAL NOTES

NOTE-A : ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B : ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEY.

NOTE-C : CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D : ALL CONTRACTORS MUST COMPLY WITH ALL CURRENT APPLICABLE CODES, REGULATIONS AND BY-LAWS.

NOTE-E : DO NOT SCALE DRAWINGS.

ORIGINAL NOTED / NOTED ORIGINAL :
 SEE SHEET A-002 / VOIR FEUILLE A-002



PROJECT TEAM / ÉQUIPE DU PROJET :

CLIENT
 BRIGIL
 85, rue de la Gare
 22, 8V 8V2
 P19-000-000

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 14 Deschamps Drive, Suite 202, Vaughan
 ON L4R 1B5
 P19-000-000

URBAN PLANNING / AMÉNAGEMENT URBAIN
PAQUETTE PLANNING Ltd.
 101 Redwood Avenue, Ottawa
 ON K1V 6A9
 P19-000-000

CIVIL ENG. / ING. CIVIL
STANTEC CONSULTING Ltd.
 1001 Orono Ave Suite 400, Ottawa
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STRUCTURAL ENG. / ING. STRUCTURE
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 P14-000-000

MECHANICAL / ELECTRICAL ENG. / ING. MÉC. / ÉLECTR.
LCA EXPERT CONSULTANTS
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 ON K1C 1K1
 P19-000-000

LANDSCAPE / PAYSAGISTE
LEVSTEK CONSULTANTS
 8871 Highway 7, Oakville
 ON L6H 6H8
 P19-000-000

01	ISSUED FOR BITE PLAN CONTROL	2019-10-10
04	ISSUED FOR CONSTRUCTION OBSERVATION	2019-10-10
05	ISSUED FOR REVISIONED LAYOUT	2019-10-10
02	ISSUED FOR REVISIONED LAYOUT	2019-08-10
01	ISSUED FOR CONSTRUCTION CONCEPT	2019-05-08
	No. DESCRIPTION	DATE

ARCHITECT / ARCHITECTE :

ROSSMANN
 ARCHITECTURE
 88 BOLDVARD SAINT-JOSEPH
 MONTREAL, QC
 TEL : 514-393-1000
 www.rossmann.ca

BRIGIL / NOTED :

BRIGIL / NOTED :

BRIGIL

PROJECT / PROJET :

BRIGIL
 PETRIE'S LANDING
 BLOCK 8

DRAWING / DESIGN :

PROPOSED
 SITE PLAN

SCALE / ÉCHELLE : 1:500

DRAWN BY / DÉSIGNÉ PAR :
 E.S.

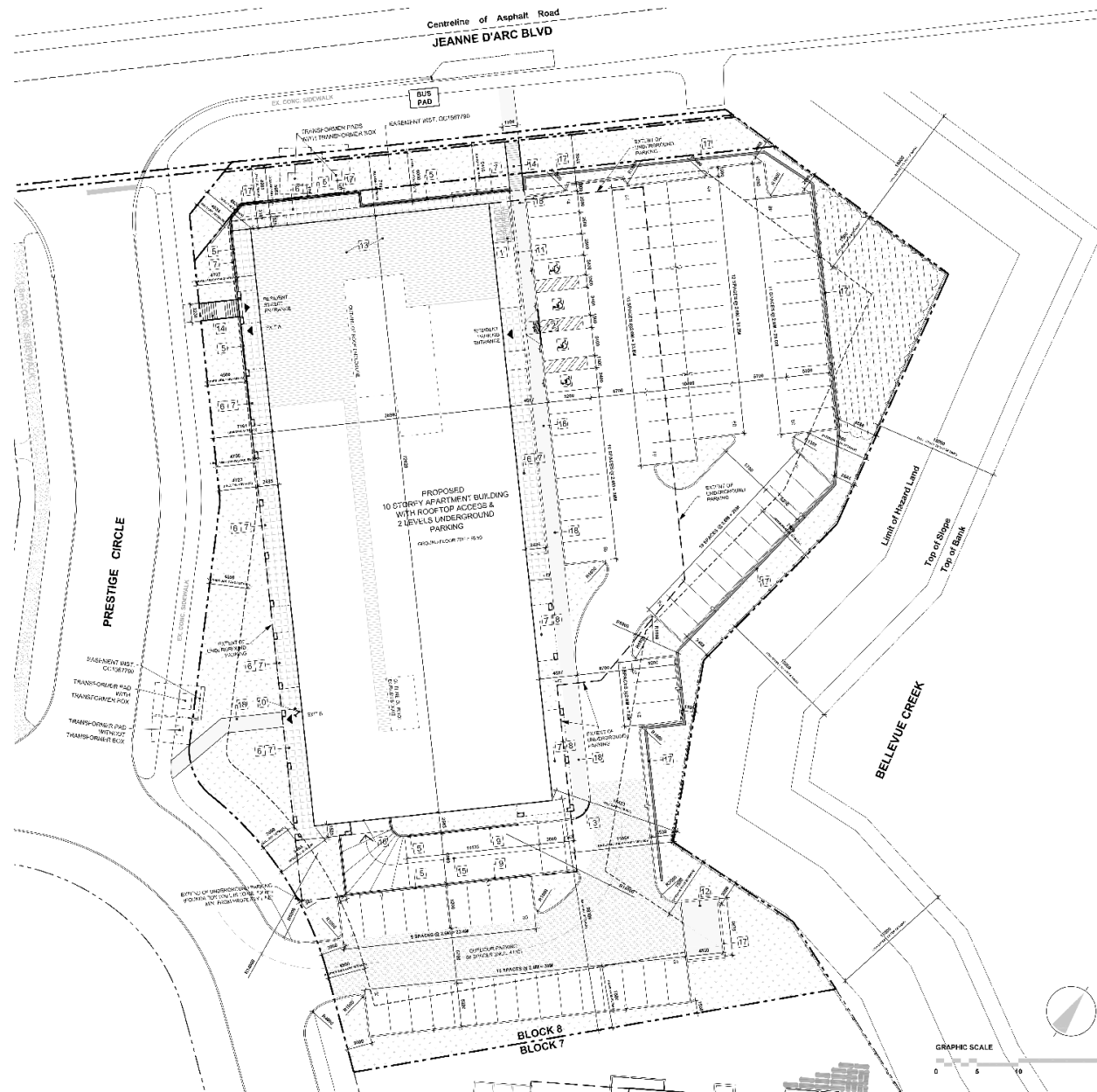
REVIEWED BY / VÉRIFIÉ PAR :
 E.R.

DATE :
 2019-08-09

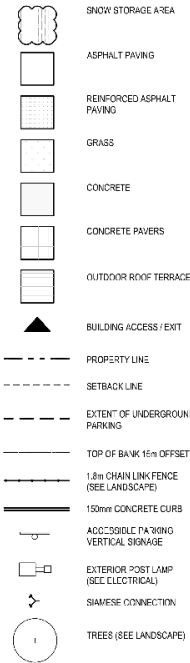
PROJECT NO. / NO. DE PROJET :
 19-001

PROJECT PHASE / PHASE DU PROJET :
 PRECONCEPTUAL

A-001.1



SITE PLAN LEGEND



DRAWING NOTES

- 1 BICYCLE RACK ON PAD (8 SPACES)
- 2 CURB RAMP
- 3 DEPRESSED CURB
- 4 NEW 1800mm INTERLOCK WALKWAY
- 5 1070mm GUARD RAIL
- 6 TERRACE AT GROUND LEVEL
- 7 OUTLINE OF UNIT RAI CONV ABOVE
- 8 BALCONY AT GROUND LEVEL
- 9 CONCRETE RETAINING WALL (SEE CIVIL)
- 10 SIAMSE CONNECTION (SEE MEC)
- 11 CANOPY ABOVE GROUND FLOOR
- 12 GARBAGE CONCRETE PAD FOR TEMPORARY CONTAINER LOADING AREA (SEE CIVIL)
- 13 EXTERIOR AMENITY AT ROOF LEVEL
- 14 NEW CONCRETE STAIRS LEADING TO EXISTING SIDEWALK WITH 900mm HANDRAIL EXTENDING 300mm AT TOP AND BOTTOM (SEE CIVIL)
- 15 EXTERIOR 24m RAMP 5% OFF SET DOWN 15% WITH 8% TRANSITION @ TOP AND 5% TRANSITION AT BOTTOM (SEE CIVIL)
- 16 PROPOSED ACCESS TO BELLY GRADE PARKING GARAGE
- 17 NEW RETAINING WALL (SEE CIVIL)
- 18 NEW 1800mm CONCRETE WALKWAY

PROJECT INFORMATION

SITE SUMMARY

ADDRESS: 8440 JEANNE D'ARC BLVD
 ZONING: M1A 1.1M
 SITE AREA: 7000 sq ft
 PROPOSED USE: RESIDENTIAL APARTMENTS (10 STORIES)
 BUILDING AREA: 2195 sq ft

ZONING SUMMARY

MIN LOT AREA:	1922 sq ft	1922 sq ft
MIN LOT WIDTH:	20 ft	44 ft
MIN YARD SETBACKS:		15 ft
• FRONT YARD:	6 ft	7 ft
• CORNER SETBACK:	4 ft	7 ft
• REAR YARD:	5 ft	20 ft
• INTERIOR YARD:	7 ft	14 ft
LANDSCAPE OPEN SPACE:	(20%)	(20%)
• LANDSCAPE:	180 sq ft	180 sq ft
• LANDSCAPE:	180 sq ft	180 sq ft
TOTAL:	2241 sq ft	2241 sq ft

VEHICULAR PARKING

REQUIRED	PROPOSED
RESIDENTIAL APARTMENTS (15 UNITS)	250
• 1.2 SPACES PER DWELLING	250
VISITOR PARKING (150 UNITS)	40
• 0.2 SPACES PER DWELLING	40
TOTAL VEHICULAR PARKING:	290
ACCESSIBLE PARKING:	5
REQUIRED: 2% (150 x 0.02) = 3	5
PROVIDED: 4	5

BICYCLE PARKING

REQUIRED	PROPOSED
RESIDENTIAL APARTMENTS (15 UNITS)	100
• 0.5 SPACES PER DWELLING	100

WASTE MANAGEMENT CONTAINERS

GARBAGE	RECYCLE	LANDSCAPE
2' x 4' x 6' (15 x 15 x 15)	4' x 4' x 4' (15 x 15 x 15)	4' x 4' x 4' (15 x 15 x 15)
240L	240L	240L

BUILDING SUMMARY

GROSS FLOOR AREA	UNIT COUNT
LEVEL 1: PARKING	0
LEVEL 2: PARKING	0
GROUND FLOOR	17
LEVEL 3: RO	22
LEVEL 4: RO	0
TOTAL:	290

AMENITY SPACE

PRIVATE TERRACES / BALCONIES:	220 sq ft
COMMON ROOF TERRACE:	200 sq ft
COMMON GYM LEVEL:	275 sq ft
COMMON LOUNGE AREA LEVEL:	180 sq ft
COMMON EXTERIOR AT GROUND:	125 sq ft
REQUIRED: 0.24% PER UNIT (290)	83 sq ft
REQUIRED: 0.24% PER UNIT (290)	83 sq ft

UNIT STATISTICS

1 BEDROOM:	28 (13.2%)
2 BEDROOMS:	78 (28.5%)
3 BEDROOMS:	122 (42.3%)
4 BEDROOMS:	22 (7.9%)

GENERAL NOTES

NOTE A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. INCLUDING OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEY.

NOTE C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

NOTE D: ALL CONTRACTORS MUST COMPLY WITH ALL CURRENT APPLICABLE CODES, REGULATIONS AND BY-LAWS.

NOTE E: DO NOT SCALE DRAWINGS.



ROSSMANN ARCHITECTURE

88 Saint-Jacques

Boulevard, Gatineau

QC J8Y 3W5

819 600 1555

Drawn by / Dessiné par

Author

Reviewed by / Revisé par

Designer

TEAM / EQUIPE

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T 813.722.7217

CIVIL

STANTEC CONSULTING LTD.

T 813.722.4420

STRUCTURAL ENG.

CPF GROUPE CONSEIL

T 813.607.5450

MECHANICAL/ELECTRICAL ENG.

LCA EXPERT CONSULTANTS

T 819.243.8383

LANDSCAPE

LEVISTEK CONSULTANTS

T 613.626.0519

SURVEYOR

ANNIS O'SULLIVAN VOLLEBEK LTD.

T 813.777.0850

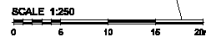
Revision	Date	Description
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BRIGIL

19-001
PETRIE'S LANDING BLOCK 8

SITE PLAN

A004



- NOT FOR CONSTRUCTION

Contractor shall check and verify all dimensions on site and report all errors and/or omissions to the Consultant.

Work to be done in accordance with all applicable codes and by-laws.

Do not make drawings

Consultant

LEVSTEK CONSULTANTS INC.
LANDSCAPE ARCHITECTS

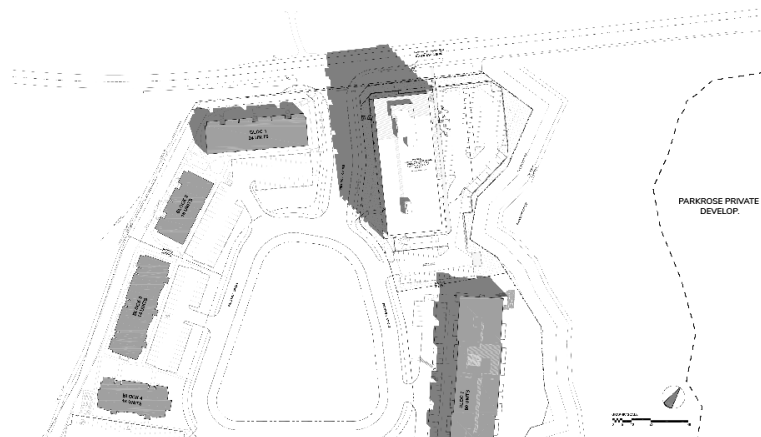
5871 Hugh Crookers • Ottawa • Ontario • K6A 2W6
513 • 826 • 0588

Client

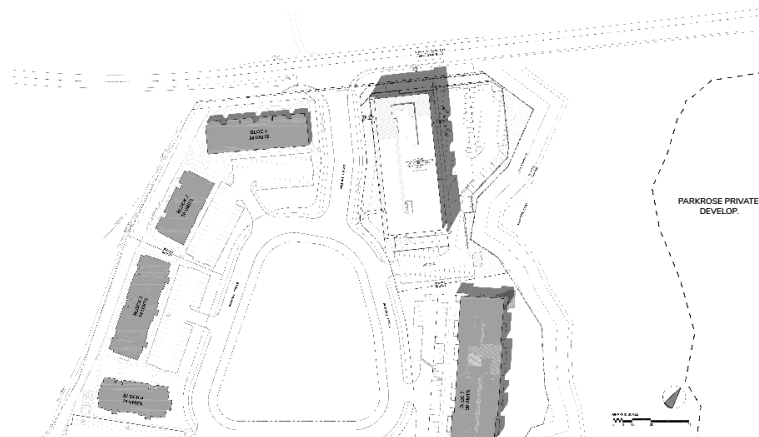
LE GROUPE
BRIGIL
CONSTRUCTION

Drawing Title
LANDSCAPE PLAN

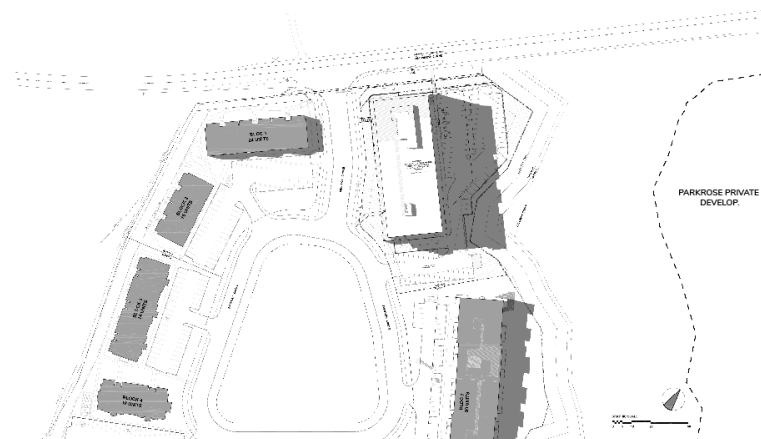
Drawn	Date JUNE 2019	Drawing No. L1.01
Scale 1:250	Project No. 828.04	



JUNE 21st - 9 AM



JUNE 21st - 12 PM



JUNE 21st - 3 PM



JUNE 21st - 6 PM



SUMMER SOLSTICE

1/50

NOT FOR / PAS POUR
CONSTRUCTIONROSSMANN
ARCHITECTURE88 Saint-Jacques
Boulevard, Gatineau,
QC J8Y 3W5
819 600 1555Drawn by / Dessiné par
Author
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3	20/05/05	ISSUED FOR 60% COORDINAT. ON
2	20/01/21	ISSUED FOR 93% COORDINAT. ON
1	18/12/06	ISSUED FOR SITE PLAN CONTROL
Revision	Date	Description

Revision	Date	Description
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BRIGIL

19-001

PETRIE'S LANDING BLOCK 8

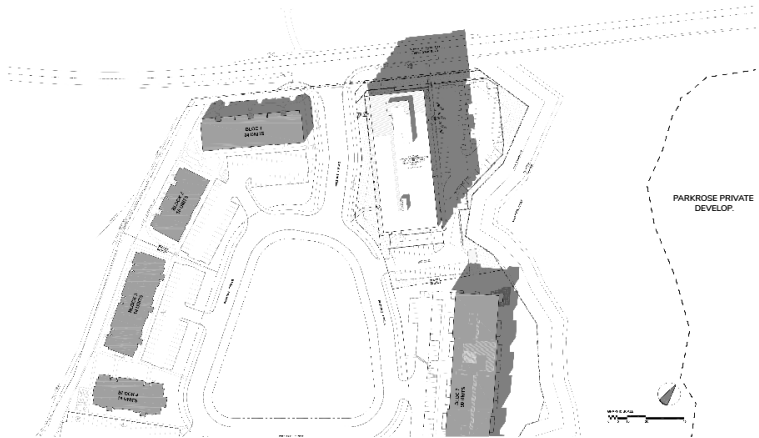
SHADOW ANALYSIS

1 : 50

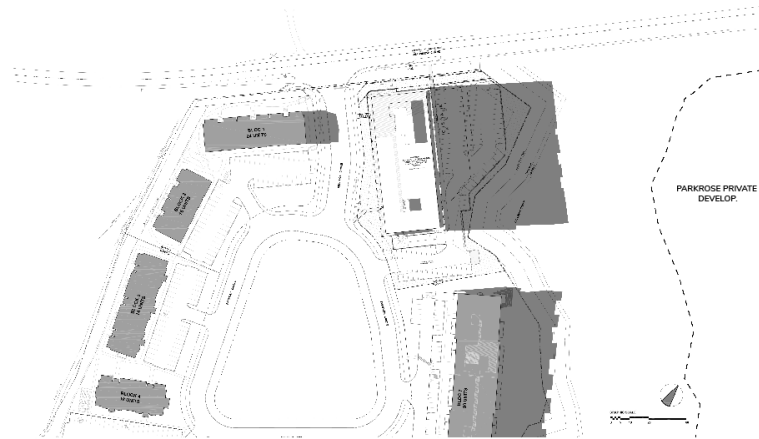
A005



MARCH / SEPTEMBER 21st - 9 AM



MARCH / SEPTEMBER 21st - 12 PM



MARCH / SEPTEMBER 21st - 3 PM



MARCH / SEPTEMBER 21st - 6 PM

○ SPRING / FALL EQUINOXE
1 : 50

NOT FOR / PAS POUR
CONSTRUCTION

ROSSMANN
ARCHITECTURE

88 Saint-Jacques
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Drawn by / Dessiné par
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Revision	Date	Description
3	20/05/05	ISSUED FOR 60% COORDINAT. ON
2	20/01/21	ISSUED FOR 25% COORDINAT. ON
1	18/12/06	ISSUED FOR SITE PLAN CONTROL

Revision	Date	Description
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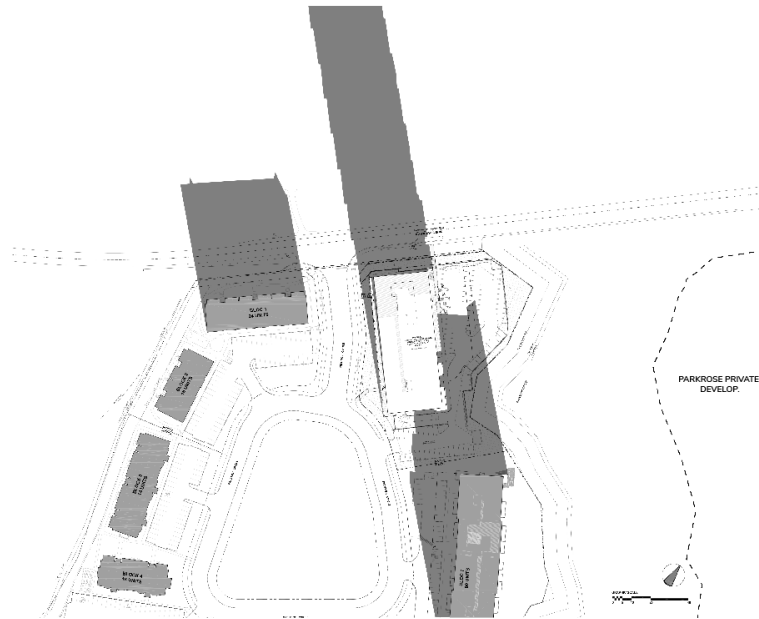
BRIGIL

19-001
PETRIE'S LANDING BLOCK 8

SHADOW ANALYSIS

1 : 50

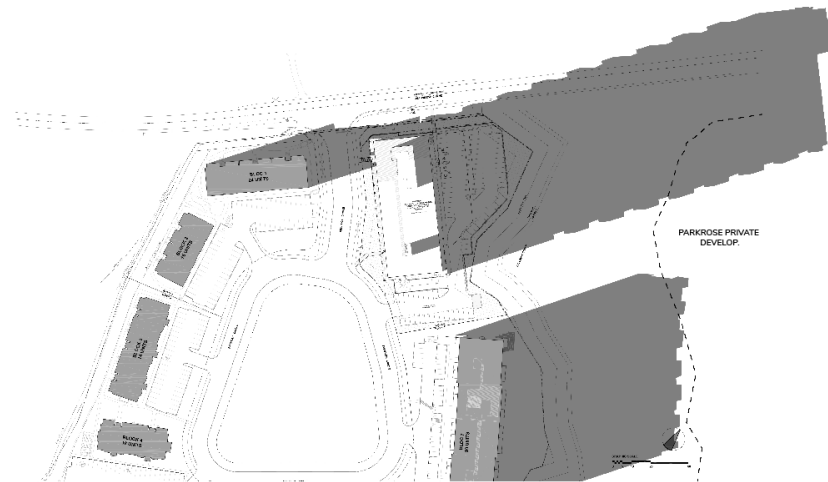
A005



DECEMBER 21st - 9 AM



DECEMBER 21st - 12 PM



DECEMBER 21st - 3 PM



DECEMBER 21st - 6 PM



NOT FOR / PAS POUR CONSTRUCTION



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Boulevard, Gatineau
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Revision	Date	Description
3	20/05/25	ISSUED FOR 60% COORDINAT. ON
2	20/01/21	ISSUED FOR 93% COORDINAT. ON
1	18/12/20	ISSUED FOR SITE PLAN CONTROL

Revision	Date	Description
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BRIGIL

19-001
PETRIE'S LANDING BLOCK 8

SHADOW ANALYSIS

1 : 50
A005

GENERAL NOTES

NOTE A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS SHALL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE B: ALL GENERAL INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM CNET TO PLANE AND PLANNING.

NOTE C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND DISCREPANCIES TO THE ARCHITECT.

NOTE D: REFER TO ANTISCURE PLAN FOR ALL EXTERIOR ANTISCURING.

NOTE E: USE 1/8" = 1' SCALE DRAWINGS.

NOTE F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

- DRAWING NOTES**
1. NEW CONCRETE STOPS LEADING TO EXISTING SIDEWALK.
 2. RETAINING WALL (SEE CIVIL).
 3. EXPOSED UNDEVELOPED PARKING STRUCTURE IS NOT TO BE CONSTRUCTED.
 4. BUILDING MAIN ENTRANCE.
 5. SECONDARY BUILDING ENTRANCE.
 6. HEATED EXTERIOR RAMP LEADING TO LEVEL 1 VEHICLE ENTRANCE.
 7. WALL MOUNTED LIGHT FIXTURE (SEE ELEC. PLAN).
 8. WALL MOUNTED GEODESIC CONNECTION (SEE MECHANICAL).
 9. BUILDING CLIMATE CONTROL SYSTEM.
 10. OUTDOOR COMMUNAL PATIO AT GROUND LEVEL.
 11. COMMUNITY ENTRANCE LOBBY.
 12. 10' HIGH STEEL GUARDRAIL.
 13. BUILDING ADDRESS.

MATERIAL LEGEND

BR-1 BRICK VENEER TYPE 1: MANUFACTURER TBD. COLOR: BRICK. SQ. FT.: 807 (SOUTH EAST); 490 (NORTH EAST).	AP-1 ALUMINUM PANEL WALL MANUFACTURER TBD. COLOR: WHITE. SQ. FT.: 3003 (SOUTH EAST); 490 (NORTH EAST).	AS-1 ALUMINUM SIDING WALL MANUFACTURER TBD. COLOR: WHITE. SQ. FT.: 490 (NORTH EAST).	HF-1 FINISHED METAL FLASHING COLOR: GR-1.
BR-2 BRICK VENEER TYPE 2: MANUFACTURER TBD. COLOR: BRICK. SQ. FT.: 807 (SOUTH EAST); 490 (NORTH EAST).	AP-2 ALUMINUM PANEL WALL MANUFACTURER TBD. COLOR: WHITE. SQ. FT.: 3003 (SOUTH EAST); 490 (NORTH EAST).	CW-1 GLASS CURTAIN WALL COLOR: CLEAR. SQ. FT.: 248 (NORTH EAST).	GR-1 (1) ASB RAILING TYPE 1 COLOR: GR-1.
			GR-2 GLASS RAILING TYPE 2 COLOR: GR-2.



1 NORTH-EAST ELEVATION
1 - 125

ROSSMANN
ARCHITECTS

88 Saint-Joseph
Boulevard, Gatineau
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Drawn by / Dessiné par
Reviewed by / Révisé par
Designer

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LANDSCAPE
LEVSTEN CONSULTANTS
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SURVEYOR
ANNIS O'SULLIVAN VOLLEBEK LTD.
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Revised	Date	Description
3	23/06/05	ISSUED FOR 68% COORDINATION
2	23/11/01	ISSUED FOR 23% COORDINATION
1	19/12/06	ISSUED FOR SITE PLAN CONTROL

Revised	Date	Description
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BRIGIL

19-001
PETRIE'S LANDING BLOCK 8

NORTH-EAST ELEVATION



GENERAL NOTES

NOTE A: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

NOTE B: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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- MATERIAL LEGEND**
- BR-1 BRICK VENEER TYPE 1, MANUFACTURER TBD, COLOR: BRICK, 31/2" NORTH-EAST, 31/2" NORTH-EAST.
 - ST-1 STONE VENEER TYPE 1, MANUFACTURER TBD, COLOR: STONE, 31/2" NORTH-EAST, 31/2" NORTH-EAST.
 - A-1 ALUMINUM PANEL WALL, MANUFACTURER TBD, COLOR: LIGHT BLUE METALIC, 31/2" NORTH-EAST, 31/2" NORTH-EAST.
 - A-2 ALUMINUM PANEL WALL, MANUFACTURER TBD, COLOR: WHITE, 31/2" NORTH-EAST, 31/2" NORTH-EAST.
 - A-3 ALUMINUM SIDING WALL, MANUFACTURER TBD, COLOR: WHITE, 31/2" NORTH-EAST, 31/2" NORTH-EAST.
 - C-1 GLASS CURTAIN WALL, COLOR: CLEAR, 31/2" NORTH-EAST, 31/2" NORTH-EAST.
 - M-1 INSULATED MASONRY BLOCK, COLOR: BRICK, 31/2" NORTH-EAST, 31/2" NORTH-EAST.
 - GR-1 GRANITE TILE TYPE 1, COLOR: BRICK, 31/2" NORTH-EAST, 31/2" NORTH-EAST.
 - GR-2 GRANITE TILE TYPE 2, COLOR: BRICK, 31/2" NORTH-EAST, 31/2" NORTH-EAST.

- DRAWING NOTES**
1. NEW CONCRETE STEPS LEADING TO EXISTING ENTRANCE.
 2. EXISTING WALL (SEE CIVIL).
 3. EXPOSED UNFINISHED BRICKWORK STRUCTURE (SEE CIVIL).
 4. EXISTING MAIN ENTRANCE.
 5. SECONDARY BUILDING ENTRANCE.
 6. EXISTING INTERIOR RAMP (SEE CIVIL).
 7. WALL MOUNTED LIGHT FIXTURE (SEE ELECTRICAL).
 8. WALL MOUNTED SPEAKER (SEE MECHANICAL).
 9. BUILDING MAIN ENTRANCE CANOPY.
 10. OUTDOOR COMBUSTION PATIO AT EXISTING PORCH.
 11. COMMUNITY ENTRANCE LOBBY.
 12. EXISTING HIGH STEEL GLAZED WALL.
 13. EXISTING STAIRS.

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Reviewed by / Revisé par
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Revision	Date	Description
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BRIGIL

19-001
PETRIE'S LANDING BLOCK B

NORTH-WEST ELEVATION



GENERAL NOTES

NOTE A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANT DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS ARE TO BE REPORTED TO THE PROJECT MANAGER (JPM) FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE B: ALL METAL, GUTTER INFORMATION AND CONDITIONS HAVE BEEN OBTAINED FROM THE MANUFACTURER'S DATA.

NOTE C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE MANAGER (JPM).

NOTE D: REFER TO LANSING PLAN FOR ALL EXTERIOR LANDSCAPING.

NOTE E: ALL DIMENSIONS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

- MATERIAL LEGEND**
- BR-1 BRICK VENEER TYPE 1, MANUFACTURED T&B, COLOR: BROWN, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).
 - BT-1 STONE VENEER TYPE 1, MANUFACTURED T&B, COLOR: WHITE, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).
 - A-1 ALUMINUM PANEL WALL, MANUFACTURED T&B, COLOR: LIGHT BLUE METAL, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).
 - A-2 ALUMINUM PANEL WALL, MANUFACTURED T&B, COLOR: WHITE, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).
 - AS-1 ALUMINUM SIDING WALL, MANUFACTURED T&B, COLOR: WHITE, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).
 - CR-1 GLASS CURTAIN WALL, COLOR: CLEAR, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).
 - M-1 INSULATED MASONRY BLOCK, COLOR: BROWN, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).
 - GR-1 GLASS RAILING TYPE 1, COLOR: BROWN, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).
 - CR-2 GLASS RAILING TYPE 2, COLOR: BROWN, 8" X 16" (NORTH EAST), 3" X 16" (NORTH EAST), 2" X 16" (NORTH EAST).

- DRAWING NOTES**
- NEW CONCRETE STEPS LEADING TO EXISTING ENTRANCE.
 - BLANKET WALL (SEE CIVIL).
 - EXPOSED UNCOLOURED PARKING STRUCTURE (SEE CIVIL).
 - SKILLING HARBOR RAMP.
 - SECONDARY BUILDING ENTRANCE.
 - SEATED INTERIOR RAMP FACILITY TO LEVEL P1 (SEE CIVIL).
 - WALL MOUNTED LIGHT FIXTURE (SEE ELECTRICAL).
 - WALL MOUNTED SPEAKER CONSTRUCTION (SEE MECHANICAL).
 - BUILDING MAIN ENTRANCE CANOPY.
 - OUTDOOR COMMUNAL PATIO AT GROUND FLOOR.
 - COMMUNITY ENTRANCE LOBBY.
 - 100mm HIGH STEEL GLAZED RAIL.
 - SKILLING HARBOR RAMP.

1. The drawings are for information only and are not to be used for construction without the approval of the project manager. The project manager is responsible for ensuring that the drawings are used in accordance with the project requirements. The project manager is also responsible for ensuring that the drawings are used in accordance with the project requirements.

2. The drawings are for information only and are not to be used for construction without the approval of the project manager. The project manager is responsible for ensuring that the drawings are used in accordance with the project requirements. The project manager is also responsible for ensuring that the drawings are used in accordance with the project requirements.

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Revision	Date	Description
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BRIGIL

19-001
PETRIE'S LANDING BLOCK 8

SOUTH-EAST ELEVATION

As indicated **A301**

1 SOUTH-EAST ELEVATION
14

GENERAL NOTES

NO. 1: ALL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE A: ALL GENERAL "GIFT" INFORMATION AND CONDITIONS MUST BE COMPLIED FROM EXISTING PLANS AND SURVEYS.

NOTE B: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND DISCREPANCIES TO THE ARCHITECT.

NOTE C: REFER TO LANDSCAPE PLANS FOR ALL EXTERIOR OR LANDSCAPE DIMENSIONS.

NOTE D: DO NOT SCALE DRAWINGS.

NOTE E: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

- DRAWING NOTES**
1. NEW CONCRETE STOPS LEADING TO EXISTING LEVELS.
 2. EXPOSED UNDEVELOPED FINISHING STRUCTURE CLAD WITH EXPOSED CONCRETE.
 3. ALL "NEW" MAIN ENTRANCES.
 4. EXISTING BUILDING MAIN ENTRANCE.
 5. HEATED EXTERIOR RAMP LEADING TO LEVEL 1 (V1) MAIN ENTRANCE.
 6. WALL MOUNTED 3 BASE CONNECTION (SEE ARCHITECTURAL).
 7. WALL MOUNTED 3 BASE CONNECTION (SEE ARCHITECTURAL).
 8. WALL MOUNTED 3 BASE CONNECTION (SEE ARCHITECTURAL).
 9. BUILDING MAIN ENTRANCE GANTRY.
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 13. BUILDING MAIN ENTRANCE GANTRY.
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MATERIAL LEGEND

BR-1 BRICK VENEER TYPE 1 (MANUFACTURED, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST)	AT-1 ALUMINUM PANEL WALL (MANUFACTURED, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST)	AS-1 ALUMINUM SCISSOR WALL (MANUFACTURED, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST)	MF-1 RESIN SHEET METAL FLASHING (COLOR)
AT-2 ALUMINUM VENEER TYPE 1 (MANUFACTURED, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST)	AP-2 ALUMINUM PANEL WALL (MANUFACTURED, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST)	GA-1 GLASS CURTAIN WALL (COLOR: CLEAR, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST, 180 SQ FT - SOUTH-EAST, 180 SQ FT - NORTH-EAST)	DN-1 CLASS WINDU 111112 (COLOR)



1 SOUTH-WEST ELEVATION
1-126

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Release	Date	Description
3	23/06/05	ISSUED FOR 68% COORDINATION
2	23/01/01	ISSUED FOR 33% COORDINATION
1	19/12/06	ISSUED FOR SITE PLAN CONTROL

Revision Date Description

BRIGIL

19-001
PETRIE'S LANDING BLOCK 8

SOUTH-WEST ELEVATION



PERSPECTIVES PETRIES 1, 2 & 3

BRIGIL

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ARCHITECTES