



Quadrangle Architects Limited
901 King Street West, Suite 701Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

2070 Scott Street

Ottawa, ON

for
Azure Urban Developments Inc.

Project No. 19023
Date 29 May 2020
Issued for Rezoning and Site Plan Approval Resubmission

ARCHITECTURAL DRAWINGS

- A000.S Cover Page
- A001.S Survey Plan
- A101.S Site Plan
- A102.S Below Grade Floor Plans
- A201.S Ground Floor Plan
- A202.S Floor Plans
- A203.S Floor Plans
- A401.S Building Elevations
- A402.S Building Elevations
- A450.S East-West Building Section

PLANNER

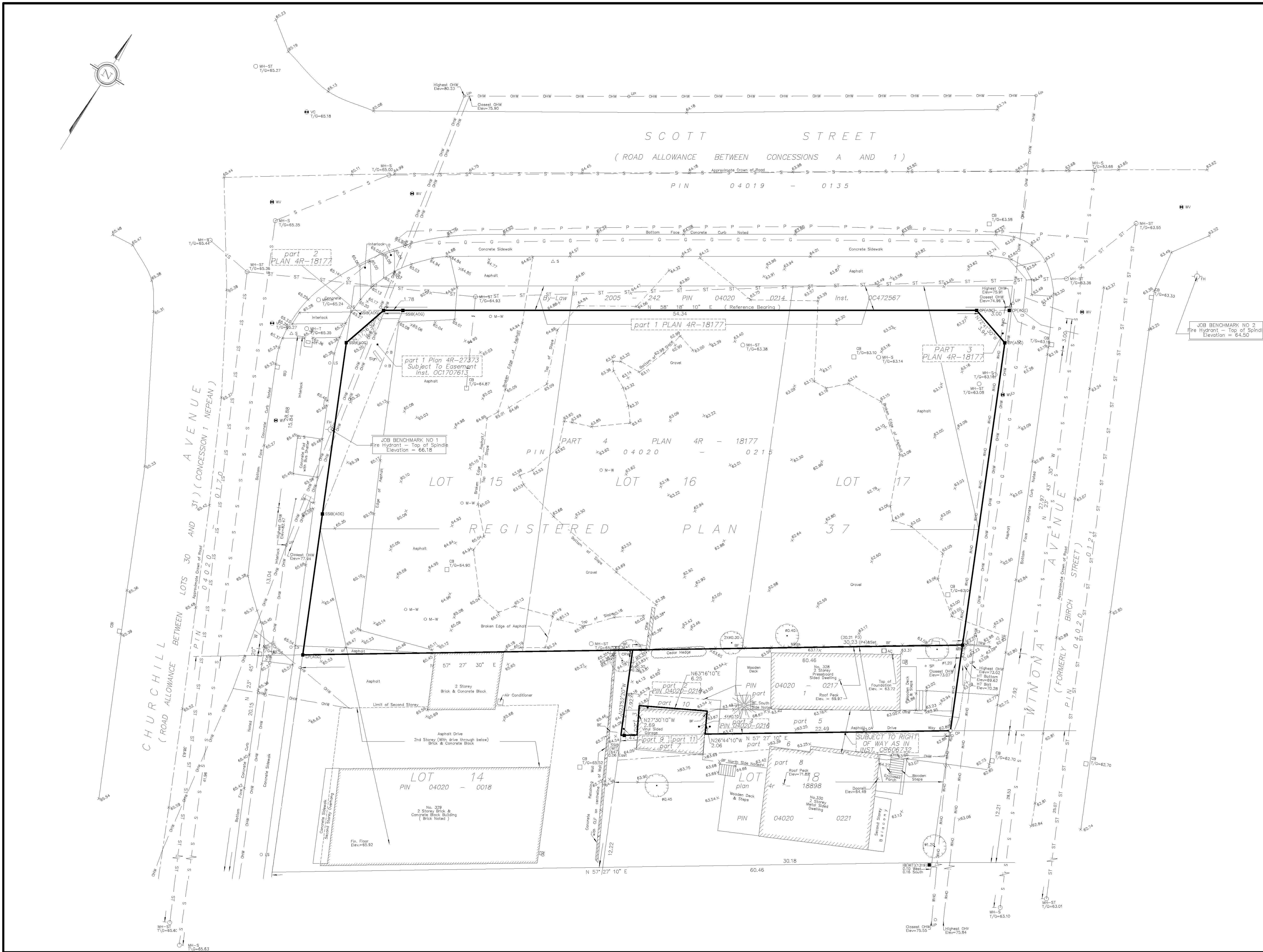
STANTEC
400 - 1331 Clyde Avenue
Ottawa ON K2C 3G4

SITE SERVICING & TRAFFIC

STANTEC
400 - 1331 Clyde Avenue
Ottawa ON K2C 3G4

URBAN DESIGN & LANDSCAPE ARCHITECT

STANTEC
400 - 1331 Clyde Avenue
Ottawa ON K2C 3G4



TOPOGRAPHIC SKETCH OF

PART OF LOTS 15, 16, 17 AND 18
REGISTERED PLAN 37
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150
0 1 2 3 4 5 6 7 8 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys
Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 7th day of February, 2020.

Date Richard R. Gauthier
Ontario Land Surveyor

Notes & Legend

- Survey Monument Planted
- Survey Monument Found
- Standard Iron Bar
- Short Standard Iron Bar
- Iron Bar
- Concrete Pin
- Witness
- Measured
- Accepted
- Plan 4R-18177
- (P2)
- (P3)
- (P4)
- C/L
- CRW
- TRW
- BF
- T/G
- Catch Basin
- Maintenance Hole (Storm Sewer)
- Maintenance Hole (Sanitary)
- Maintenance Hole (Traffic)
- Maintenance Hole (Hydro)
- Valve Chamber (Watermain)
- Water Valve
- Fire Hydrant
- Water Stand Pipe
- Handhole
- Underground Gas
- Underground Power
- Overhead Wires
- Hydro Transformer
- Utility Pole
- Anchor
- Light Standard
- Bollard
- Sign
- Gas Meter
- Air Conditioner
- Monitoring Well
- Deciduous Tree
- Coniferous Tree
- Diameter
- Location of Elevations
- Location of Top of Wall Elevations

Bearings are grid, derived from the southerly limit of Scott Street and are
referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude)
NAD-83 (original).

For bearing comparison, a counter-clockwise rotation of 0°00'30" has
been applied to (P1), a Counter-Clockwise rotation of 0°41'20" has been
applied to (P3), a clockwise rotation of 0°00'30" has been applied to (P2)

Information on this plan for Lots 14, 15, 16 and 17 is based on previous
surveys and was not verified as part of our current survey completed
February 7th, 2020. Some features and elevations may have changed.

SITE AREA = 2090.3 m²

ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28
geodetic datum.
- It is the responsibility of the user of this information to verify that the
job benchmark has not been altered or disturbed and that its relative
elevation and description agrees with the information shown on this
drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities
and it will be the responsibility of the user to contact the respective
utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority
is mandatory before any work involving breaking ground, probing,
excavating etc.

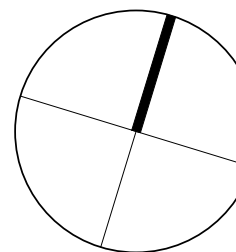
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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concession Gate, Suite 900
Nepean, Ont. K2E 7S8
Phone: (613) 727-0950 / Fax: (613) 727-1079
Email: info@annis-osv.com
Land Surveyors (Reg. No. 20073-20, 20073-18, 20073-17, 20073-16, 20073-15, 20073-14, 20073-13, 20073-12, 20073-11, 20073-10, 20073-09, 20073-08, 20073-07, 20073-06, 20073-05, 20073-04, 20073-03, 20073-02, 20073-01)

Date	No.	Description
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REVISION RECORD

2020-05-29	Rezoning and Site Plan Approval Resubmission
2019-10-03	Rezoning and Site Plan Approval Submission

ISSUE RECORD



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2070 Scott Street

Ottawa, ON

Azure Urban Developments Inc.

19023
PROJECT SCALE

DLC LS
DRAWN REVIEWED

Survey Plan

A001.S

DWG 18058
D07-12-19-0167

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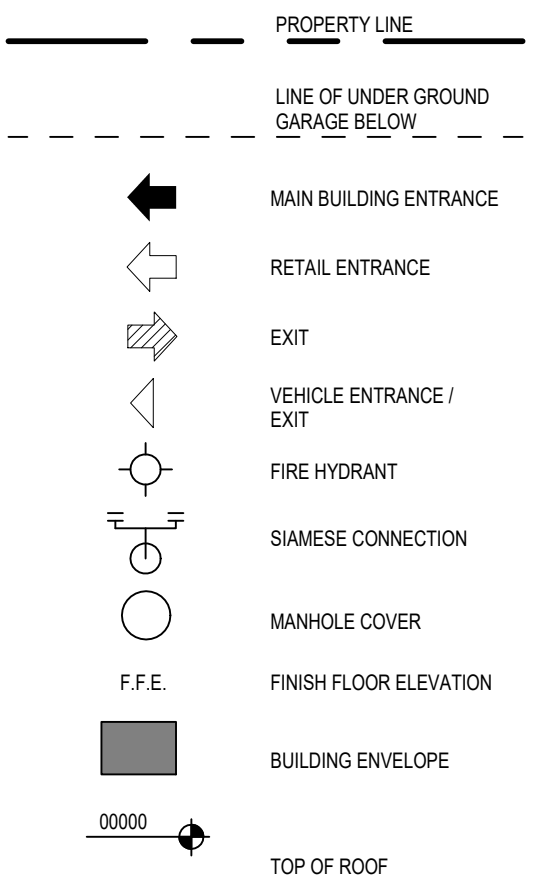
Zoning – TM Traditional Mainstreet

Zone Provision	Required	Proposed	Compliance
Minimum Lot Area (m ²)	No minimum	N/A	✓
Minimum Lot Width (m)	No minimum	N/A	✓
Maximum Building Height (m)	Where the building height is greater than 15m, at and above the fourth storey or 15m whichever is lesser a building must be setback a minimum of 2m more than the provided setback from the front lot line and corner side lot line.	20, but not more than 6 storeys	81m (excluding MPH) ✗
Maximum Front Yard Setback (m)	2	0	✗
Minimum Corner Side Yard Setback (m)	3m, except for any part of a building above 15m for which an additional 2m setback must be provided	5	2m min (varies) ✗
Minimum Interior Side Yard Setback (m)	No minimum	N/A	✓
Minimum Rear Yard Setback (m)	7.5	7.5	✓
Maximum Floor Space Index	No maximum	N/A	✓
Minimum Landscape Area	Abutting a residential zone In all other cases	3m, may be reduced to one metre where a minimum 1.4m high opaque fence is provided No minimum, except that where a yard is provided and not used for required driveways, alleys, parking or loading spaces, the whole yard must be landscaped 3.5m	5m ✗ 3.5m ✓
Total Amenity Area (m ²)	6m ² /unit = 1,454	6m ² /unit = 1,454	✓
Amenity Space Minimum Of 50% as Communal, at Least 1 Aggregated Area Min. of 54m ² (m ²)	723	223	✗

Maximum Residential Parking Requirements Near Rapid-Transit Stations	High-Rise Dwelling: 1.75/unit (resident and visitor combined)	1.75/unit = 425	0.6/unit Resident & visitor combined	✓
Maximum Retail, Retail Food Store Parking Requirements Near Rapid-Transit Stations		1.0/100m ² of GFA	Retail 0.6/100sm	✓
Minimum Parking Requirements for Residential Units	First 12 units excluded	0.5/unit = 116	0.5/unit = 116	✓
Minimum Visitor Parking		0.1/unit = 23	0.1/unit = 23	✓
Bicycle Parking		0.5/unit = 121	1.0/unit = 243	✓
Commercial/Retail Bicycle Parking		1/250m ² of GFA	1/250m ² of GFA=2	✓
Minimum Driveway Width for Parking Garage Aisles (m)		6	6	✓
Maximum Driveway Width for Parking Garages (m)	With 20 or more parking spaces	6.7	6	✓
Minimum Perpendicular Parking Space Size (m)		2.6 x 5.2	n/a	✓
Minimum Bicycle Parking Space Dimensions, Horizontal (m)		0.6 x 1.8	0.6 x 1.8 (stacked)	✓
Minimum Bicycle Parking Space Dimensions, Vertical (m)		0.5 x 1.5	0.5 x 1.5	✓
Permitted Projections Above the Height Limit	The maximum height limits do not apply to the following structures: - Mechanical and service equipment penthouse, elevator or stairway penthouses - Communication transmission and distribution towers forming part or all of a utility installation - Landscape areas, roof-top gardens and terraces and associated safety guards and access structures - Parapets, architectural features			

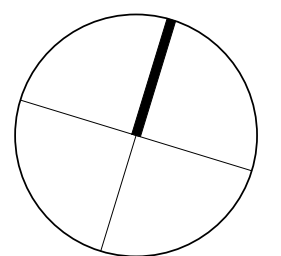
PROJECT STATISTICS SUMMARY			
Municipal Address:	2070 Scott Street, Ottawa, Ontario		
Lot Area	2090.3	sm	
Zoning By-Law 2008-326			
Average Grade:	64.35	m	
Building Height (Storeys): (excl. Mech Penthouse)	25		
Building Height above Average Grade: (excl. Mech Penthouse)	80.6	m	
GFA - Residential Uses	16,555	sm	182,739 sf
GFA - Non-Residential Uses	422	sm	4,542 sf
Total GFA	16,977	sm	225,203 sf
Floor Space Index (FSI)	8.1		
Number of Residential Suites	243		
Min. Residential Amenity Space Required	1,458	sm	15,694 sf
Total Residential Interior Amenity Space Provided	223	sm	2,400 sf
Total Residential Outdoor Amenity Space Provided	1,235	sm	13,293 sf
Total Residential Amenity Space Provided	1,458	sm	15,694 sf
Vehicular Parking Total Required	144		
Vehicular Parking Total Provided	162		
Bicycle Parking Total Required	123		
Bicycle Parking Total Provided	245		

SITE PLAN LEGEND:



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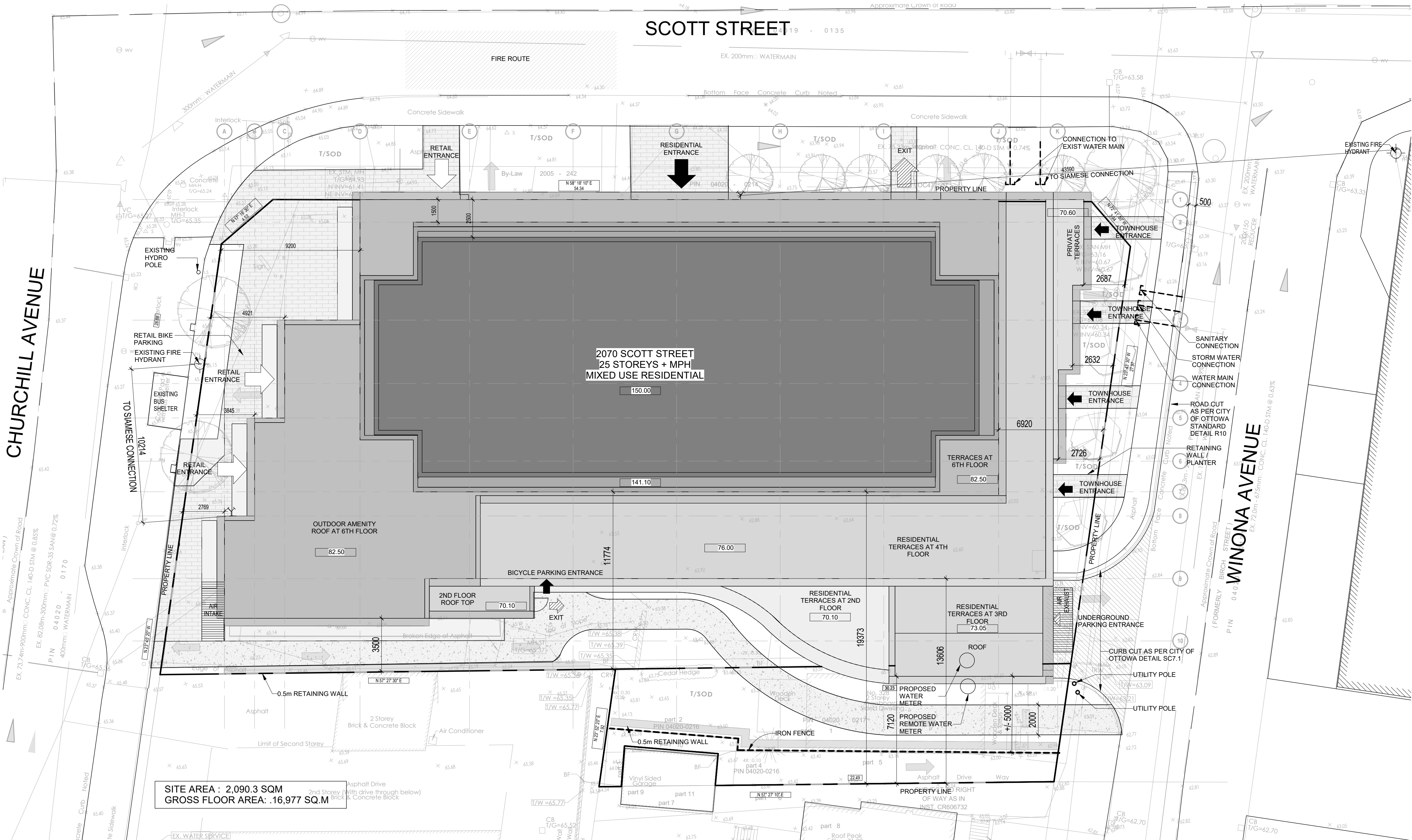
Azure Urban Developments Inc.

19023 As indicated DLC LS
PROJECT SCALE DRAWN REVIEWED

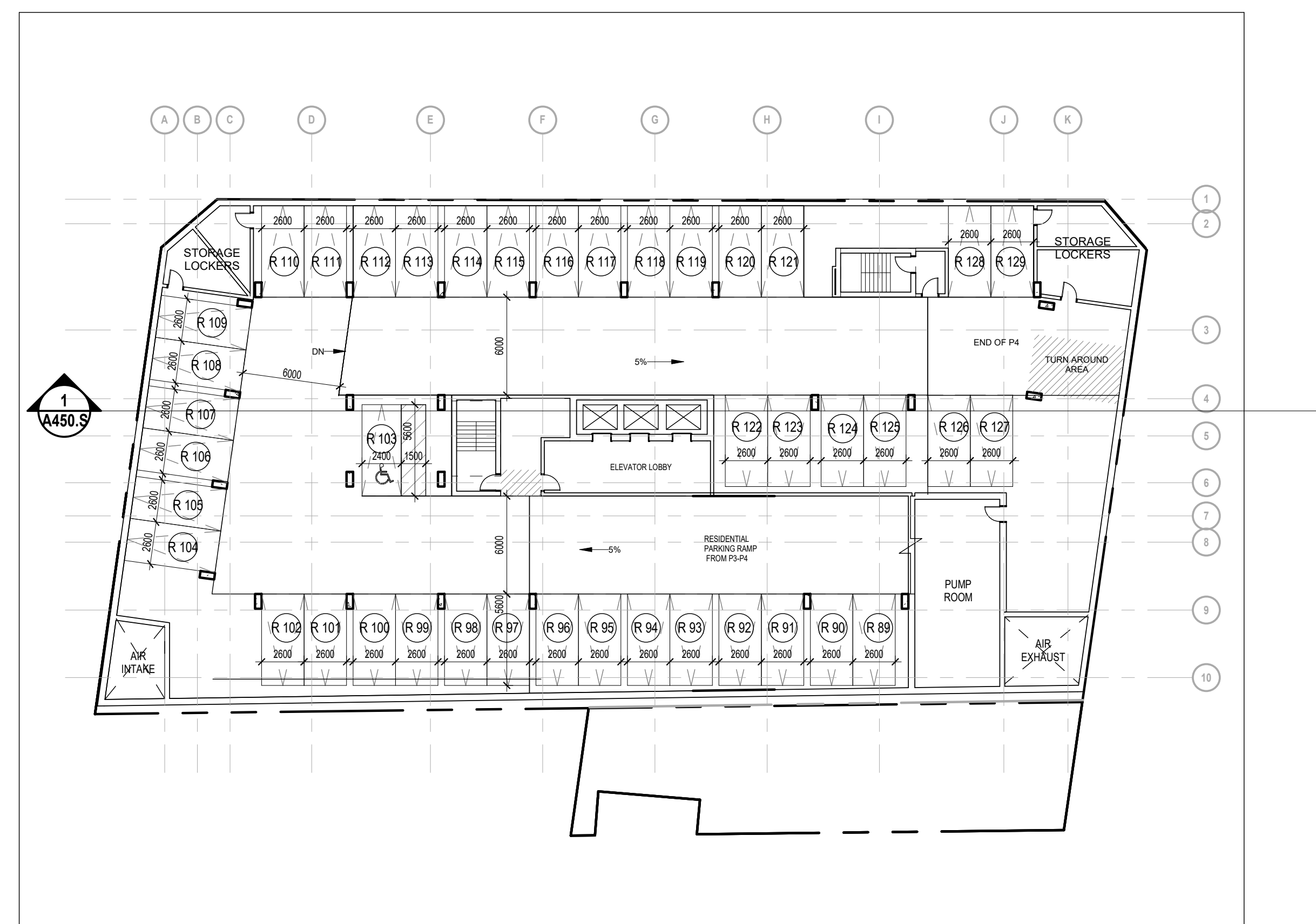
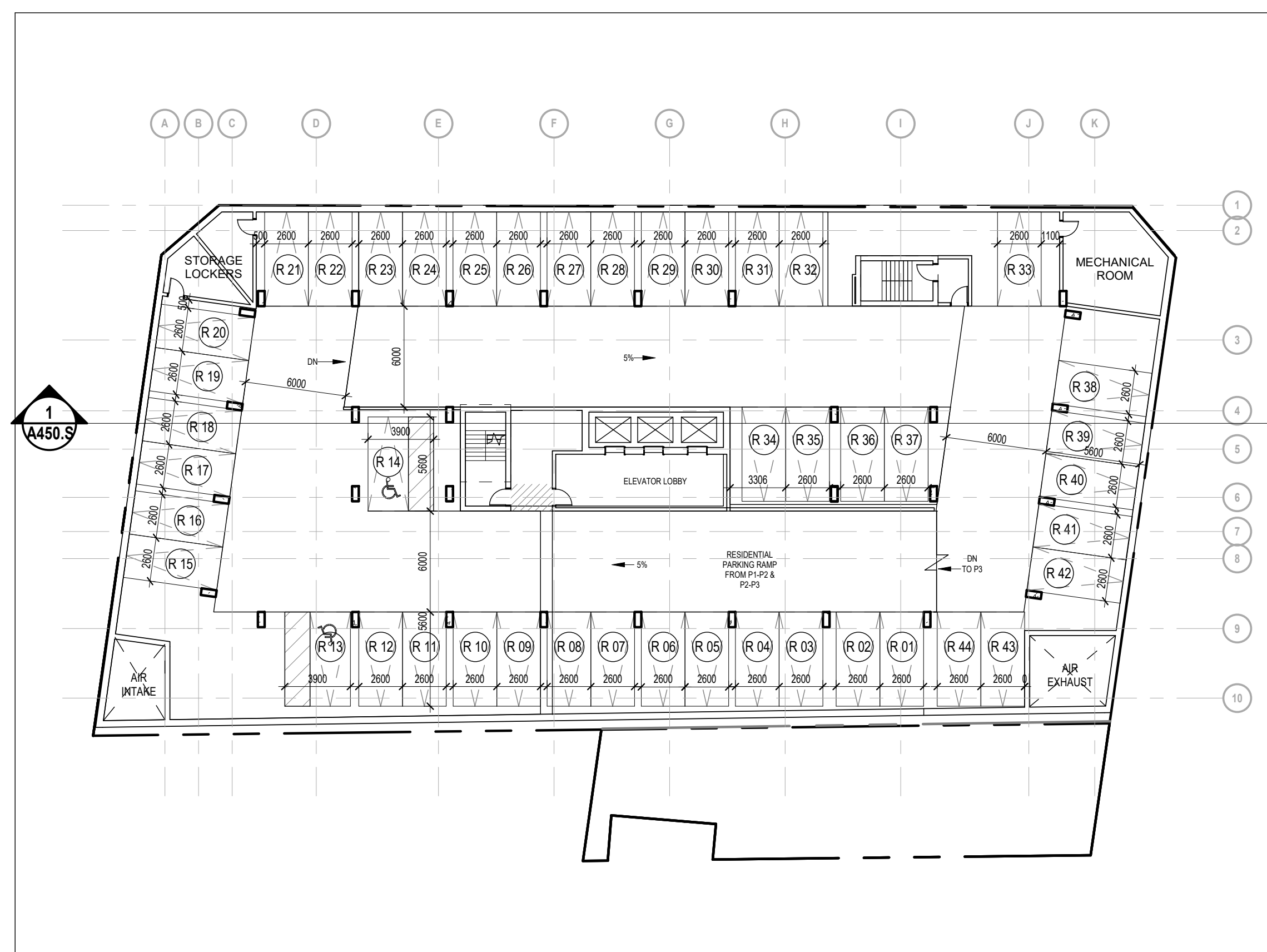
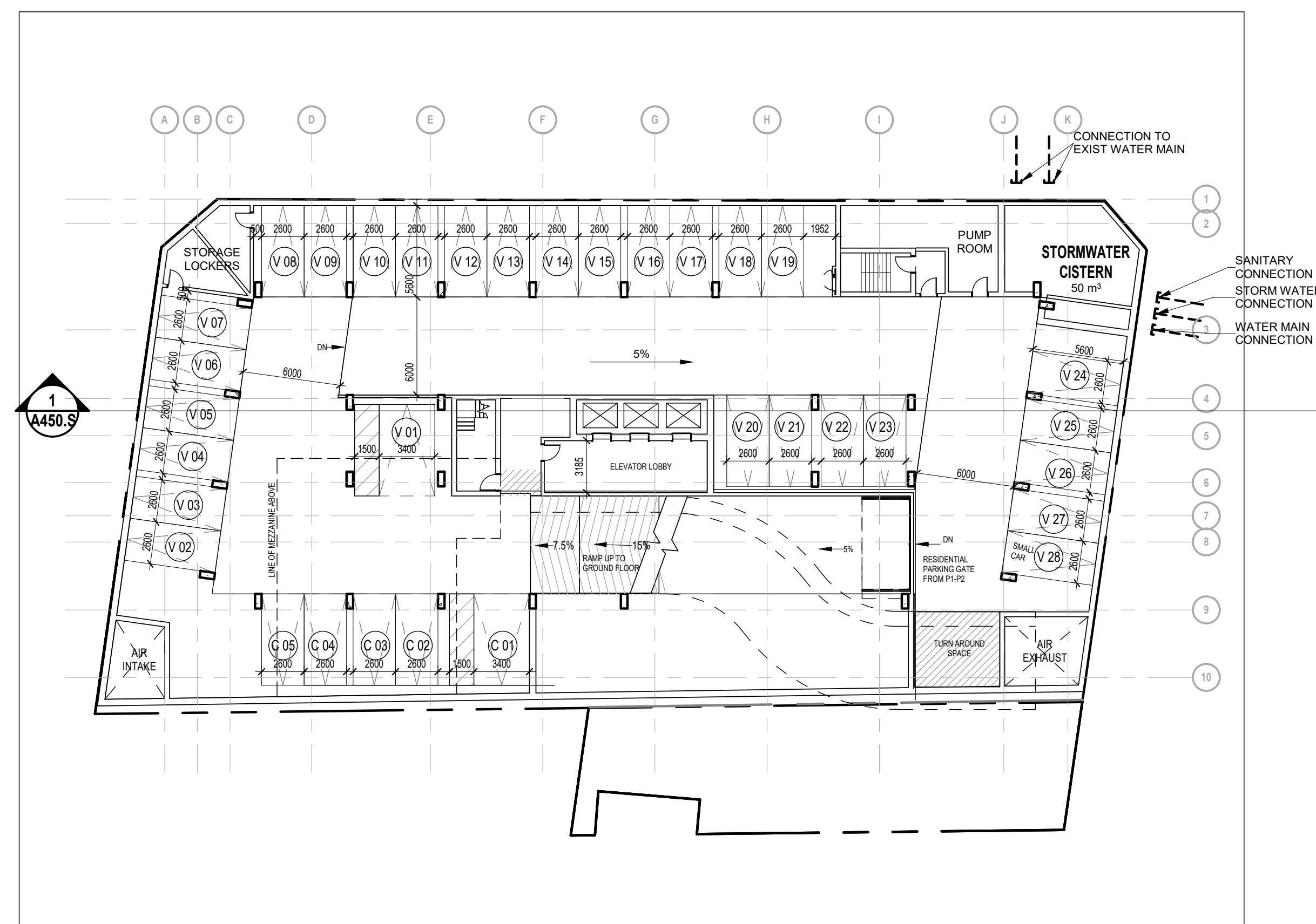
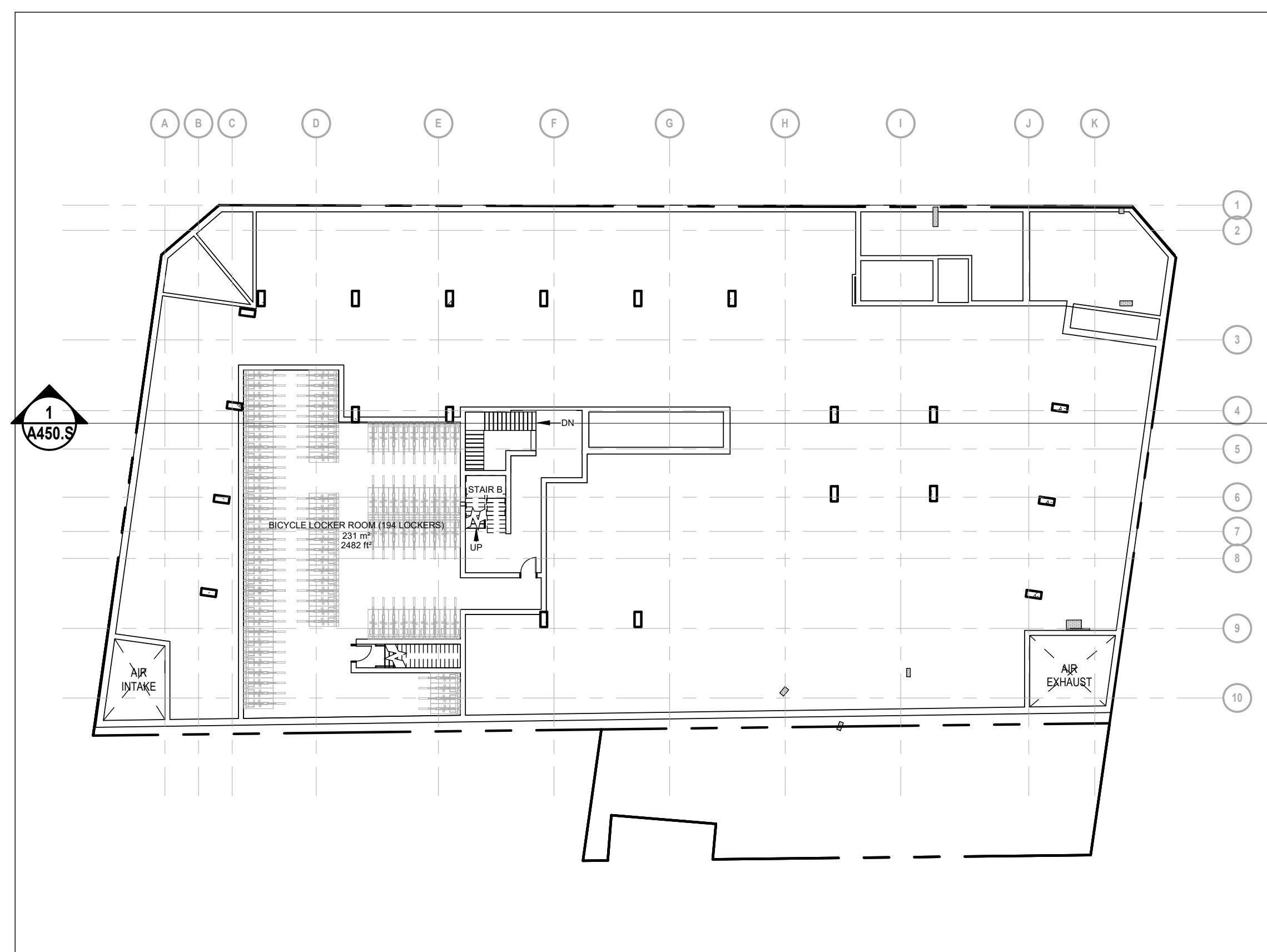
Site Plan

A101.S DWG 18058
D07-12-19-0167

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SITE AREA : 2,090.3 SQM
GROSS FLOOR AREA : 16,977 SQ.M

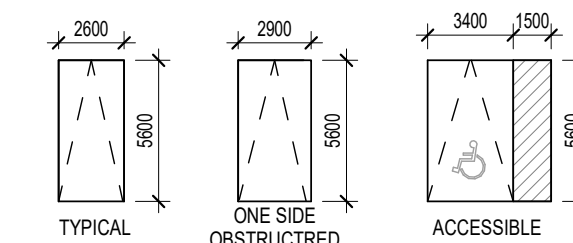


PARKING NOTES:

1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
2600mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED)
2900mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
3200mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED)
2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

PARKING LEGEND:

(C) PARKING SPACE
 C=COMMERCIAL PARKING
 R=RESIDENTIAL PARKING
 V=VISITOR PARKING

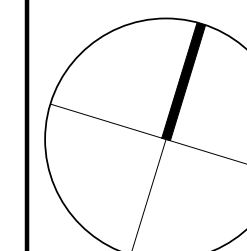


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19023
PROJECT SCALE

DLC LS
DRAWN REVIEWED

Below Grade Floor Plans

A102.S

DWG 18058
2007-12-19-016

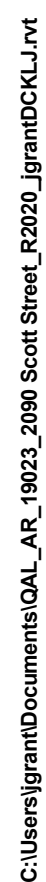
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[illegible]

Suite Breakdown							
1 Bdrm	1 Bdrm + D	2 Bdrm	2 Bdrm + D	3 Bdrm	Studio	Townhouse	Total Suites
0	2	0	2	3	0	0	7
0	0	0	0	1	0	0	1
0	0	0	10	15	0	0	25
2	0	1	0	0	2	0	3
65	26	0	12	0	39	0	142
1	2	0	0	1	1	0	5
5	1	3	3	0	2	0	14
5	3	4	1	0	1	0	14
3	4	4	3	1	1	0	16
3	2	6	2	2	1	0	16
0	0	0	0	0	0	0	0
0	0	0	0	0	0	4	4
82	38	17	31	19	45	4	243
34%	16%	7%	13%	8%	19%	2%	
570 - 620 / d	675 - 725 / m	700 - 750 / d	720 - 800 / d	850 - 1100 / d	450 - 500 / d	1250 - 1300 / d	
BARRIER FREE SUITES							
Required 15%	18		7	3			
Provided	18					8	
Total						8	

Parking Per Floor					
	V	C	R	(BF)	Total
P1	28	5	0	2	33
P2	0	0	44	2	44
P3	0	0	44	2	44
P4	0	0	41	0	41
					162

BICYCLE PARKING	Residential	Required	Provided
	0.5/suite	122	2
	Commercial	2	
	1/250 sm		
	TOTAL	123	2
	1/suite		



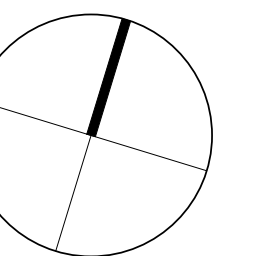
1
A201.S

GROUND FLOOR
SCALE: 1 : 150

PROPERTY LINE	
LINE OF UNDER GROUND GARAGE BELOW	
	MAIN BUILDING ENTRANCE
	RETAIL ENTRANCE
	EXIT
	VEHICLE ENTRANCE / EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	MANHOLE COVER
	FIRST FLOOR ELEVATOR BUILDING ENVELOPE

Date	No.	Description
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SUE RECORD



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070 Scott Street

Ottawa, ON

zure Urban Developments Inc.

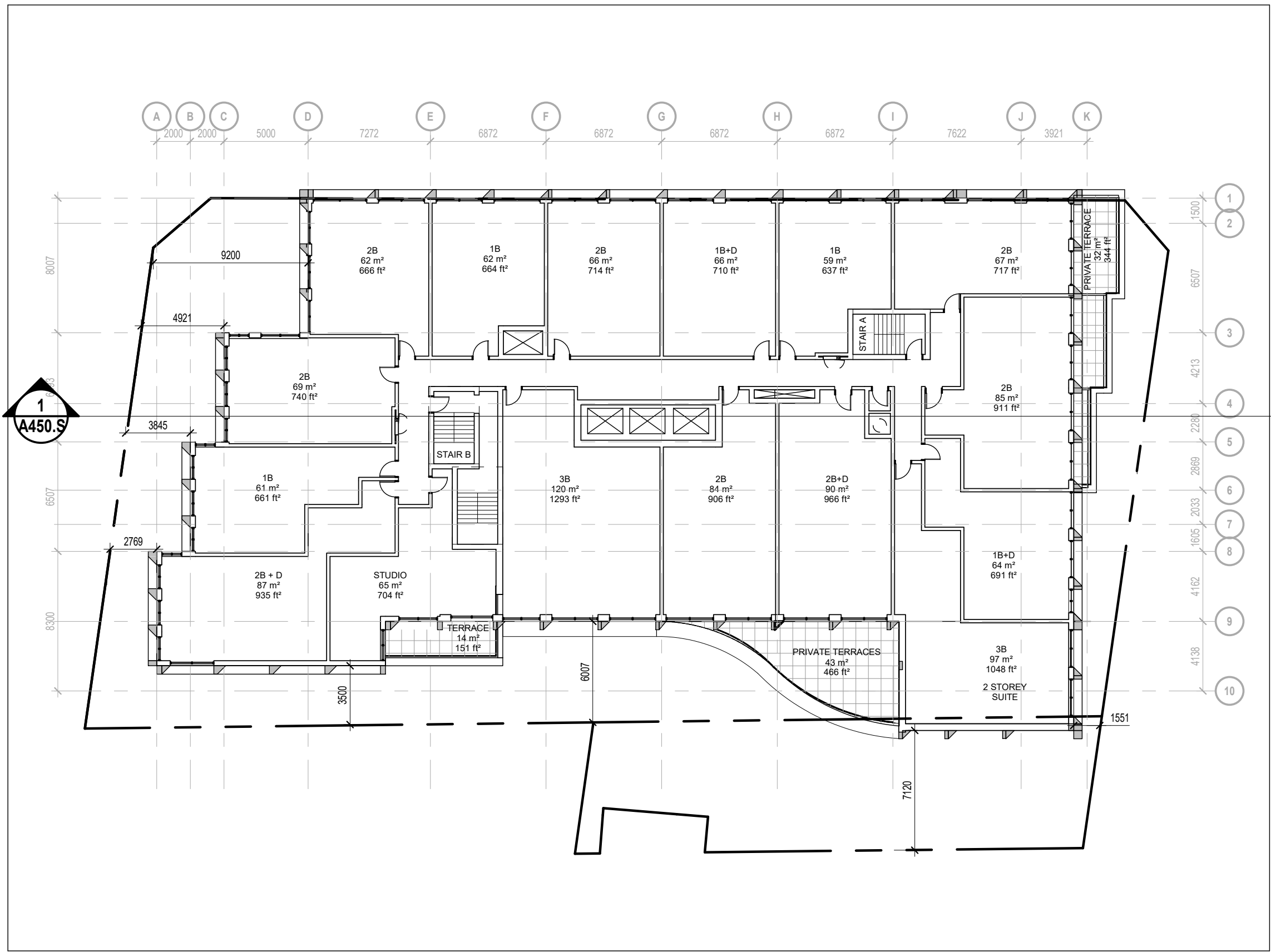
9023 As indicated DLC LS
PROJECT SCALE DRAWN REVIEWED

round Floor Plan

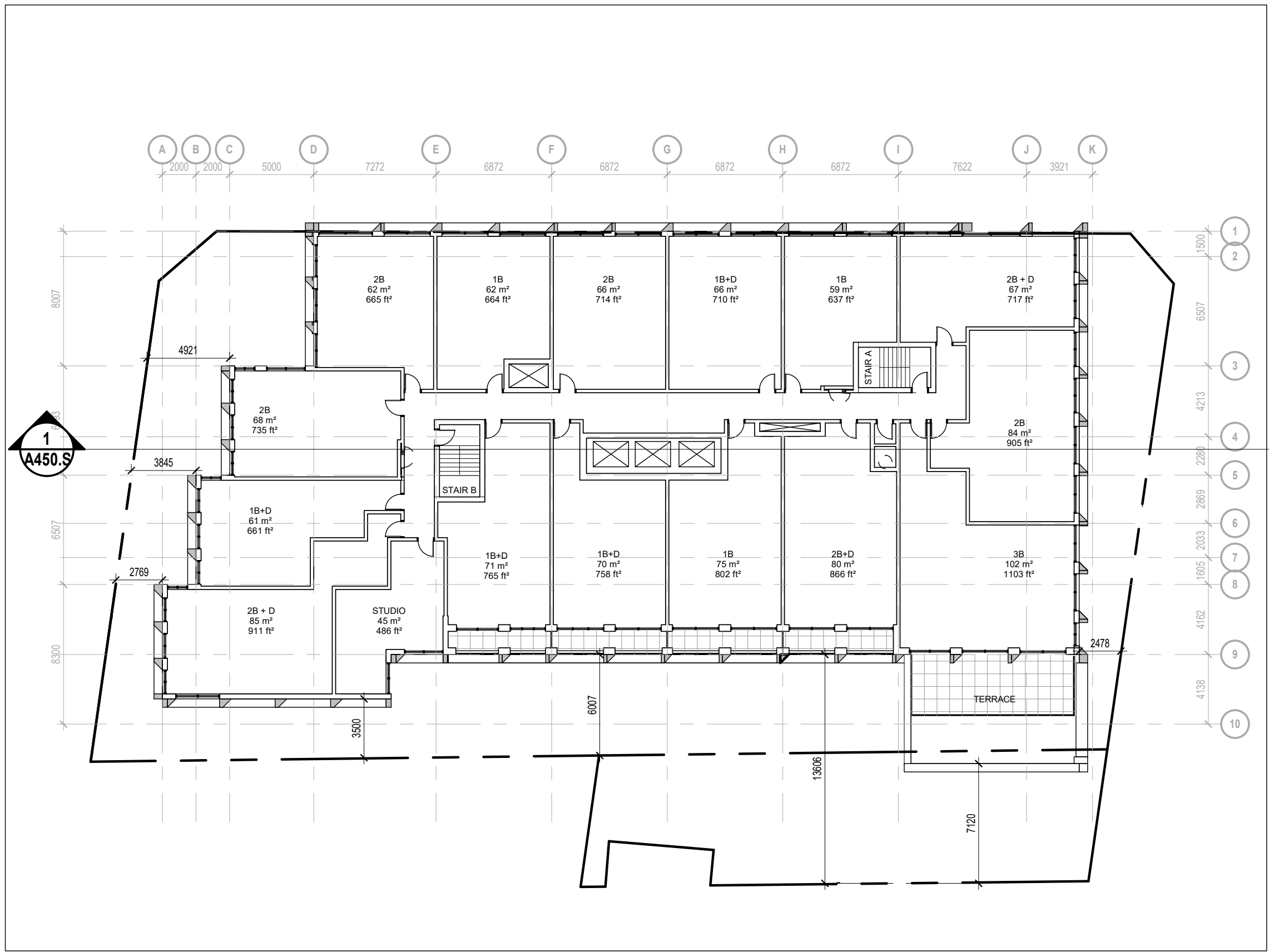
A201.S

Report all work.

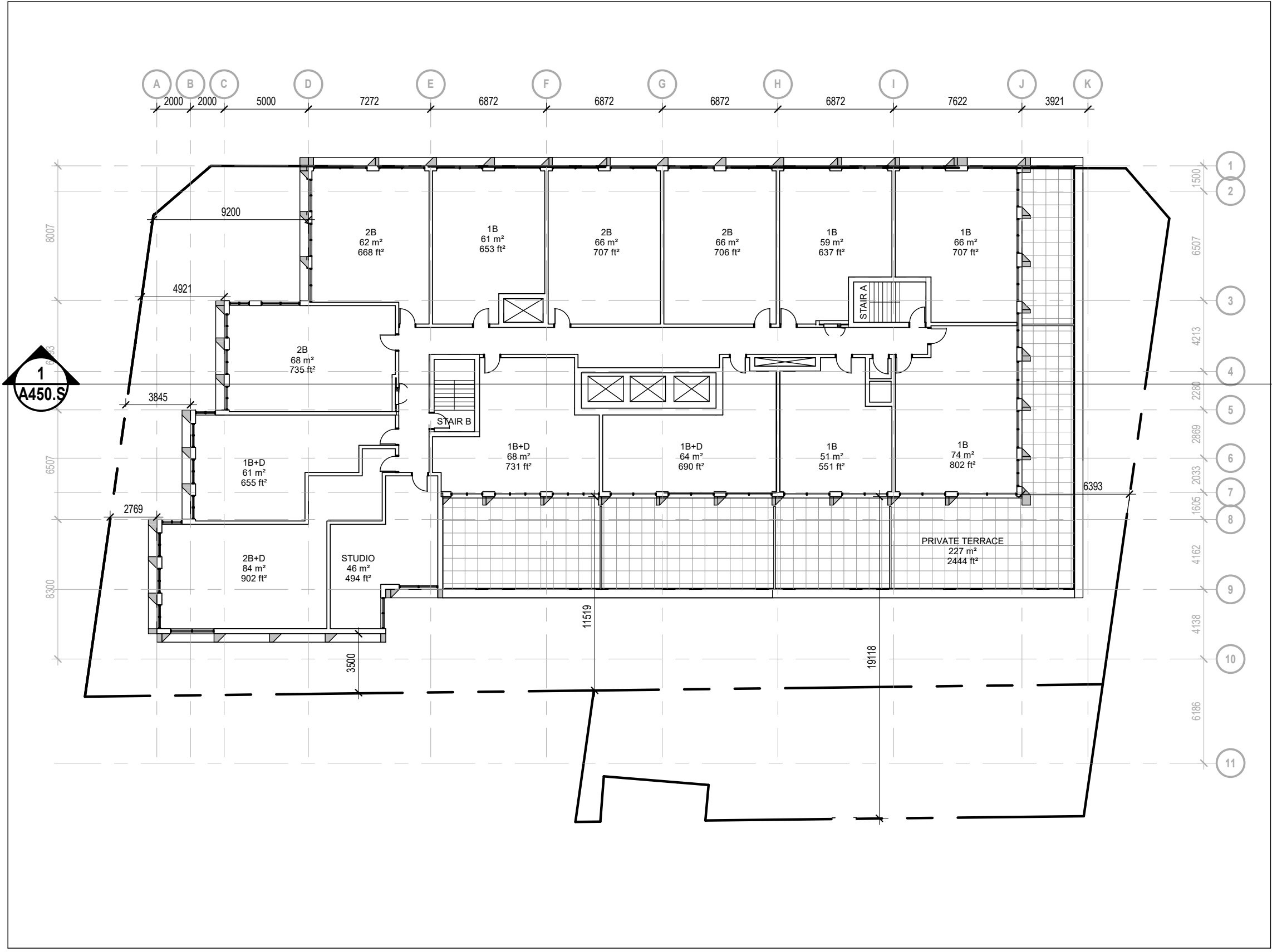
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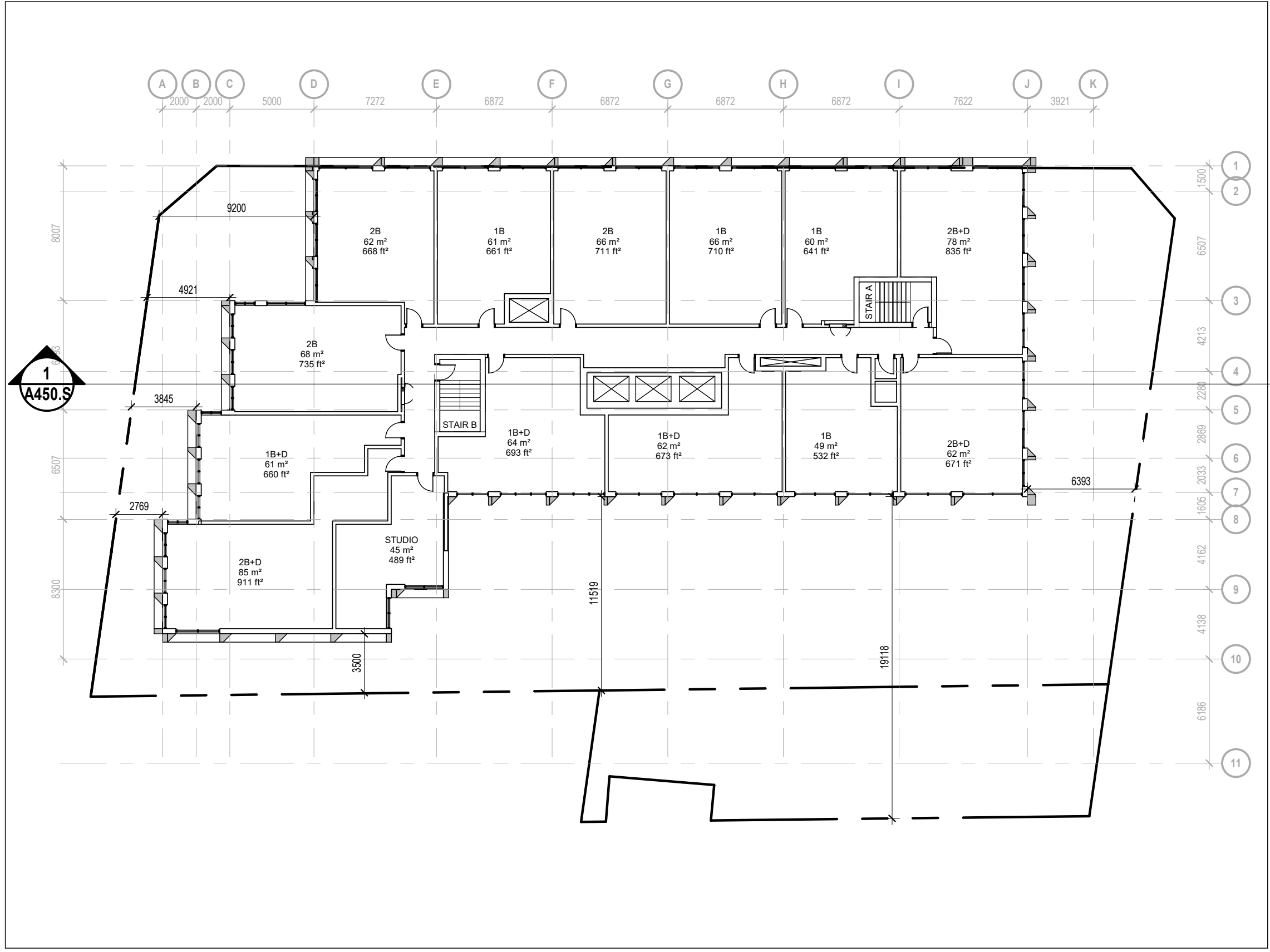
1 LEVEL 2 FLOOR PLAN
A202.S



6 LEVEL 3 FLOOR PLAN
A202.S



2 LEVEL 4 FLOOR PLAN
A202.S

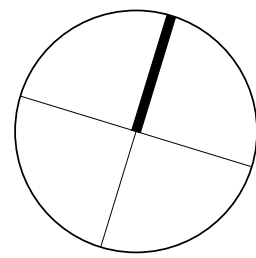


3 LEVEL 5 FLOOR PLAN
A202.S

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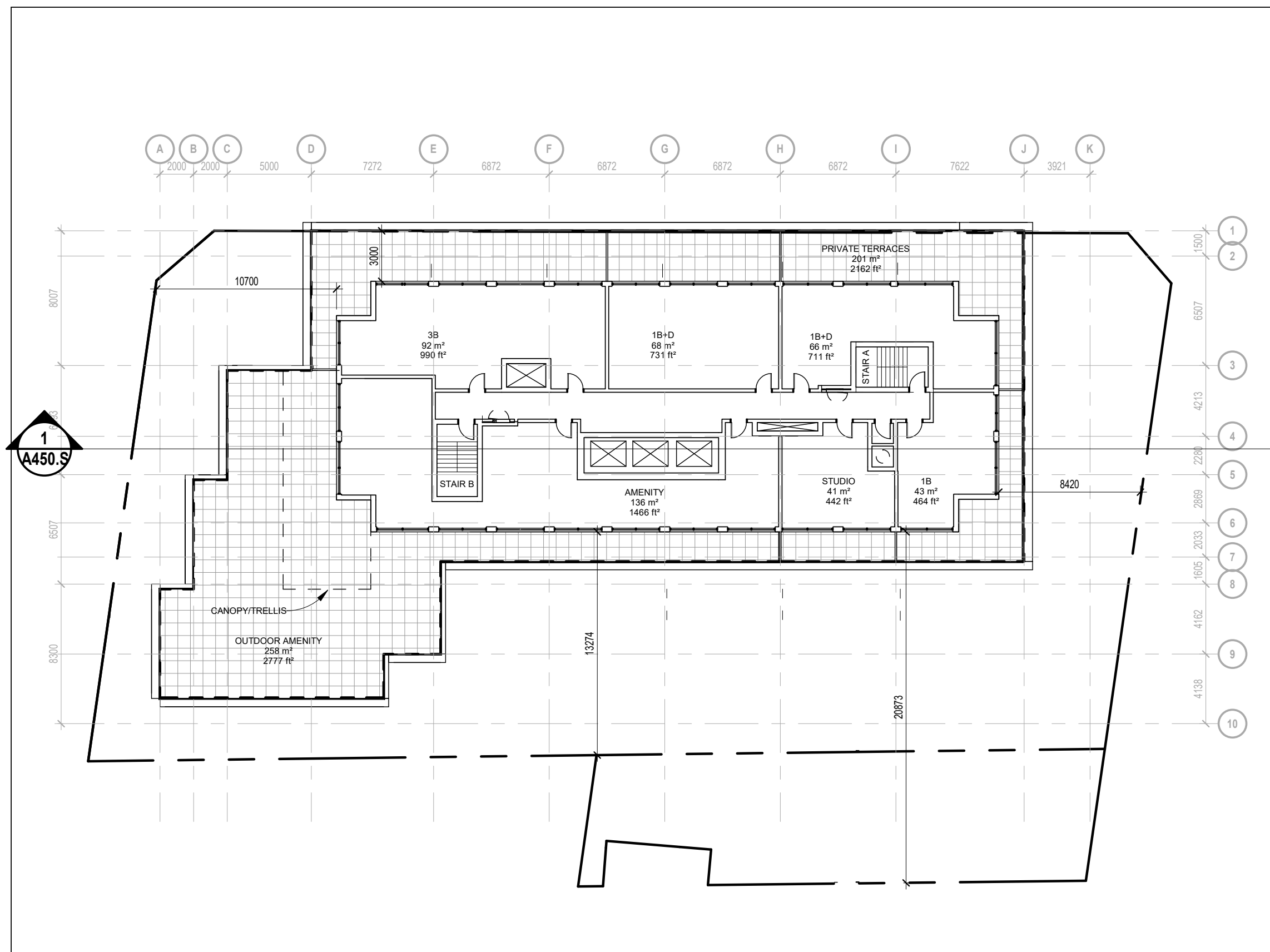
Azure Urban Developments Inc.

19023 1 : 250 PROJECT SCALE
DLC LS DRAWN REVIEWED

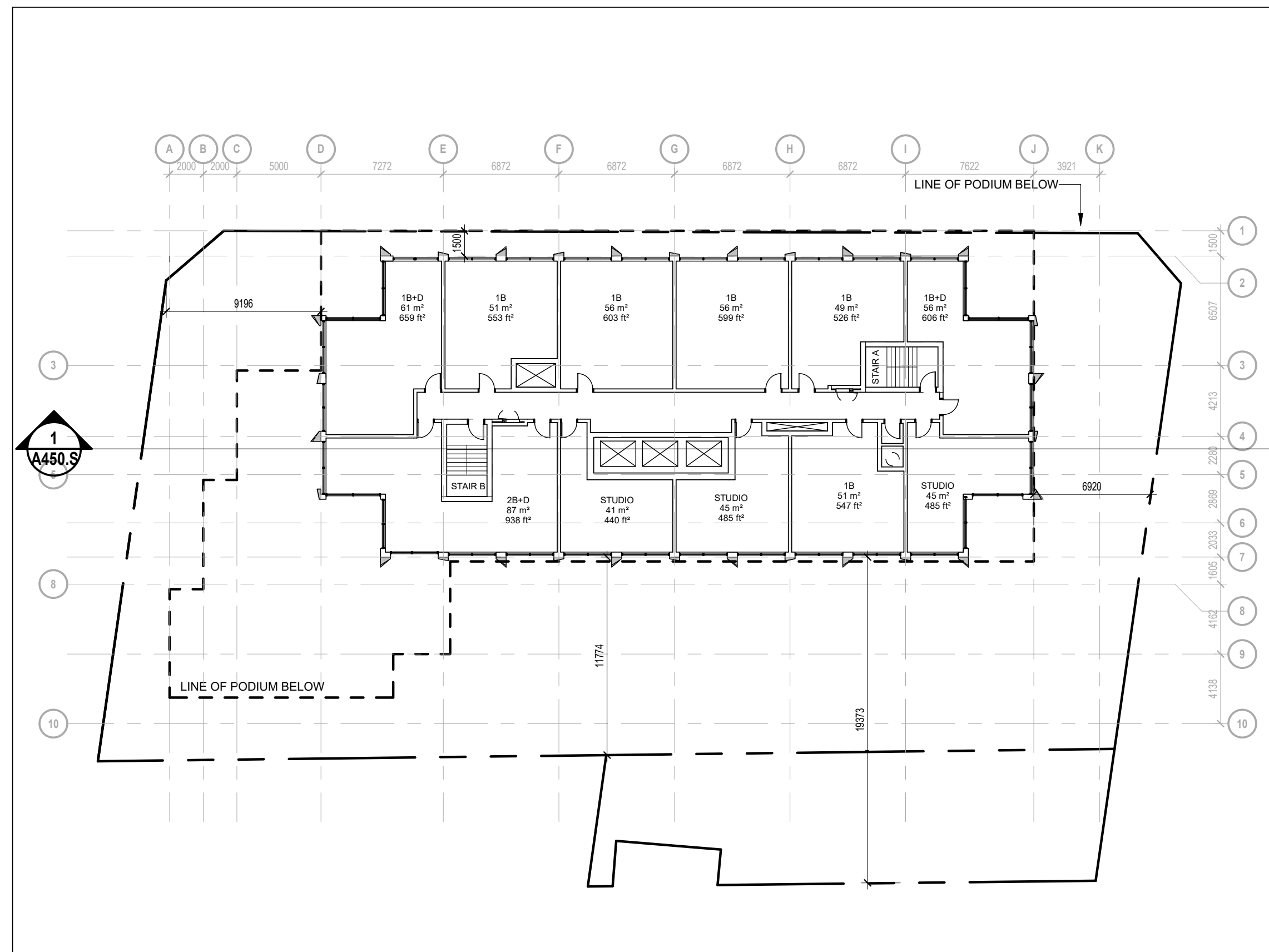
Floor Plans

A202.S
DWG 18058
D07-12-19-0167

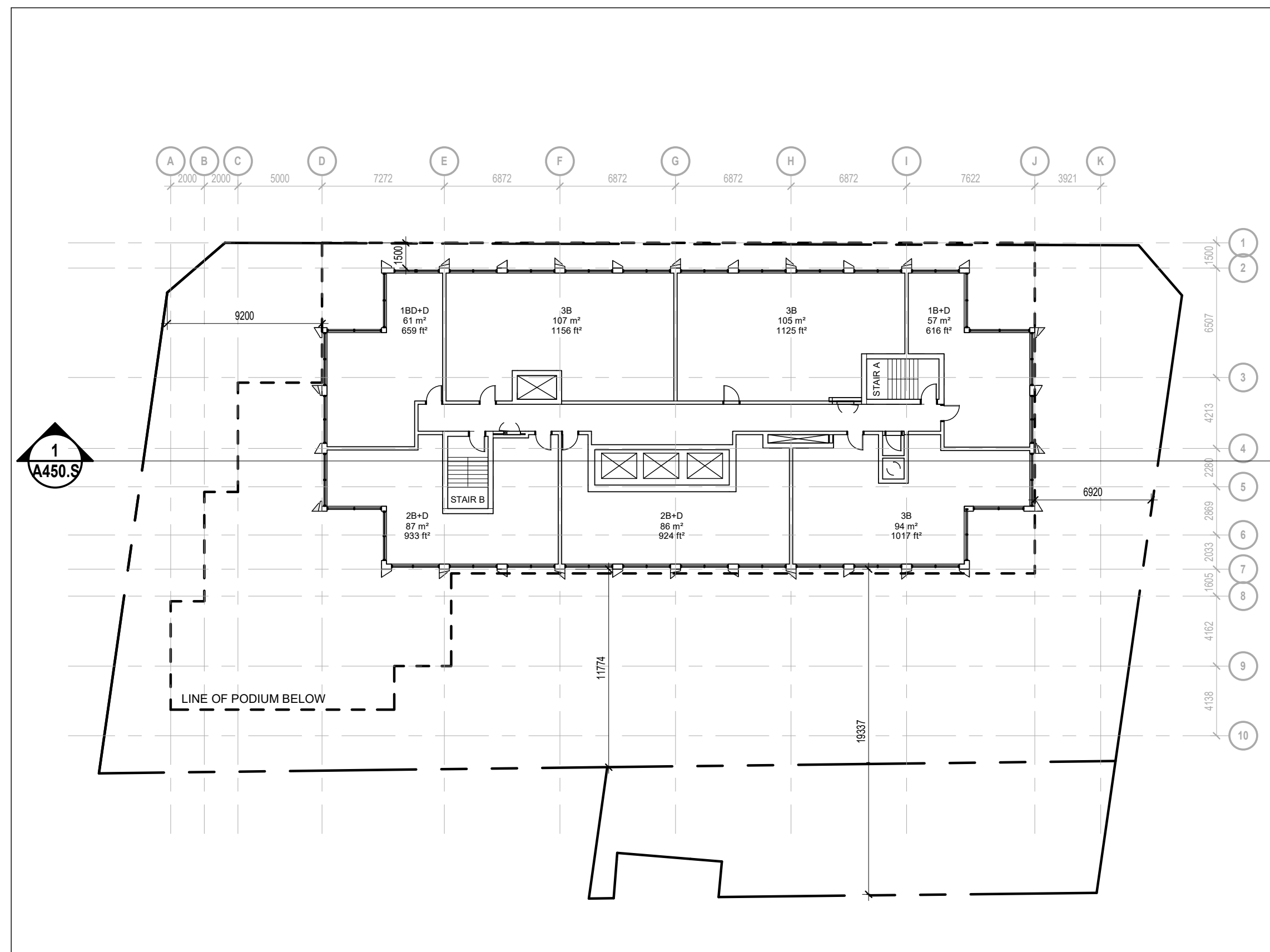
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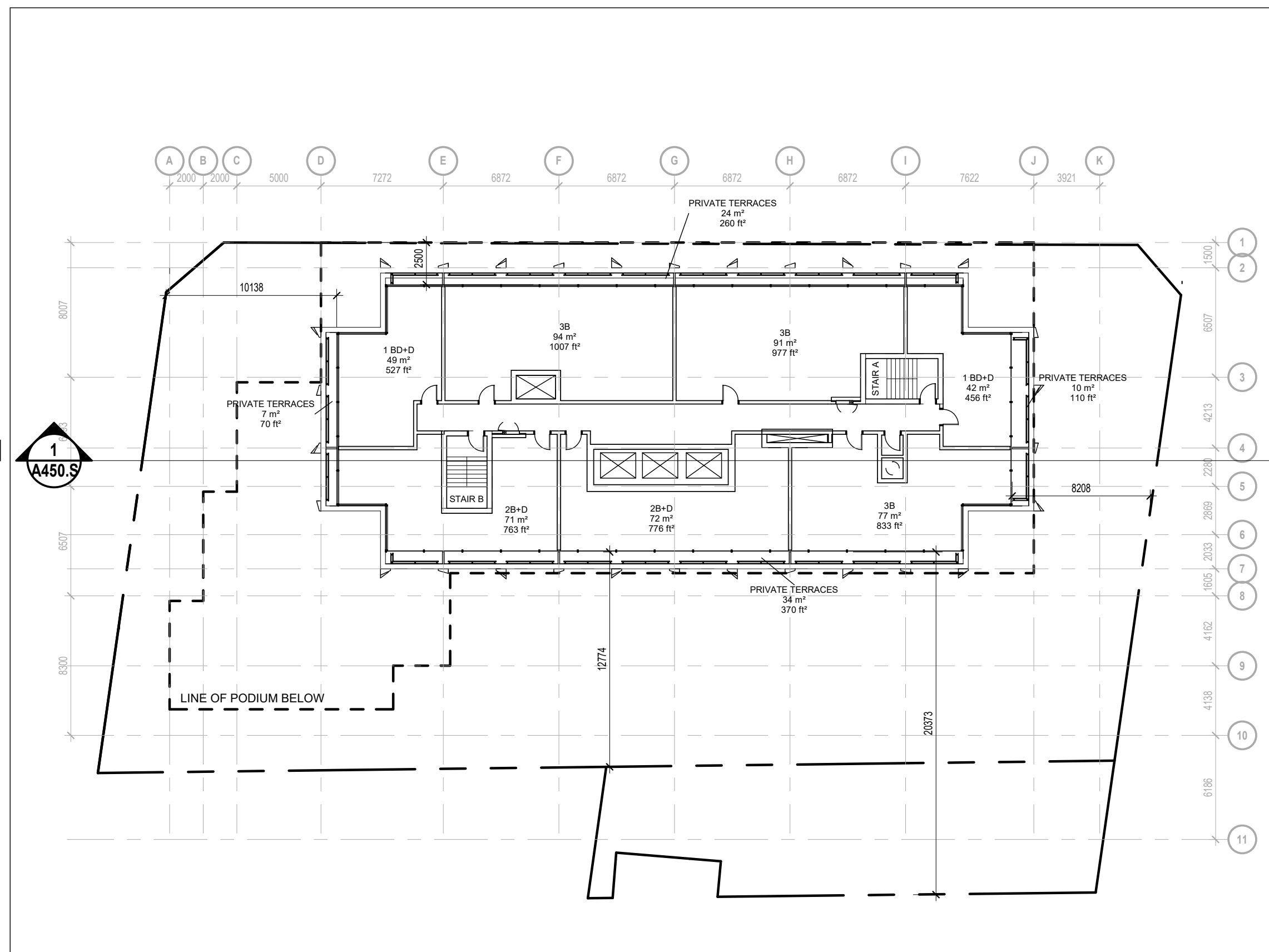
1
A203.S
LEVEL 6 FLOOR PLAN - AMENITY



4
A203.S
LOWER TYPICAL TOWER - LEVEL 7-19 FLOOR PLAN



2
A203.S
UPPER TYPICAL TOWER - LEVEL 20-24 FLOOR PLAN

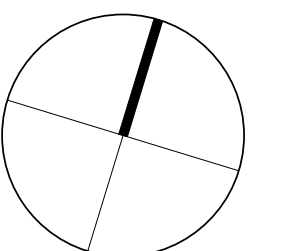


3
A203.S
LEVEL 25 FLOOR PLAN

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19023 1 : 250 PROJECT SCALE
DLC LS DRAWN REVIEWED

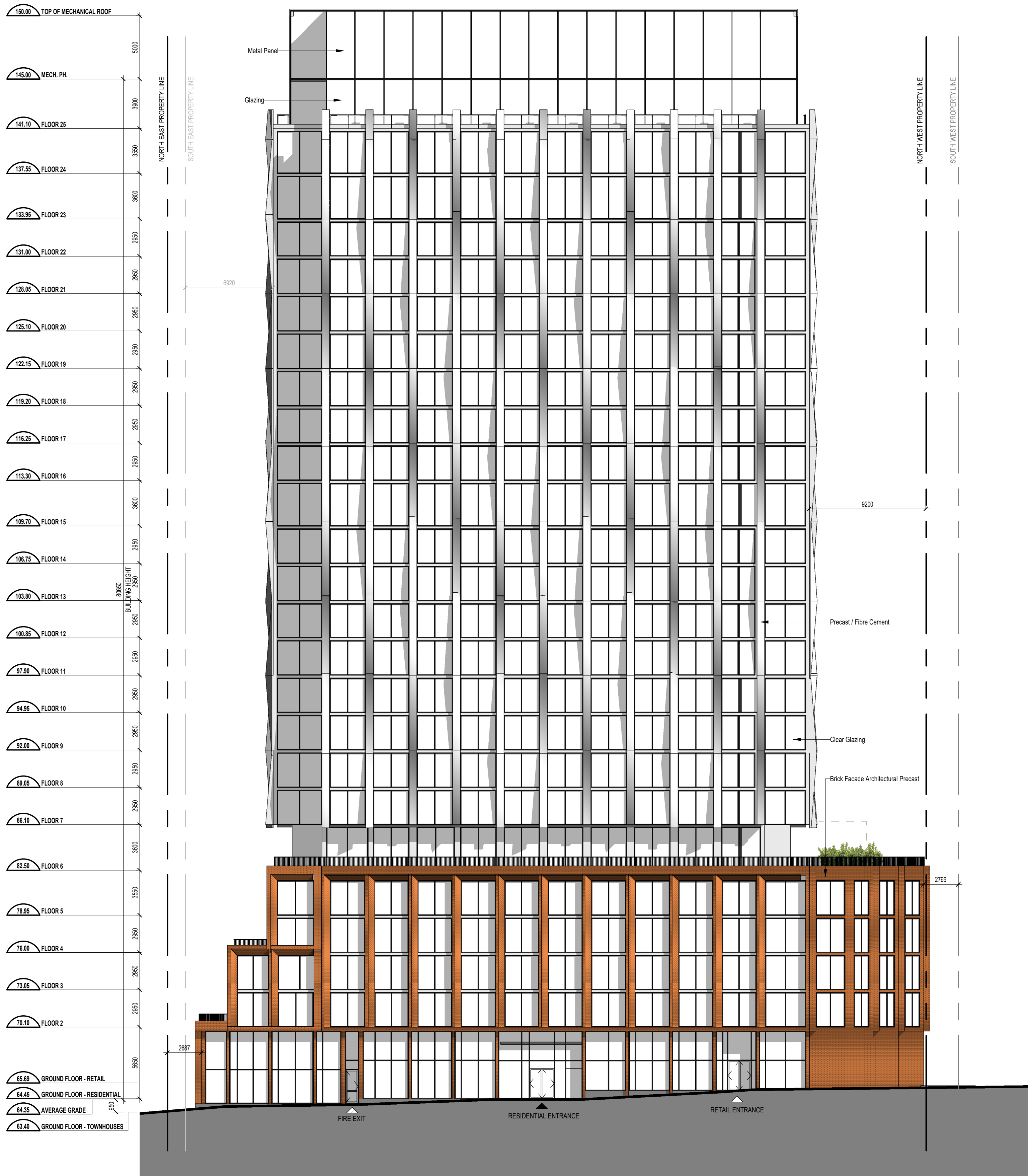
Floor Plans

A203.S

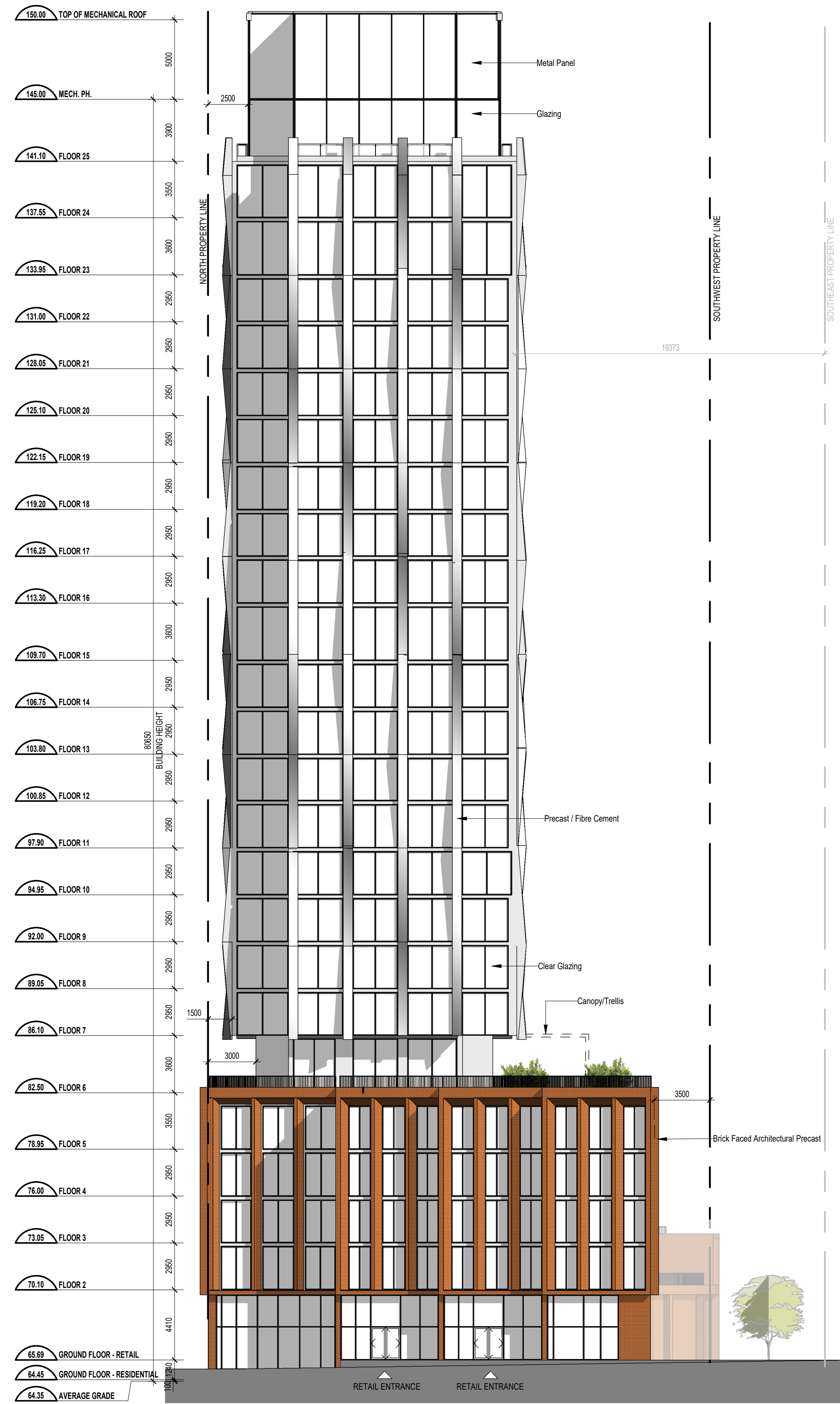
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D07-12-19-0167

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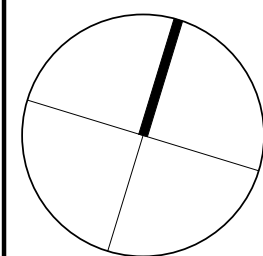
1 NORTH ELEVATION
A401.S



2 WEST ELEVATION
A401.S

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19023 1 : 200 PROJECT SCALE
DLC LS DRAWN REVIEWED

Building Elevations

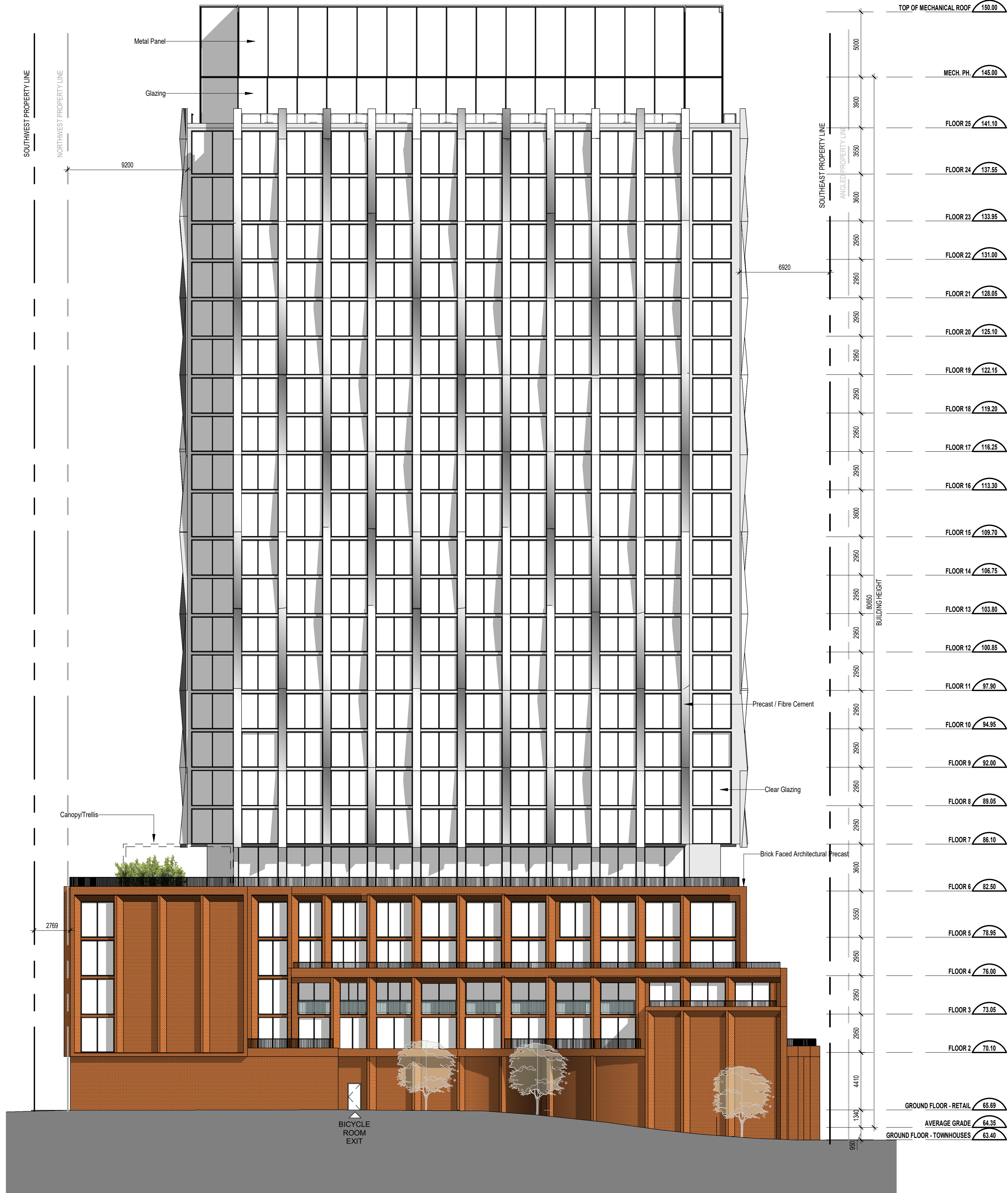
A401.S

DWG 18058
D07-12-19-0167

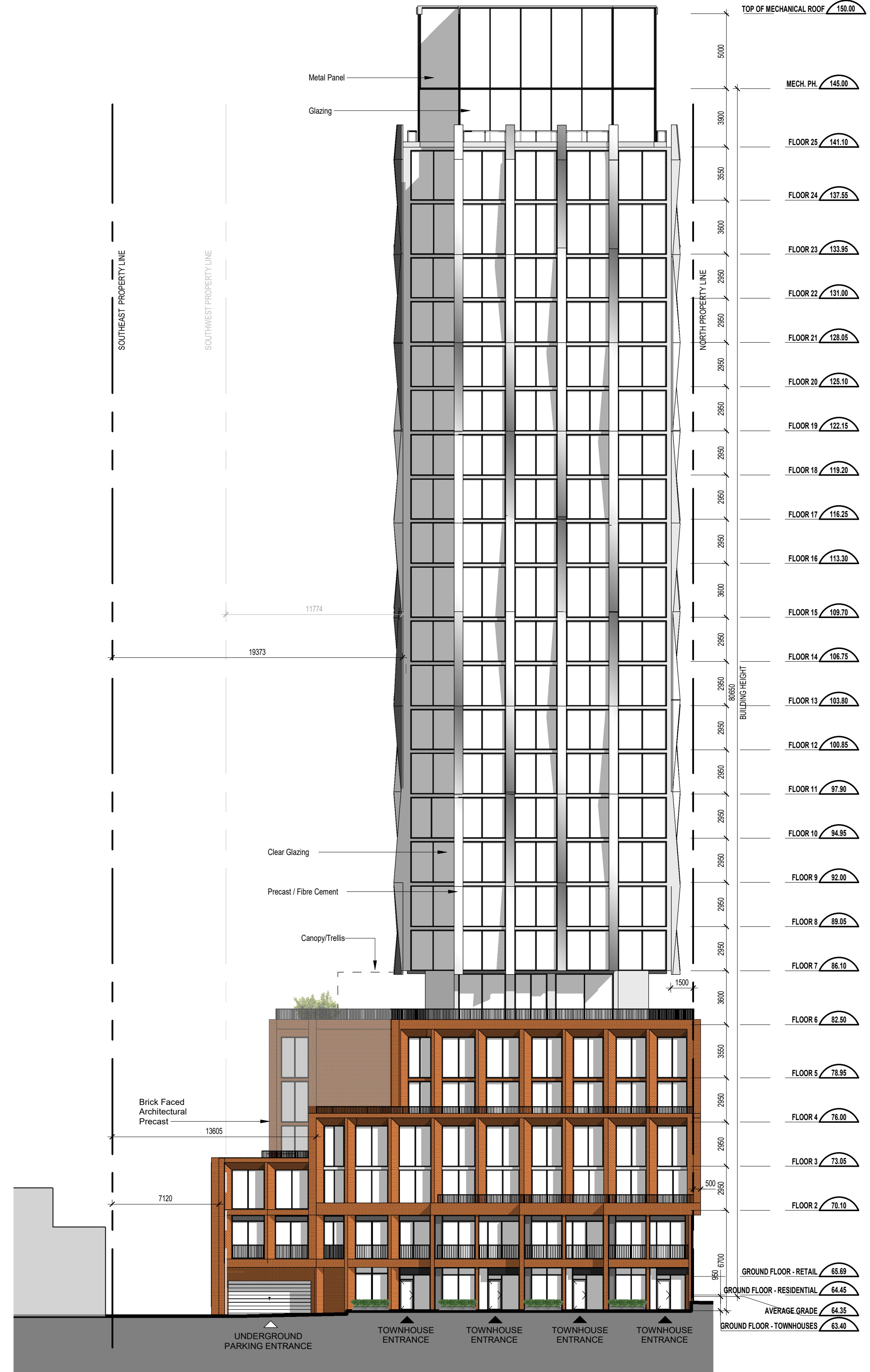
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2020-05-29 12:59:37 PM

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1 SOUTH ELEVATION
A402.S

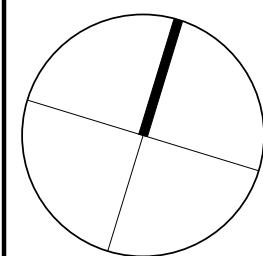


2 EAST ELEVATION
A402.S

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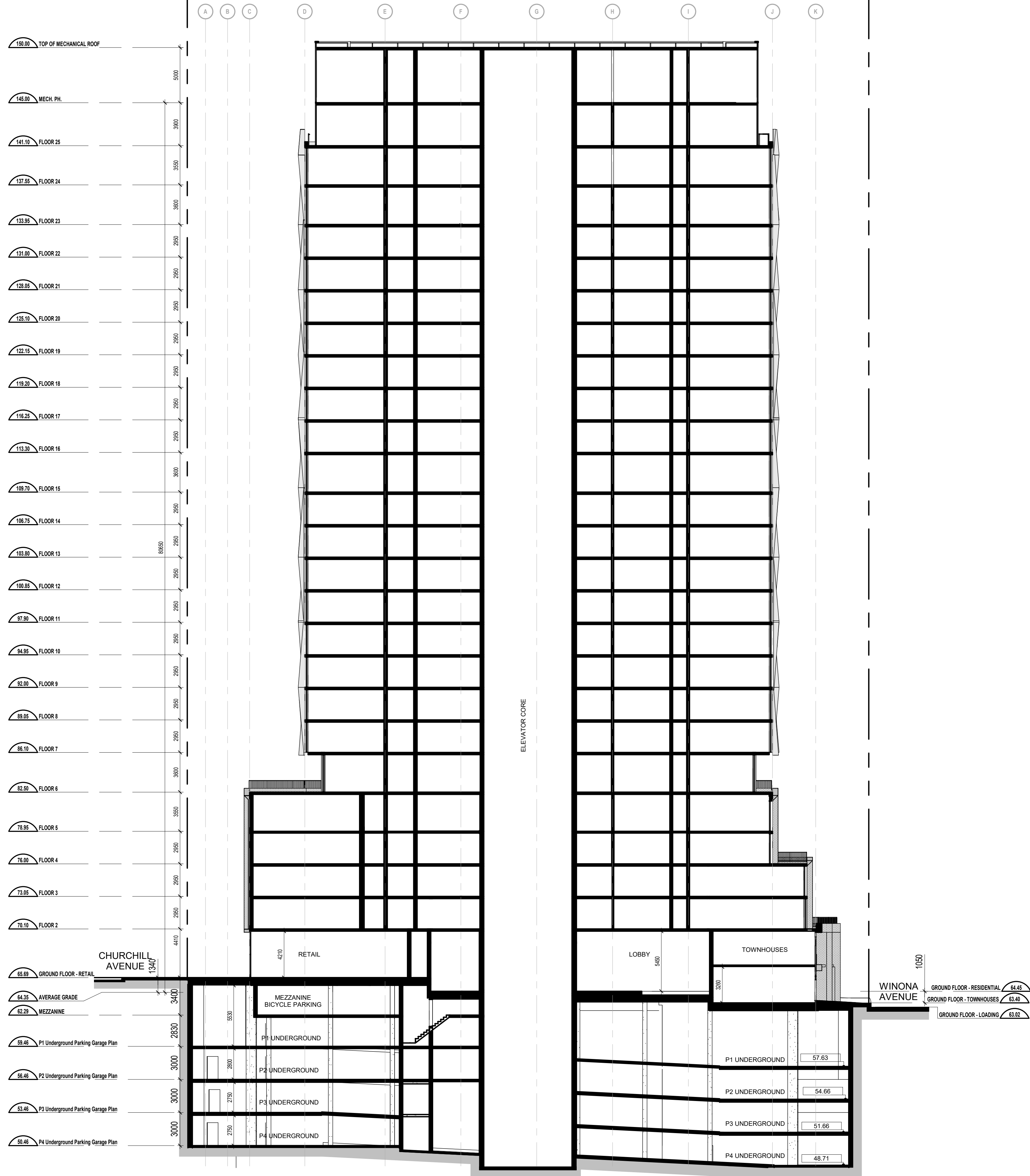
Building Elevations

A402.S
DWG 18058
D07-12-19-0167

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2020-05-29 12:59:03 PM

C:\Users\jlgm\Documents\DAL_AR_19023_2090_Scott Street_F2020_jlgm\DWG\A450.S

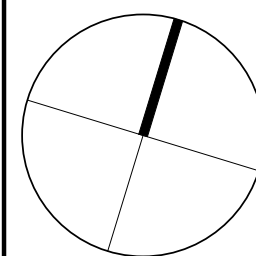


Date	No.	Description
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REVISION RECORD

2020-05-29	Rezoning and Site Plan Approval Resubmission
2019-10-03	Rezoning and Site Plan Approval Submission

ISSUE RECORD



Quadrangle

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Azure Urban Developments Inc.

19023 1 : 200 AuthorChecked
PROJECT SCALE DRAWN REVIEWED

East-West Building Section

A450.S DWG 18058
D07-12-19-0167

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