

450 ROCHESTER

FORMAL UDRP REVIEW

JUNE 5th, 2020



HOBIN
ARCHITECTURE



ARNON

450 ROCHESTER

DESIGN BRIEF

HISTORICAL CONTEXT

Since the establishment of Little Italy in the early 1900’s, the site at 450 Rochester and its neighbourhood has evolved considerably. In the early 1900’s, the site was at the centre of this working class community and was predominantly vacant. It was likely used in some capacity for some of the nearby rail yard activities.

In the 1950’s, the neighbourhood densified and saw growth in residential homes and various commercial and industrial establishments. Concurrently, the site also developed and assumed an industrial identity. The western edge along Preston street was mainly residential in nature, but the remaining majority of the site was occupied by industrial buildings. The largest building on the site was a shipping facility of some kind along with other smaller industrial buildings. Another important development during this period was the creation of the eastern part of Beech Street, which created a stronger connection to the neighborhood to the east.

The implementation of the Queensway in the early 60’s brought additional growth and development to the surrounding area. Notably, the establishment of major Government buildings to the east of the subject site added additional vibrancy to the area. The site generally remained the same during this period and continued its industrial activities.

From the 70’s to the 90’s, 450 Rochester’s industrial heritage began to erode and the buildings that once existed here slowly began to disappear. Except for the houses along Preston Street, the site eventually became vacant once more and served as a parking lot to support the large number of automobiles serving the large Government buildings.

Since becoming vacant, the site has been a home for automobiles for nearly 30 years. It is now time to make it a home for *people*. Our objective is to transform this large integral piece of land and redevelop it into a vibrant mixed-use development that Little Italy so deserves.

The proposed project seeks to redevelop the land into two mixed-use buildings. The development would be broken down in two phases. The West phase would be the first to be constructed.

PHASE 1 DEVELOPMENT (WEST)

The west phase proposes a 9 and 15-storey mixed-use development featuring a corner plaza at the corner of Preston and Beech Street. A two-storey underground parking garage will provide parking spaces for both the public and residential tenants. This phase would see various ground floor commercial/retail spaces. We anticipate a food store and a pharmacy to be the main tenants for the primary retail spaces. A three-storey commercial/retail piece will front onto Preston and is intended to frame the plaza and maintain a reasonable scale along Preston. Two residential entrances will be located on Aberdeen Street with this phase proposing approximately 295 units. Rooftop amenity spaces will be provided.

PHASE 2 DEVELOPMENT (EAST)

The east phase proposes a 26-storey mixed-use development and also features a corner plaza at the corner of Rochester and Beech Street. A three-storey underground parking garage will provide parking spaces for its residents. This development anticipates some ground floor commercial/retail spaces to the south along Beech Street. This phase proposes approximately 245 units. Rooftop amenity spaces will be provided.

KEY DESIGN NARRATIVES

There are several key design narratives that were carefully considered for this development which helped guide our massing and design considerations.

1-GREEN SPACE CONNECTION AND PUBLIC REALM

Green Space Connection

In the context of a large development such as this one, it is critical to consider the hierarchy of streets, public spaces and linkages between these spaces to ensure that the development is not designed in isolation, but rather in a manner that relates to its current and future context. This proposed development acknowledges other future developments around our site and takes into consideration the future public spaces that are contemplated in the area. As such, we have developed our key public spaces to reflect the current and future urban fabric around our site.

Public Realm

Creating strong public spaces has always been one of our primary objectives for this proposal. However, planning for these spaces requires a broader understanding of the site’s current and future context. Beech Street is the most appropriate street to host such spaces, given its existing animated nature and its orientation. Also, Beech Street is an important East and West axis which will connect to a larger network of parks, public spaces and multi-use pathways.

Our design proposes a large plaza at the corner of Beech and Preston. The intent of this plaza is to provide a certain level of flexibility while providing some programmed spaces via hard and soft landscaping. We have the ambitious intent to extend the ground treatment across the streets to suggest a much larger space during special events. We see this plaza as a new focal point of Little Italy where one can host cultural events and provide daily enjoyment for the community.

Another Plaza is planned for the corner of Beech Street and Rochester which will complement the ground level commercial and retail spaces. The proposed edge condition along Beech Street is also intended to be developed as a linear park. Through hard and soft landscaping, we intend to create a green buffer along this edge linking both plazas together and creating a stronger pedestrian axis through the site.

Additionally, we have allowed for some site porosity between both phases via a short-term surface parking area for the commercial and retail tenants. Although designed for parking, the design intent for this woonerf is to remain flexible for special event and should not feel like parking but a pedestrian thoroughfare. Appropriate use of materials will reinforce this effect.

Inherently linked to the public realm, the following themes are also critical to consider in order to successfully integrate this development within the existing urban fabric of Little Italy.

Pedestrian Experience

Creating and maintaining a strong pedestrian experience was a critical aspect for the vision of this site. Weekend or weekday, all of the streets bordering 450 Rochester are regularly used by pedestrians. Due to the inherent commercial nature of Preston and Beech Streets, it was important that our development recognize and contribute to this rich pedestrian experience by designing appropriately scaled edge conditions and with appropriate programming along those streets. Aberdeen Street, being more residential in nature, was a good place to situate both of our residential entrances for the first phase. Towards the east side of the site, Rochester Street will also see significant transformation through both the redevelopment of the site and the proposed Canada Lands redevelopment. These developments would see Rochester becoming a complete street, promoting various uses along the street with a much improved pedestrian experience.

Street Animation

Curating animated uses at the ground level is imperative in creating and maintaining a vibrant urban experience for both the existing community and our proposed development. We anticipate that some of the retail tenants will be animating the sidewalk spaces with their own programs. In addition, our proposed landscape plan proposes spaces where people can rest and interact along this animated street which will add liveliness to the pedestrian experience.

Retail Visibility

Retail visibility is critical for any commercial or retail viability. Ensuring that retailers are highly visible and are functionally supported by their required logistical requirements is critical in attracting key tenants. Creating a balance of commercial and retail uses is also important when considering the synergy of the development and existing context. Among others, the anticipated food store and liquor store will likely be welcomed features by the community.

2-BUILT FORM

The built form breaks down the massing into three distinct elements; the ground level edge condition, six-storey podium and the high-rise elements. Considering the existing and future context of the site was instrumental in developing the proposed massing for the development. The proposed massing responds the tall building corridor along Rochester Street and transition in height from Preston to Rochester. Understanding the existing and future built environment around the site allowed us to properly establish building heights and plan key functional elements for the development. The residential components offer multiple step backs and various heights will benefit from potential terrace spaces, great sun exposure and views. From street level, the articulation of the masses provides a better transition to height. In addition, both private and shared roof terraces are anticipated in both phases.

3-URBAN FABRIC

Similarly to the Built Form, the same elements are developed to address different conditions. The ground level edge condition proposes a six-metre masonry edge at grade. The generous glazing provides an open and engaging atmosphere at ground level which provides strong retail visibility and animates the street edge. The six-storey podium is created by a strong red brick datum line across the site. The red masonry echoes the heritage buildings East of the site which served as inspiration when considering materiality and form.

To contrast the six-storey masonry podium, the high-rise elements above the sixth floor will be composed of lighter materials which will complement the height and massing of the residential towers.

4-PARKING & SERVICING

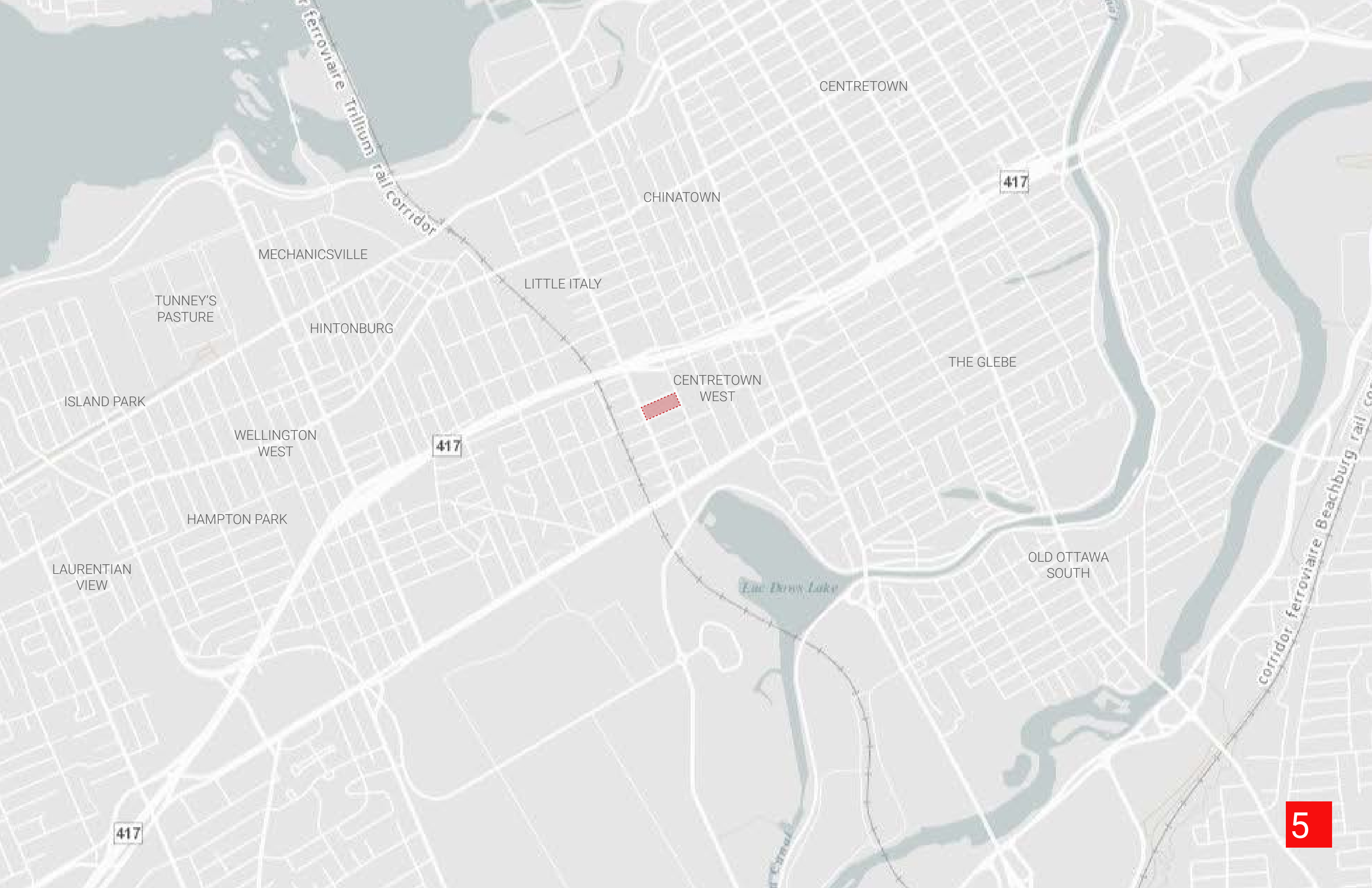
We are proposing a two-story underground parking garage which would provide parking for both the public and the residents. Access to a public elevator and stairs to the parking garage will be provided on Beech Street and is shared between both major tenants on the ground floor. Access to the parking garage has been located off of the central woonerf between both phases. A temporary loading bay for tenants is also located next to the parking garage entrance. The commercial loading area for the large commercial/retail spaces will be located at the north west corner of the lot off of Aberdeen. This will minimize congestion on Preston and Beech street.

To conclude, we believe that this development will bring many positive elements to Little Italy and that the redevelopment of 450 Rochester is the missing piece toward a truly great neighborhood. Ambitiously, we see this becoming the new heart of Little Italy.

Thank you.

450 ROCHESTER

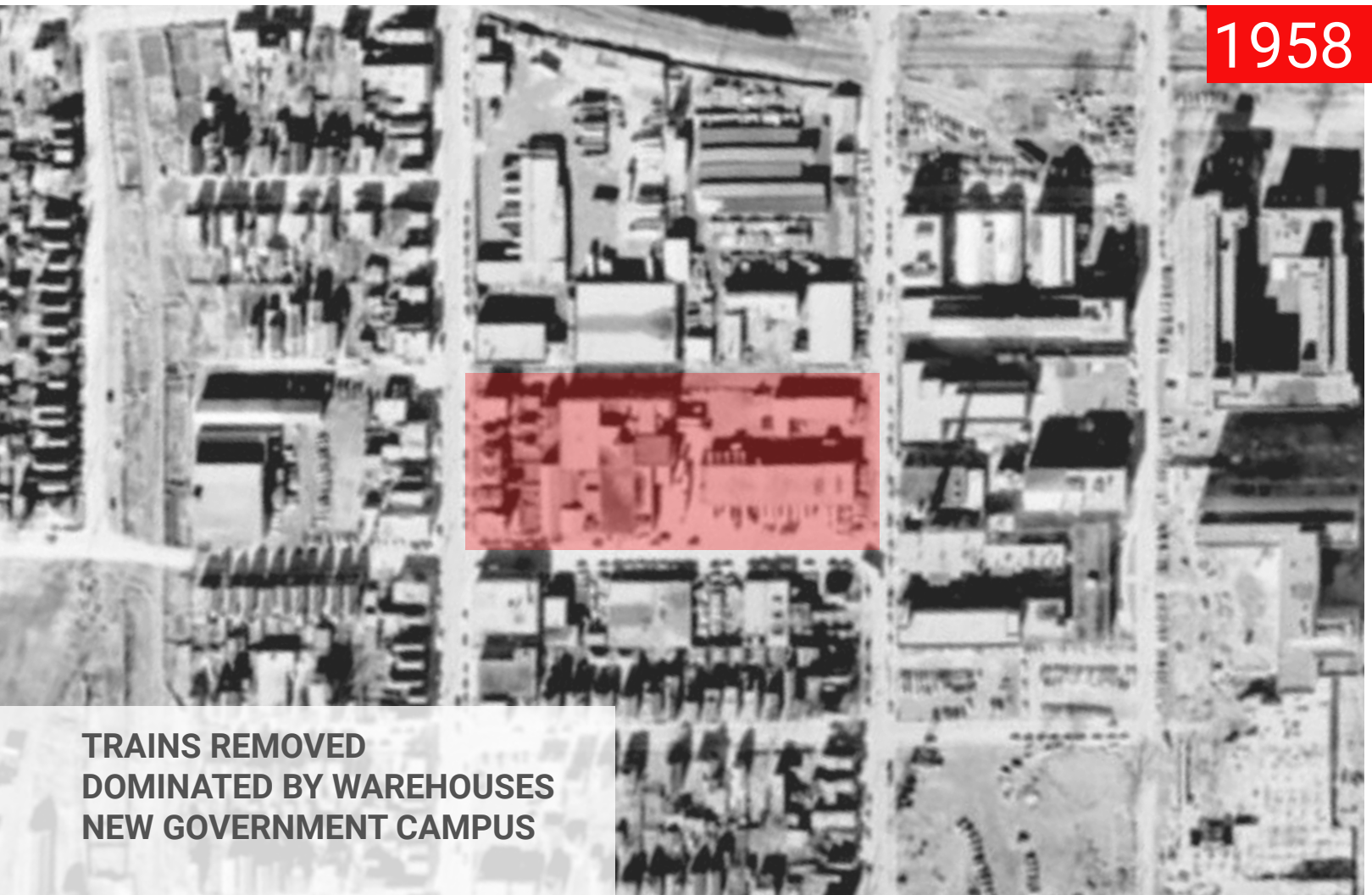
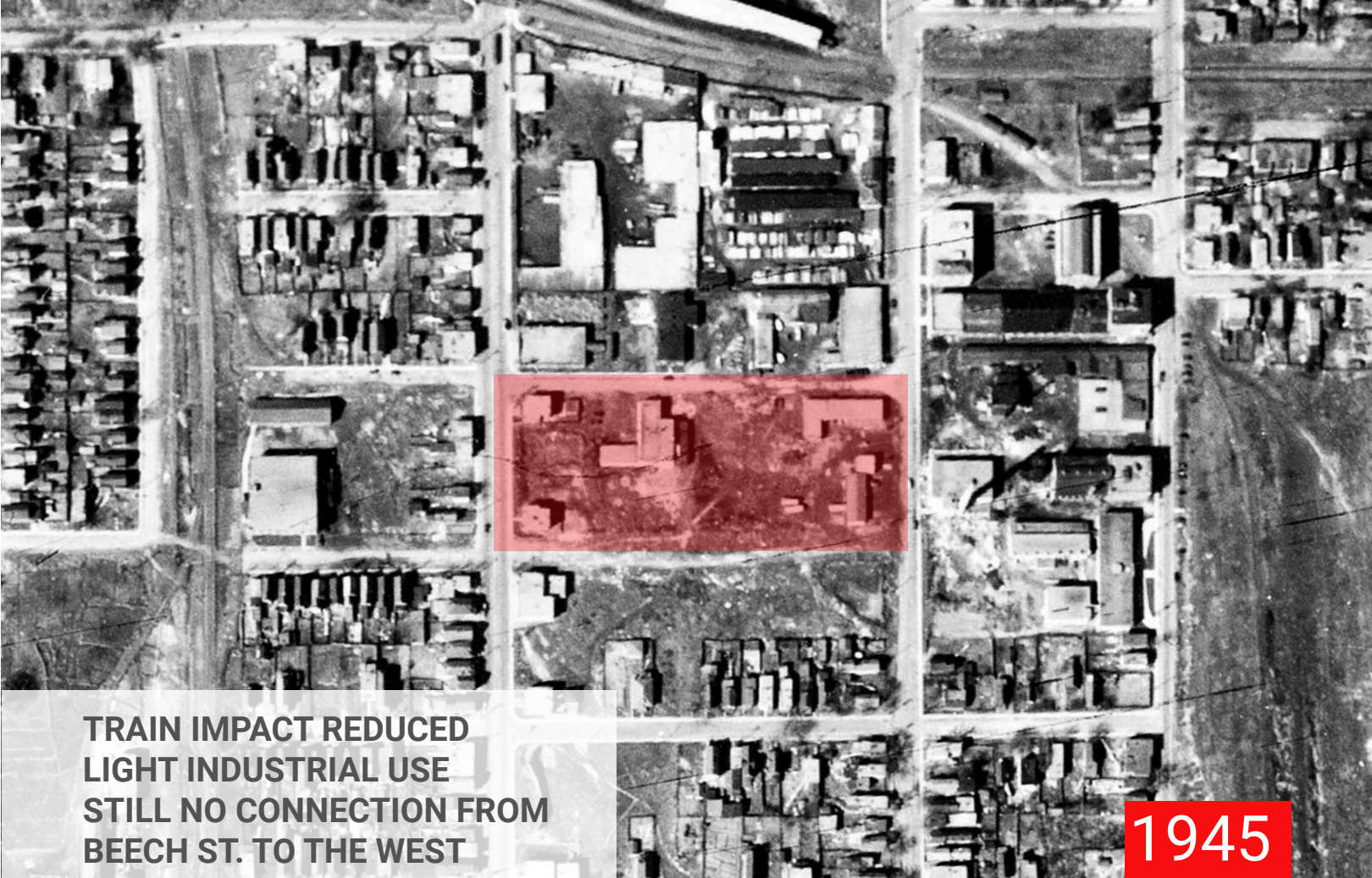


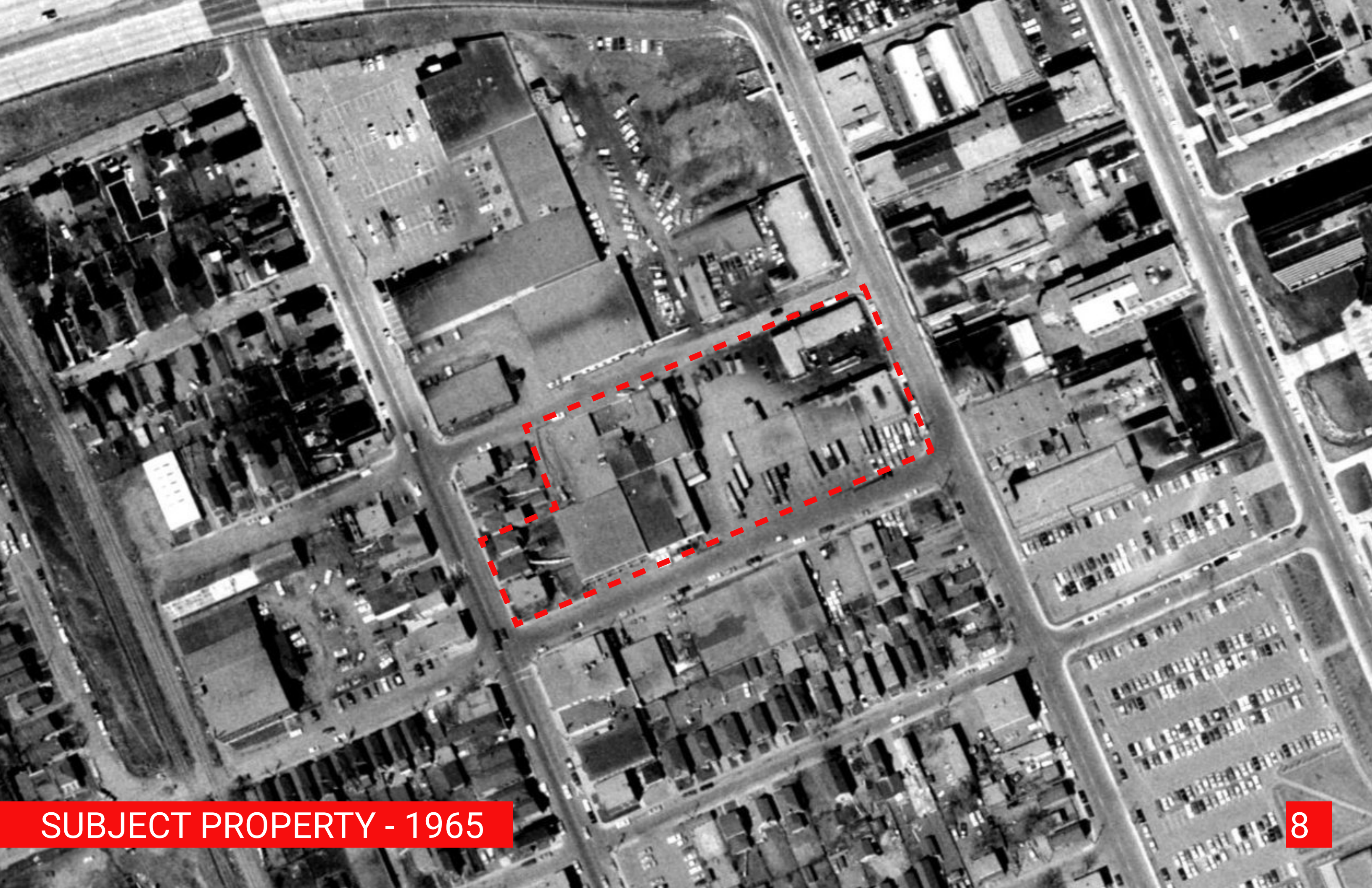




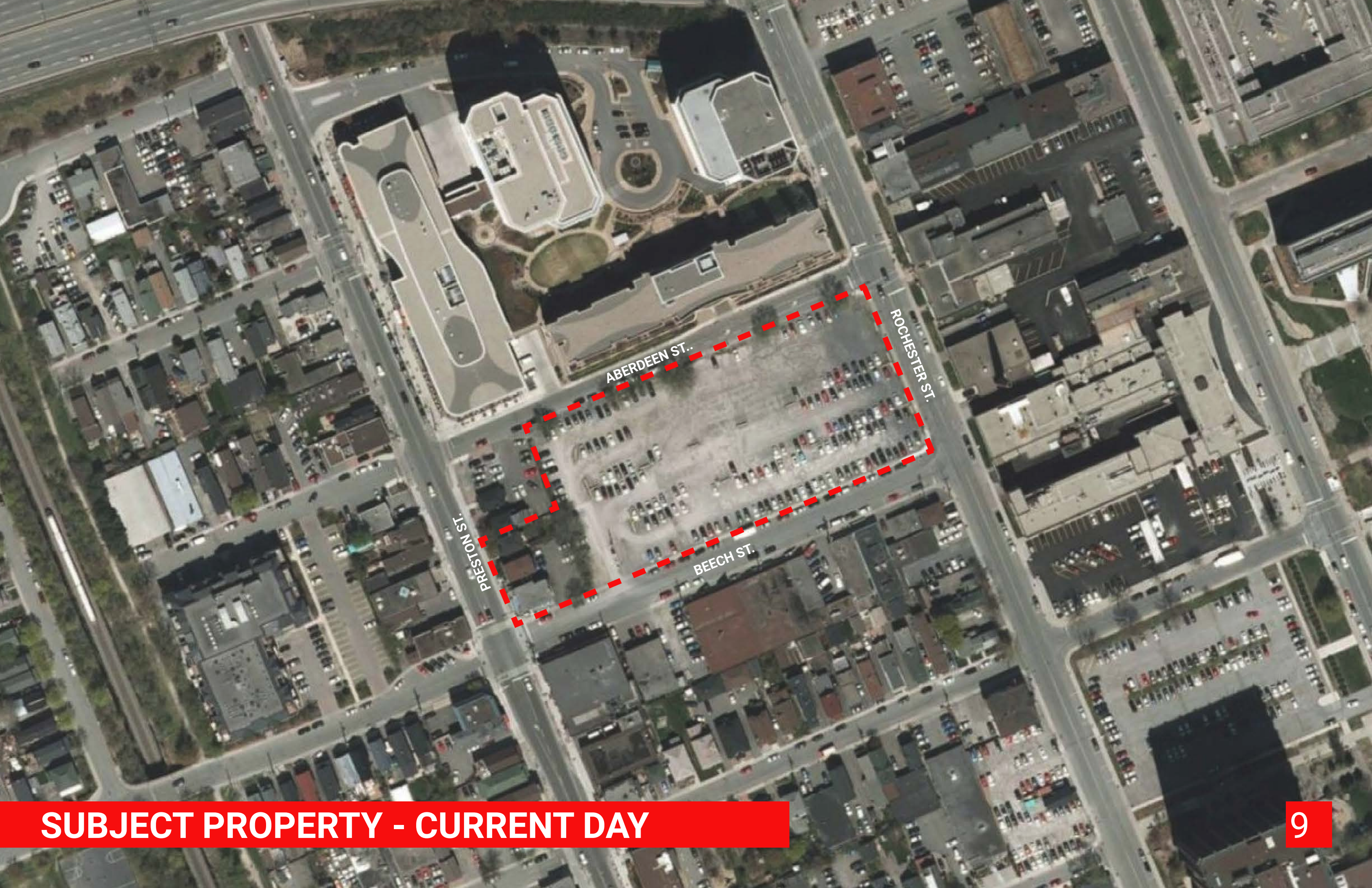
1928 PROJECT LOCATION

HISTORIC PHOTOS

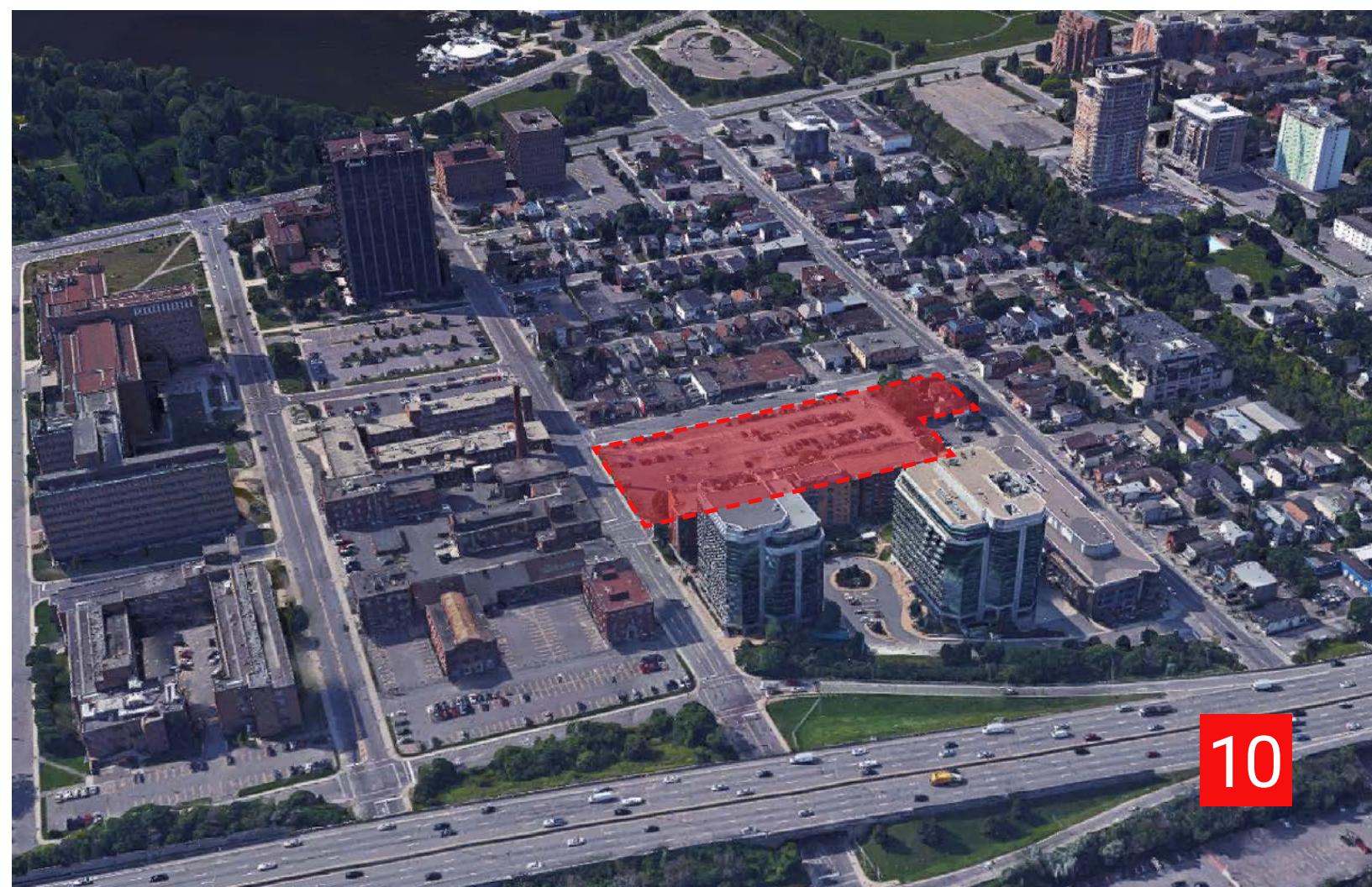
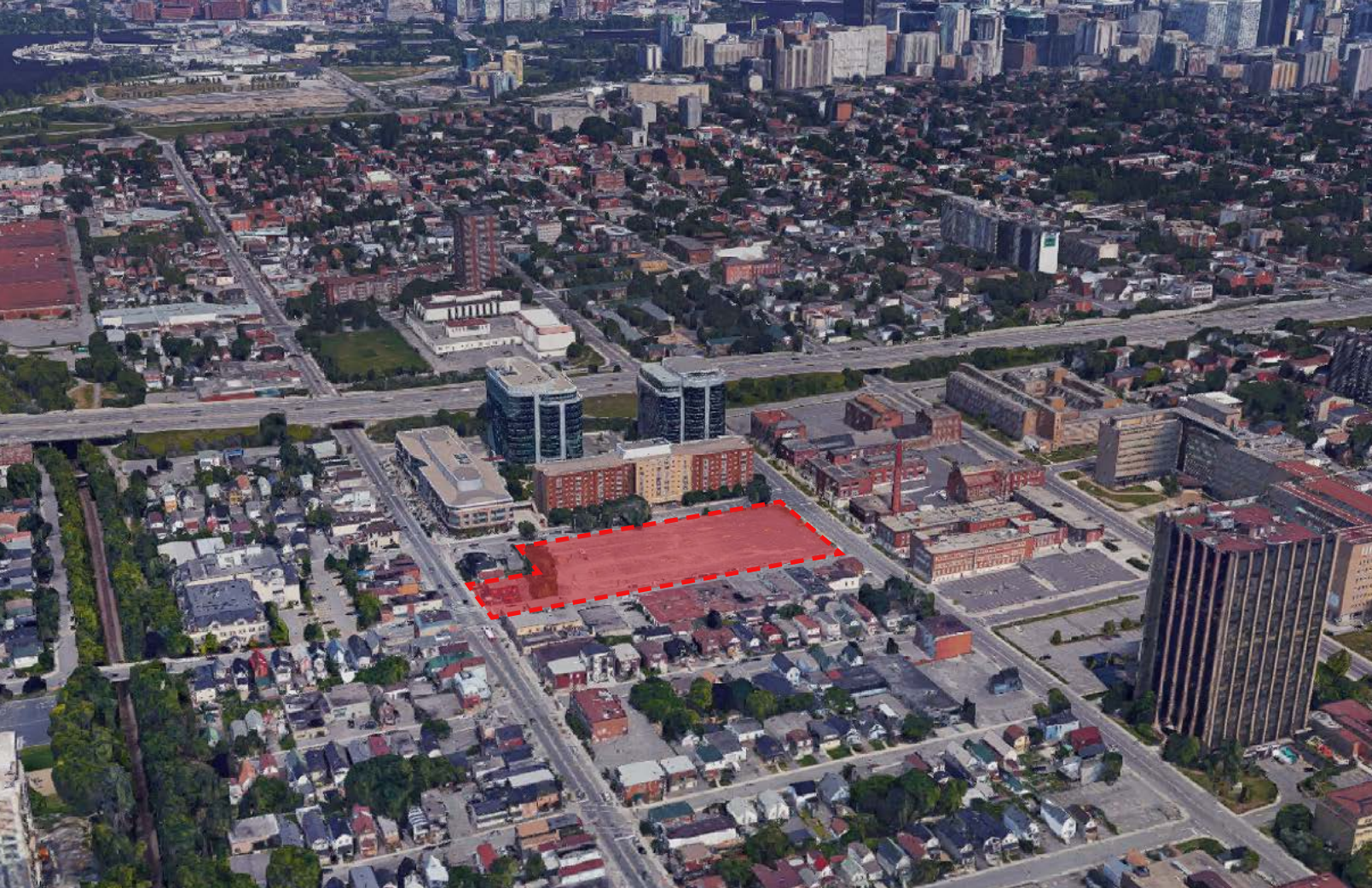




SUBJECT PROPERTY - 1965



SUBJECT PROPERTY - CURRENT DAY



SITE CONTEXT

Preston-Carling District / Secteur Preston-Carling

SECONDARY PLAN - Volume 2A
Schedule B - Height and Tower Location

PLAN SECONDAIRE - Volume 2A
Annexe B - Hauteur

- Preston-Carling District Secondary Plan Boundary /
Limite du Plan secondaire du secteur Preston-Carling
- Site for Nationally Significant Building /
Site propice à la construction d'un bâtiment
d'importance nationale
- O-Train / LRT Station /
Station de l'O-Train ou de train léger
- Open Space / Espace libre
- Greenway / Couloir de verdure existant
- Future Greenway / Couloir de verdure futur
- Neighbourhood Line / Ligne de quartier
- Potential High Profile Building Location /
Emplacement possible d'un bâtiment de grande hauteur

HEIGHT / HAUTEUR

MAXIMUM BUILDING HEIGHTS / HAUTEURS MAXIMALES DES IMMEUBLES

- 4 storeys / étages
- 6 storeys / étages
- 9 storeys / étages
- 15 storeys / étages
- 18 storeys / étages
- 20 storeys / étages
- 25 storeys / étages
- 30 storeys / étages
- 31+ storeys / étages

City of Ottawa Official Plan
Consolidation and Amendments
Ville d'Ottawa Plan officiel
Amendement au plan directeur approuvé
OMB Decision / Décision de la CAMO PL141147, PL141223 (March 2016)
#183 (04/2017)



KEY DESIGN NARRATIVES


GREEN SPACE CONNECTION

PUBLIC REALM

BUILT FORM

URBAN FABRIC

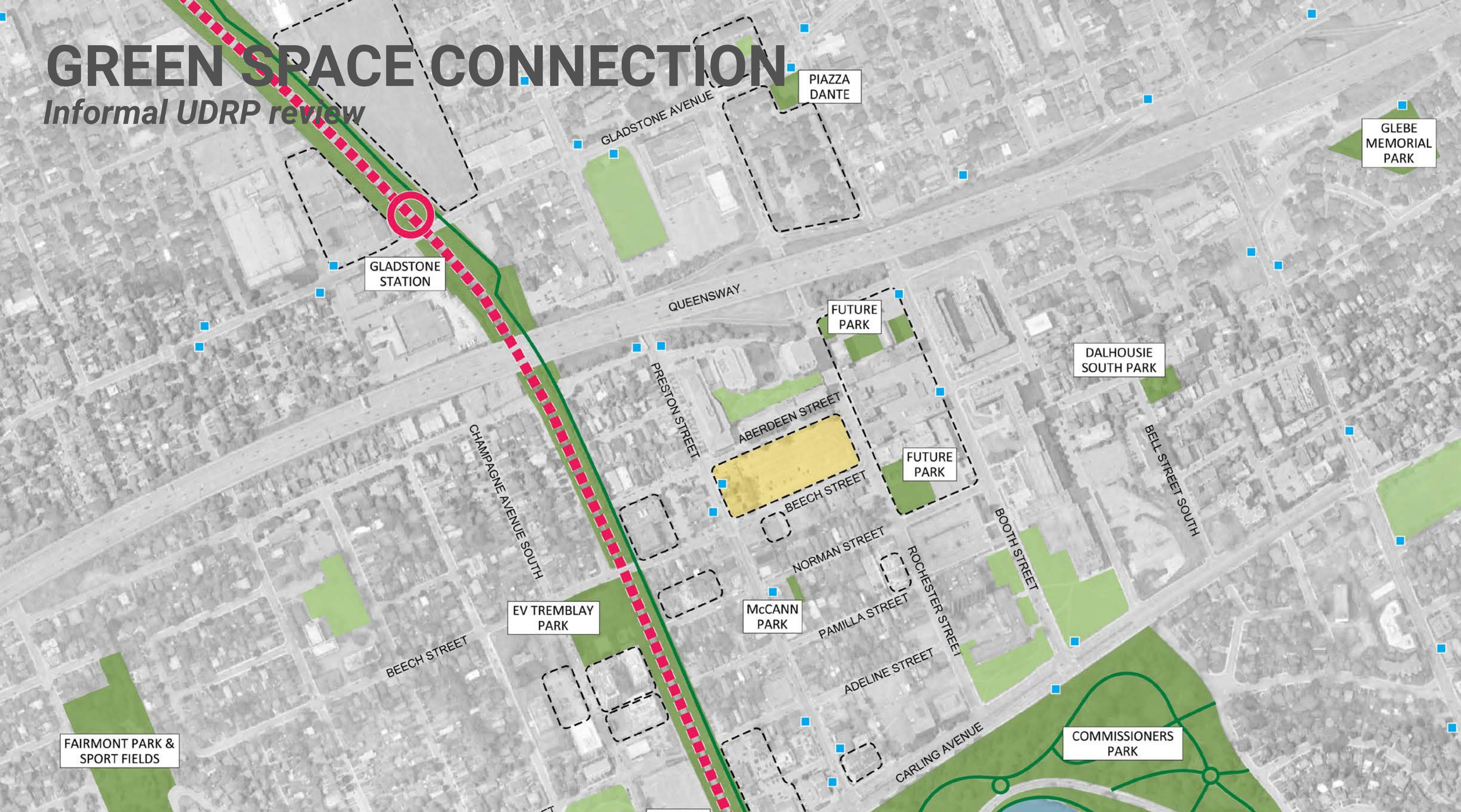
GREEN SPACE CONNECTION

The background of the slide is a detailed architectural sketch of a modern multi-story building. The building features a prominent green roof with various terraces and plantings. The ground floor has large glass windows and doors, with people walking on the sidewalk in front. There are trees and landscaping along the street, and a car is parked on the right side. The sketch is rendered in a light, airy style with fine lines and soft shading.

“It is critical to consider the hierarchy of streets, public spaces and linkages between these spaces to ensure that the development is not designed in isolation, but rather in a manner that relates to its current and future context.” *From informal UDRP review*

GREEN SPACE CONNECTION

Informal UDRP review



CONTEXT MAP TO SURROUNDING GREEN SPACES,
PARKS, M.U.P. AND PUBLIC SPACES

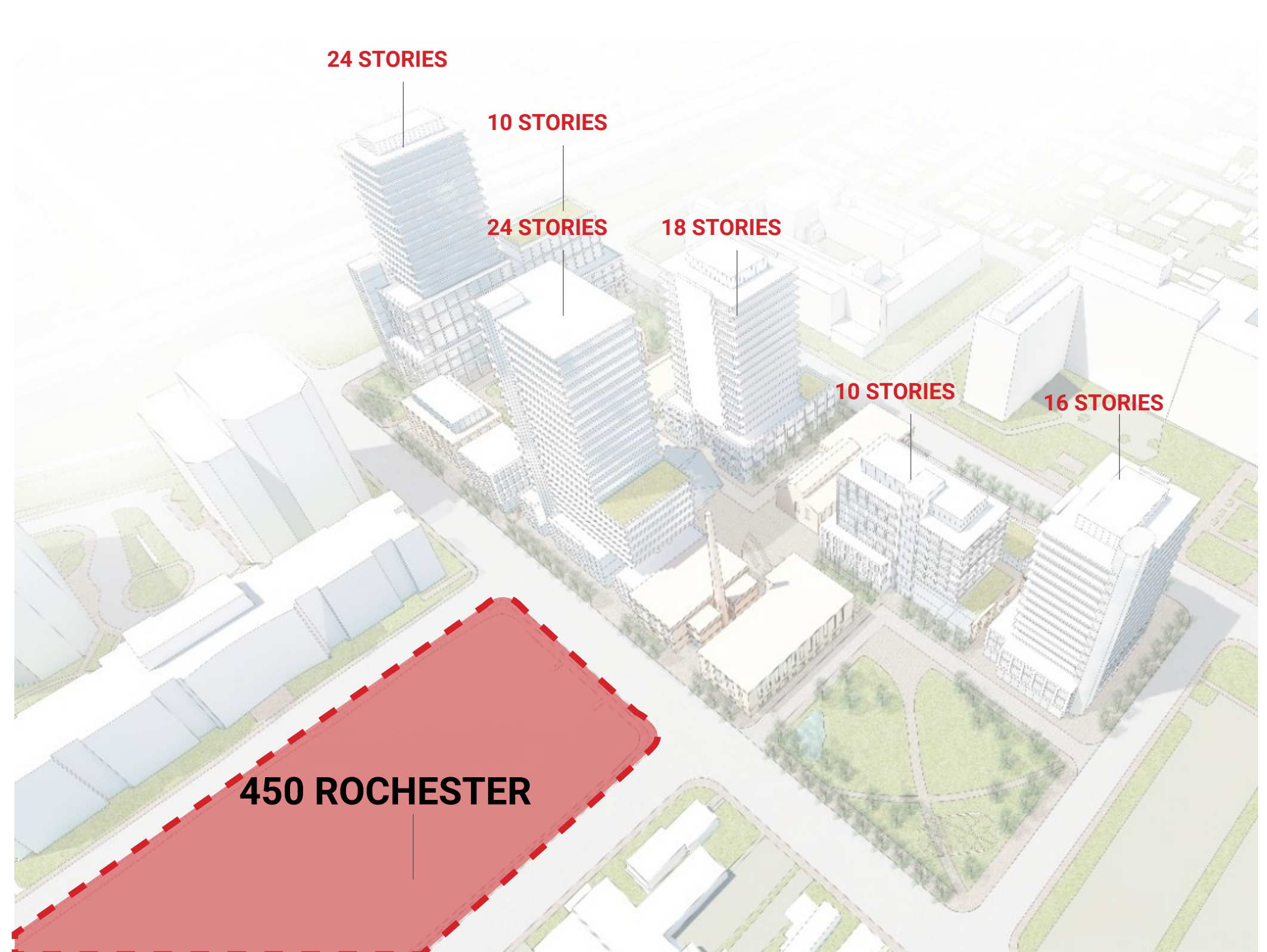
GREEN SPACE CONNECTION

Informal UDRP review



PEDESTRIAN CONNECTIONS TO SURROUNDING GREEN SPACES, PARKS, M.U.P. AND PUBLIC SPACES

GREEN SPACE CONNECTION

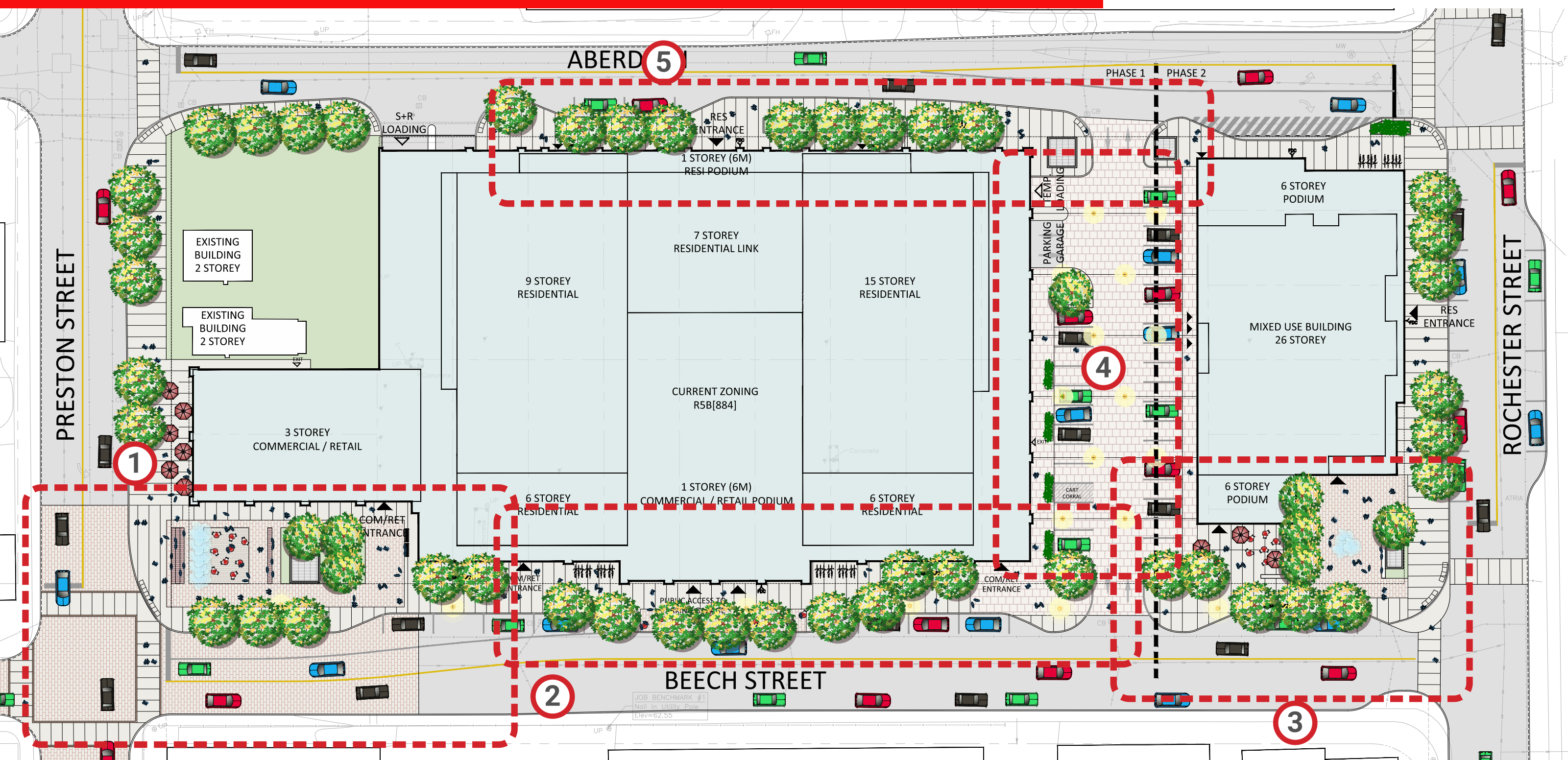


PUBLIC REALM



- CREATE FLEXIBLE PUBLIC SPACES THAT HAVE THE ABILITY TO HOST LOCAL CULTURAL EVENTS
- PROVIDE QUALITY EXTERIOR SPACES FOR COMMUNITY ENJOYMENT.
- EMPHASIS ON PEDESTRIAN EXPERIENCE AND STREET ANIMATION ARE KEY FACTORS TO A SUCCESSFUL PUBLIC REALM

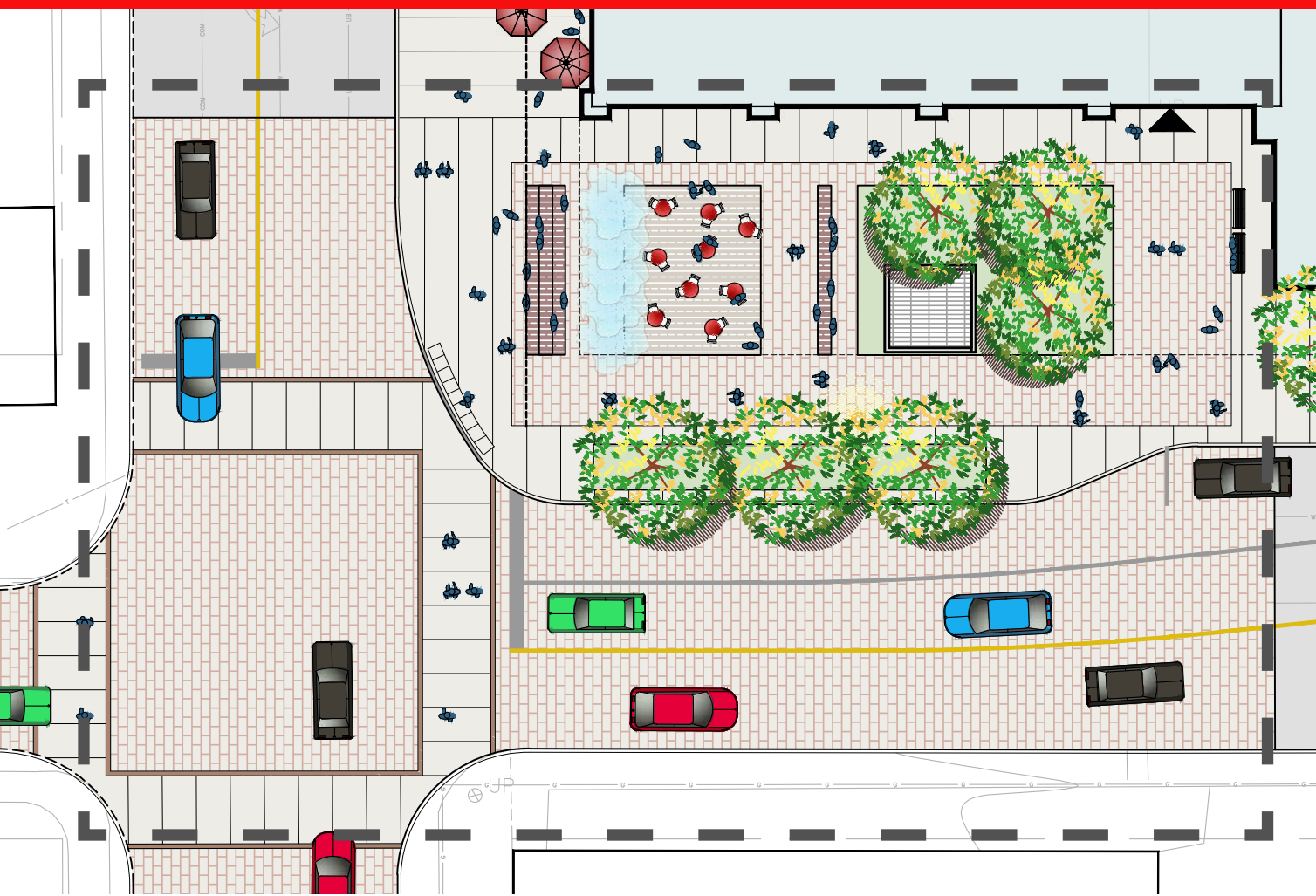
IDENTIFICATION OF 5 IMPORTANT PUBLIC SPACES



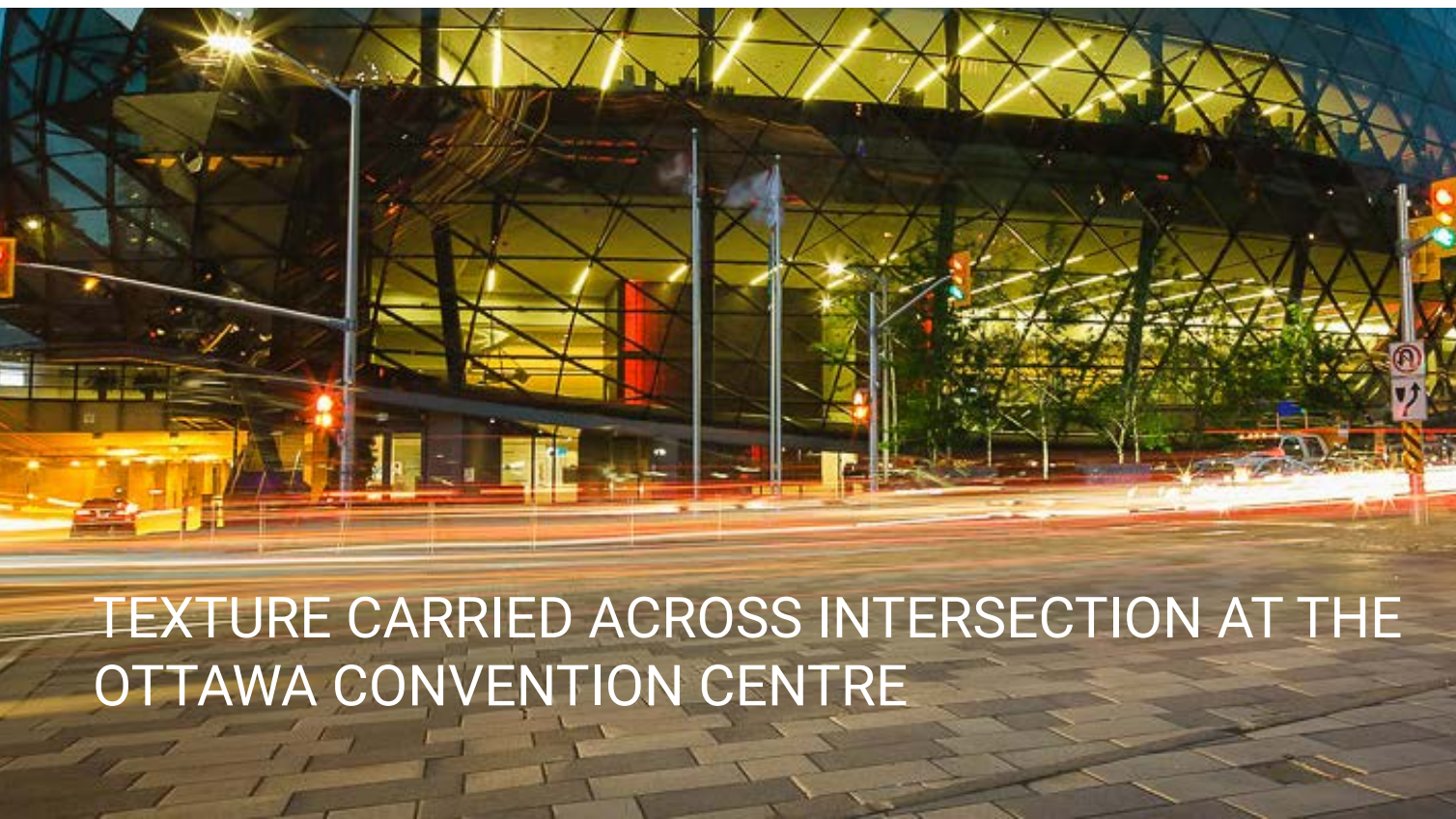
1-PRESTON & BEECH STREET PLAZA
2-BEECH STREET PROMENADE
3-BEECH & ROCHESTER STREET PLAZA

4-ABERDEEN AND BEECH STREET CONNECTION
5-ABERDEEN STREET

1-PRESTON & BEECH STREET PLAZA



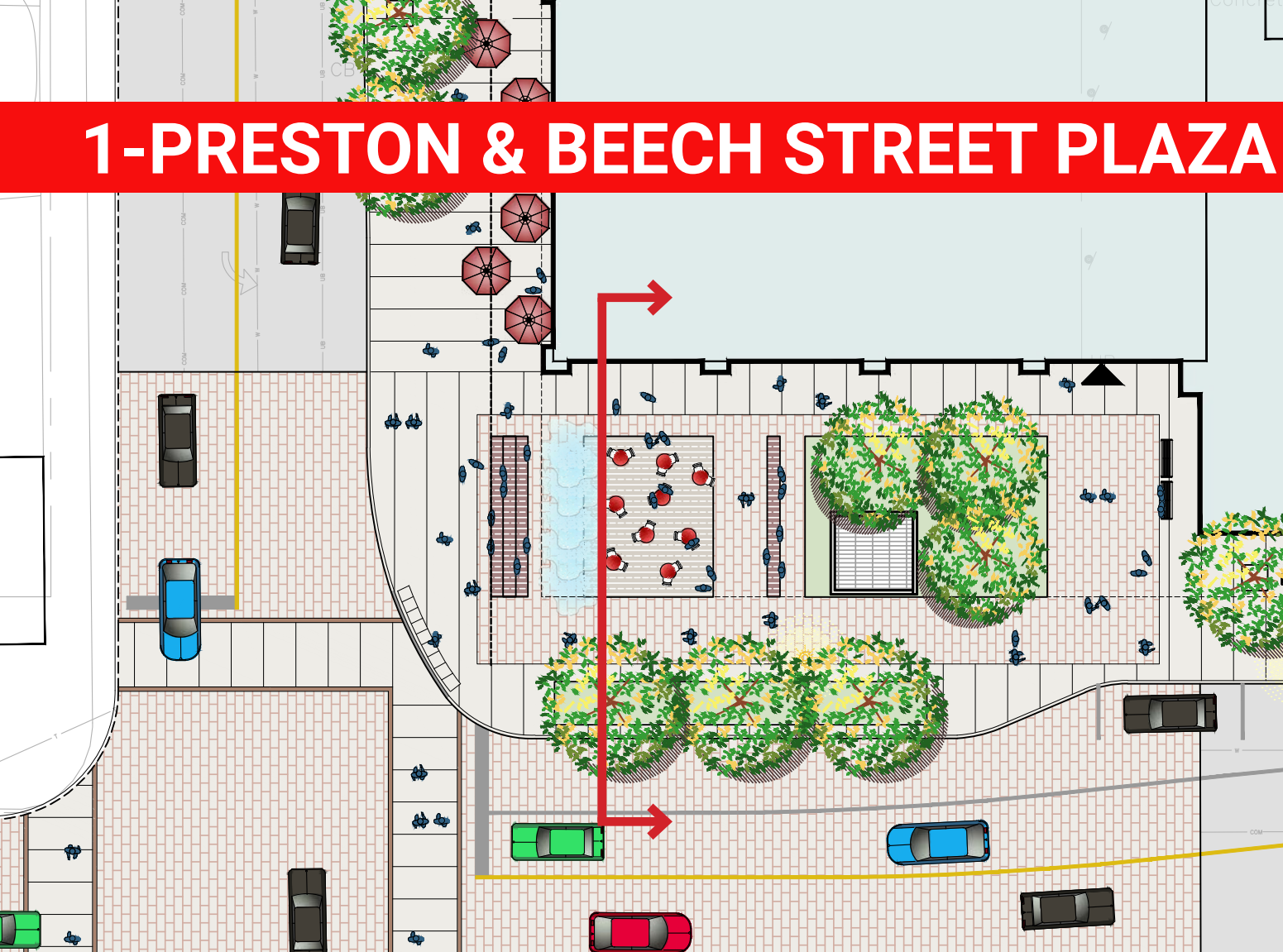
PROPOSED LARGER TEXTURAL TREATMENT OVER INTERSECTION TO INFER MUCH LARGER PLAZA



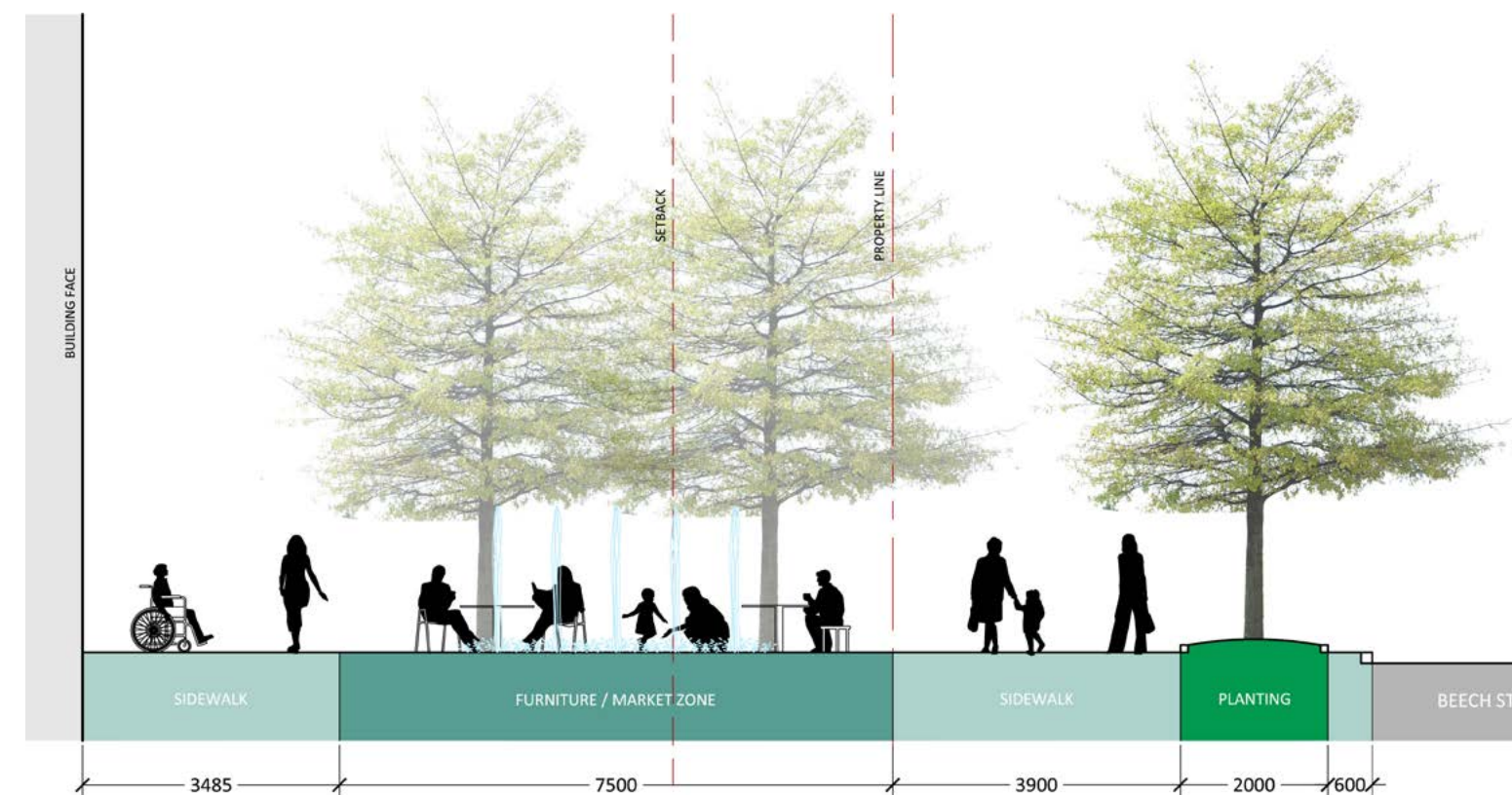
TEXTURE CARRIED ACROSS INTERSECTION AT THE OTTAWA CONVENTION CENTRE



1-PRESTON & BEECH STREET PLAZA

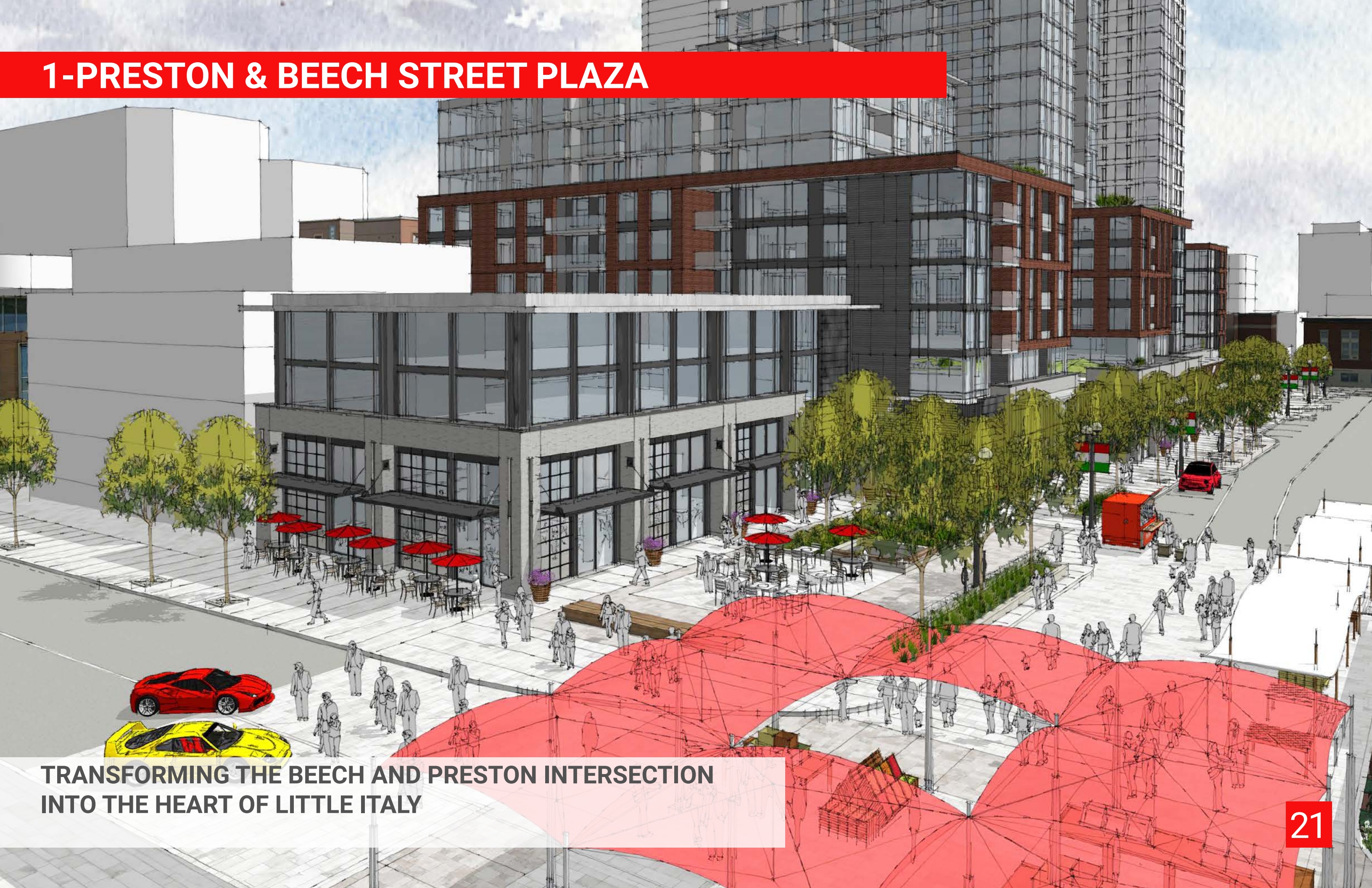


- LARGE FLEXIBLE PLAZA CAN ACCOMMODATE VARIOUS EVENTS AND ACTIVITIES.
- SUPPORTS COMMERCIAL CHARACTER OF PRESTON AND BEECH STREET

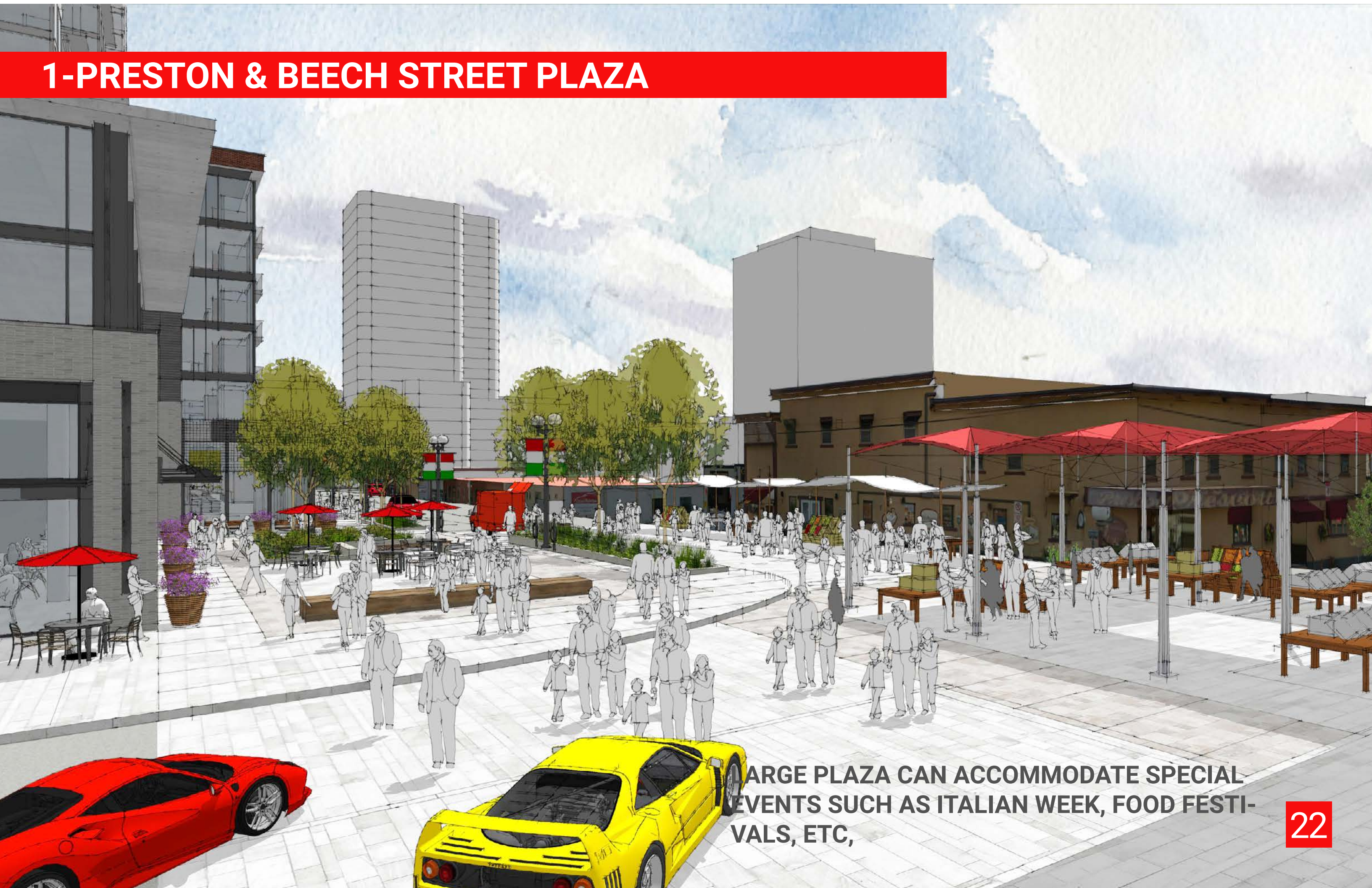


1-PRESTON & BEECH STREET PLAZA

TRANSFORMING THE BEECH AND PRESTON INTERSECTION
INTO THE HEART OF LITTLE ITALY



1-PRESTON & BEECH STREET PLAZA

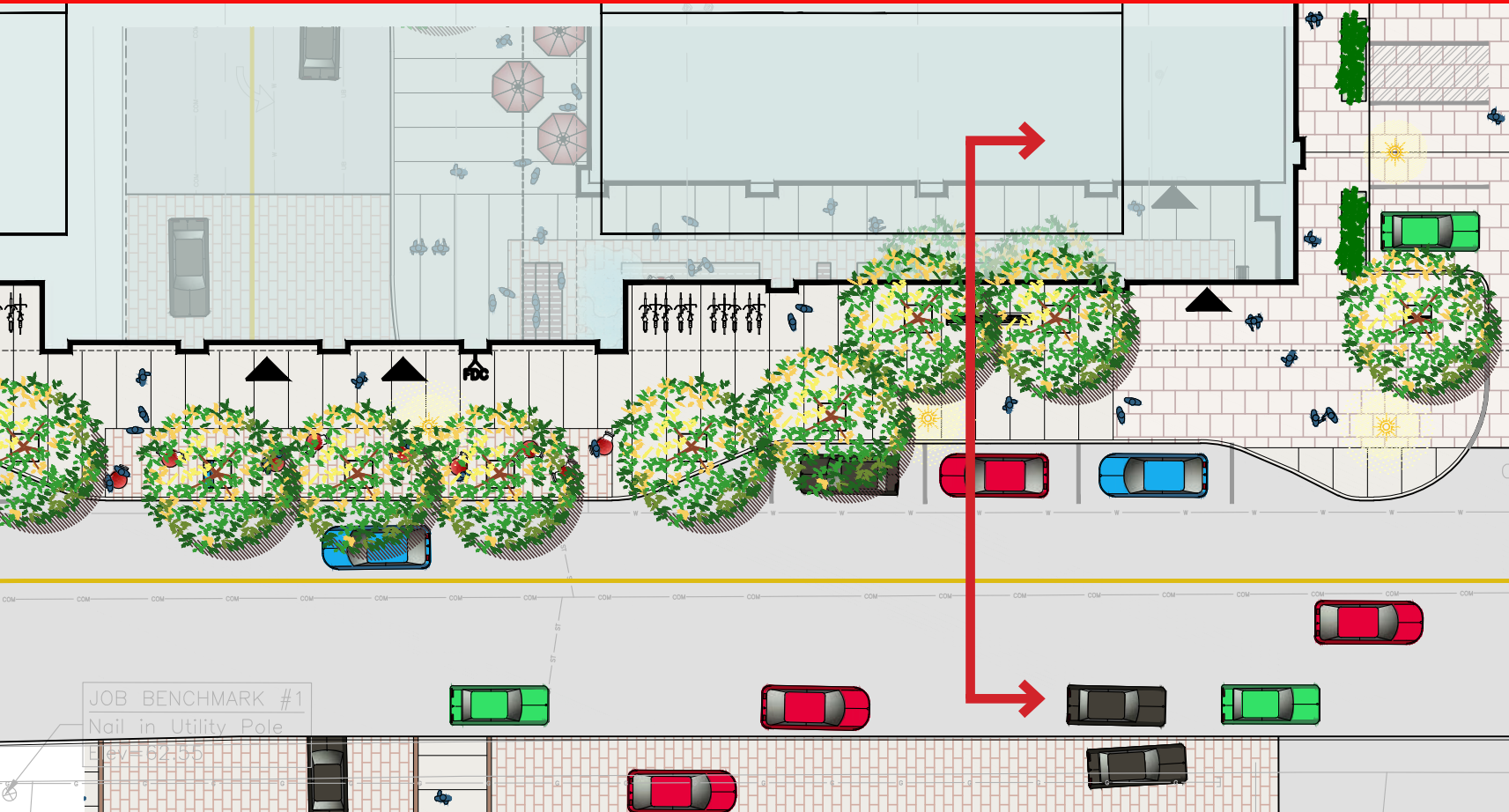


LARGE PLAZA CAN ACCOMMODATE SPECIAL
EVENTS SUCH AS ITALIAN WEEK, FOOD FESTI-
VALS, ETC,

1-PRESTON & BEECH STREET PLAZA

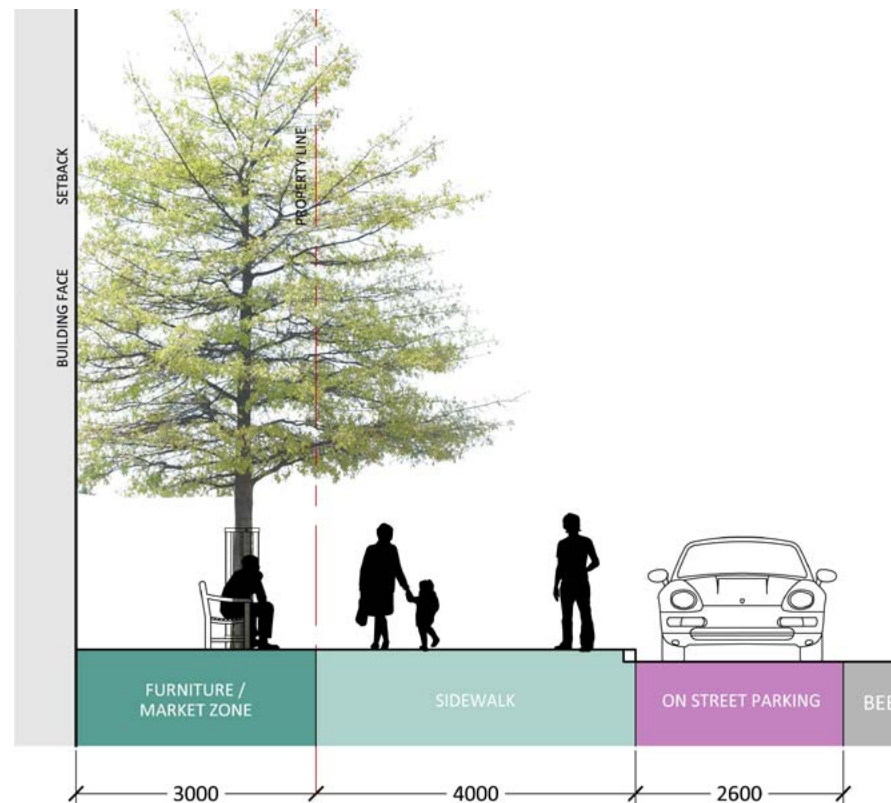


2-BEECH STREET PROMENADE

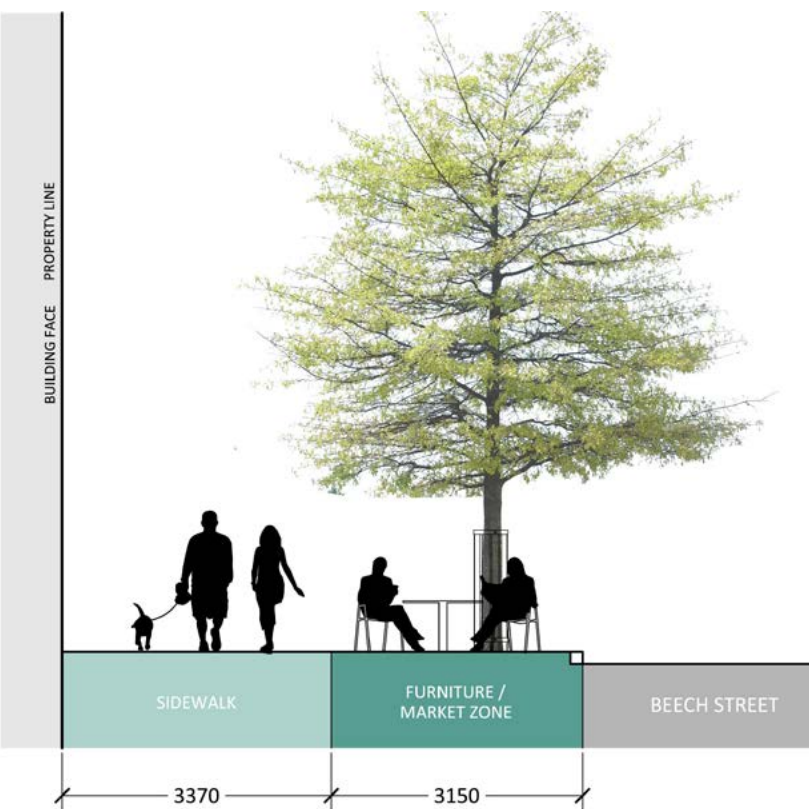
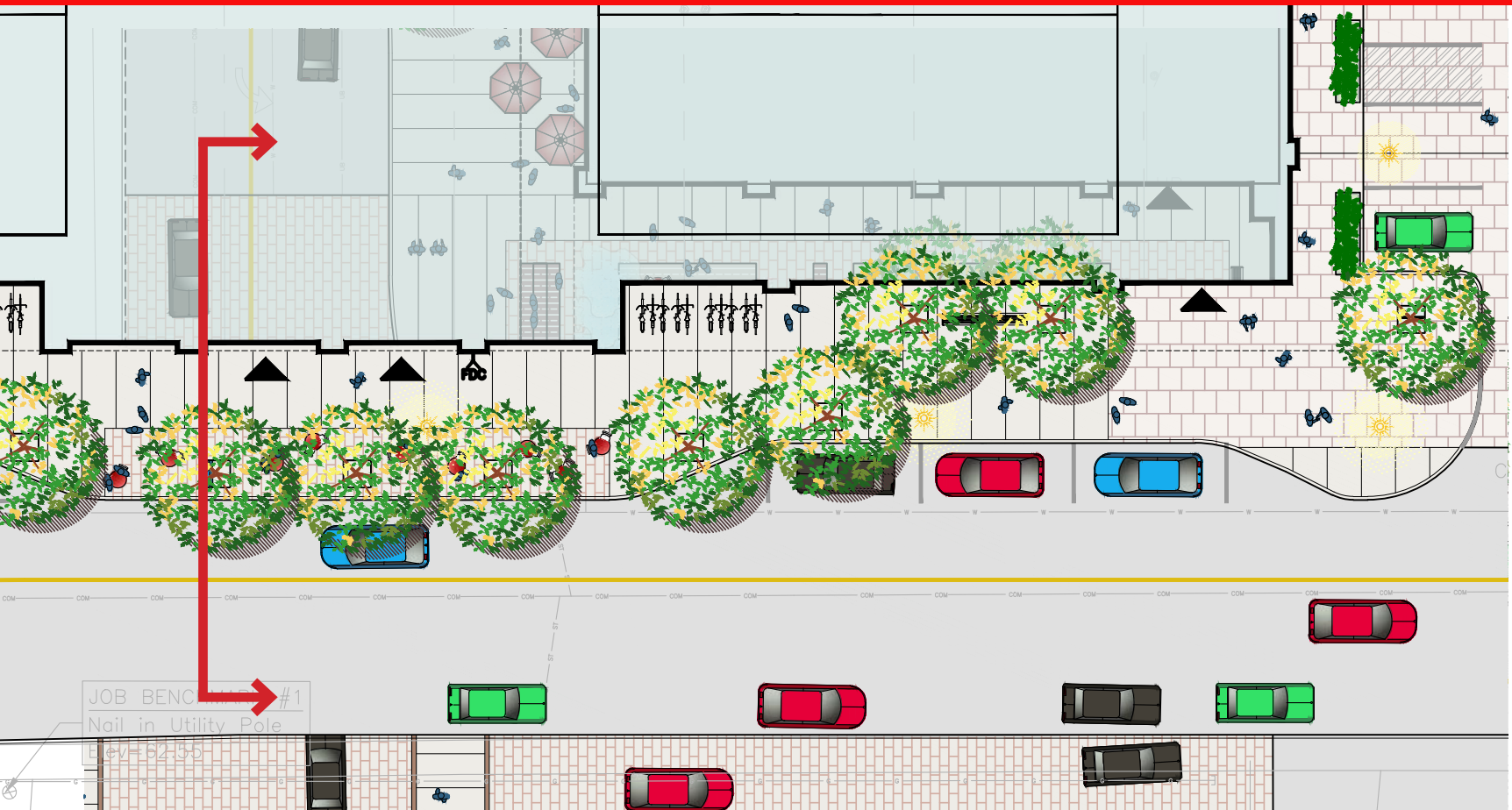


**-CREATE LINEAR PARK
THAT CONNECTS BOTH
CORNER PLAZA'S**

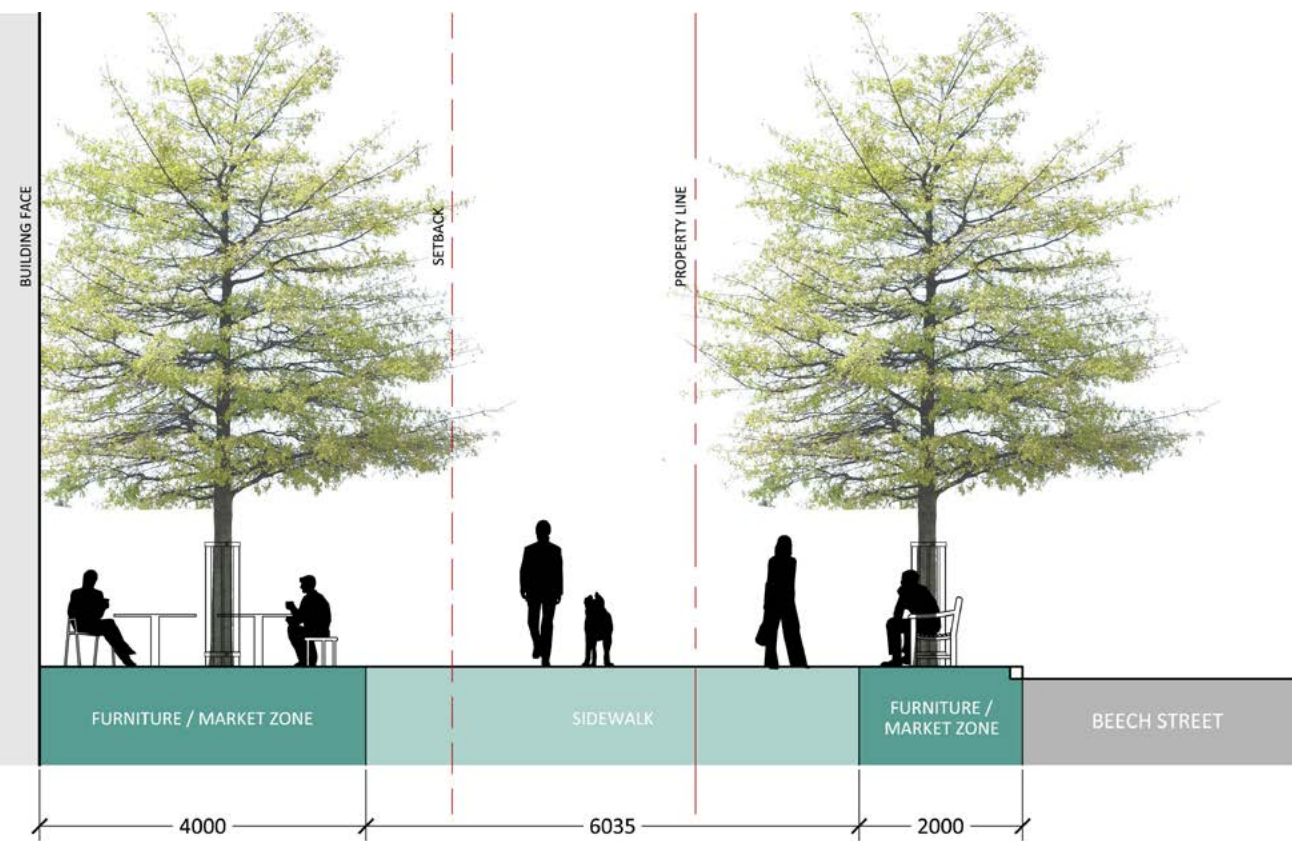
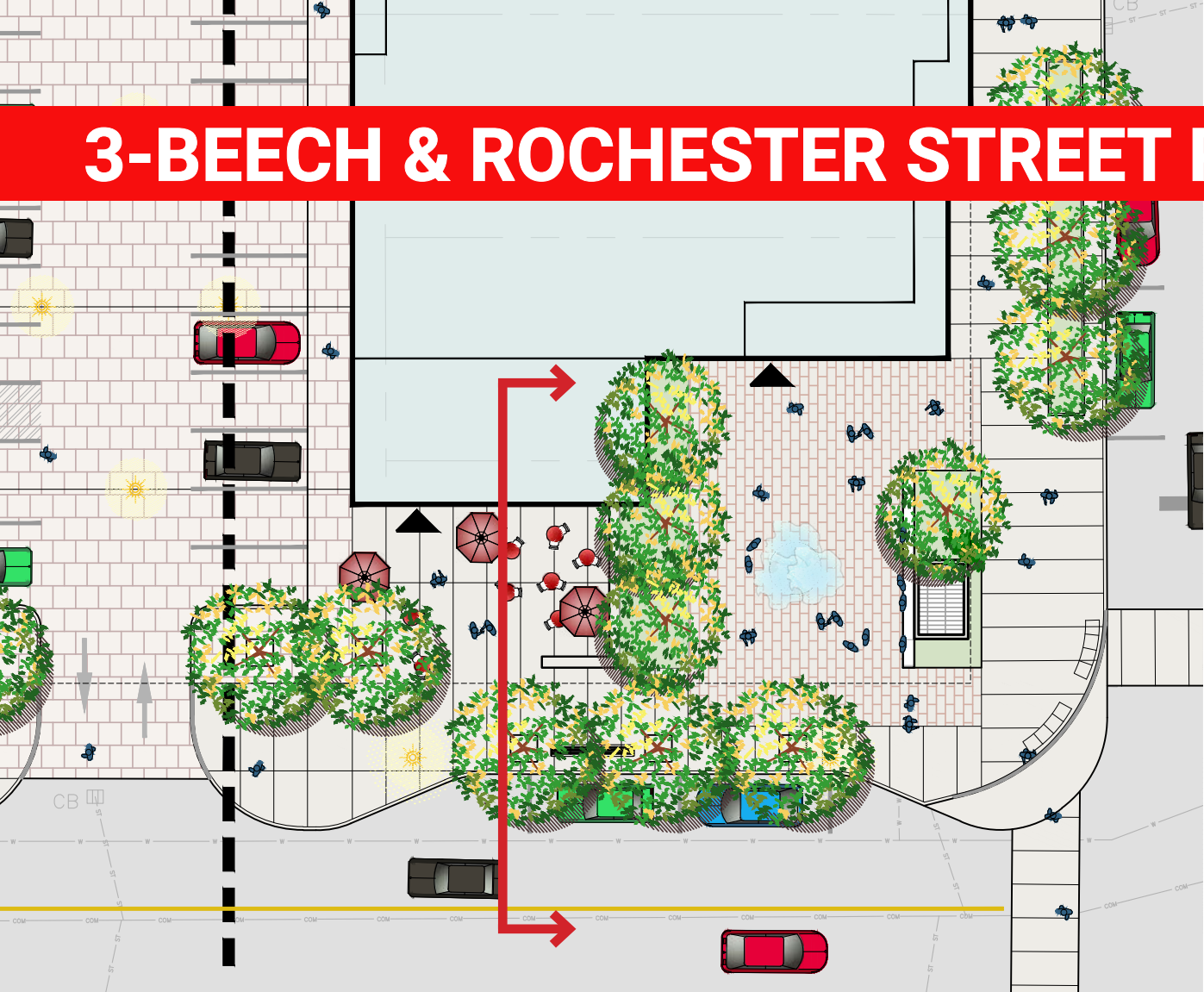
**- WIDER SIDEWALK SPACE
TO ACCOMMODATE
LANDSCAPE TREATMENT
THAT ENRICHES THE PE-
DESTRIAN EXPERIENCE**



2-BEECH STREET PROMENADE

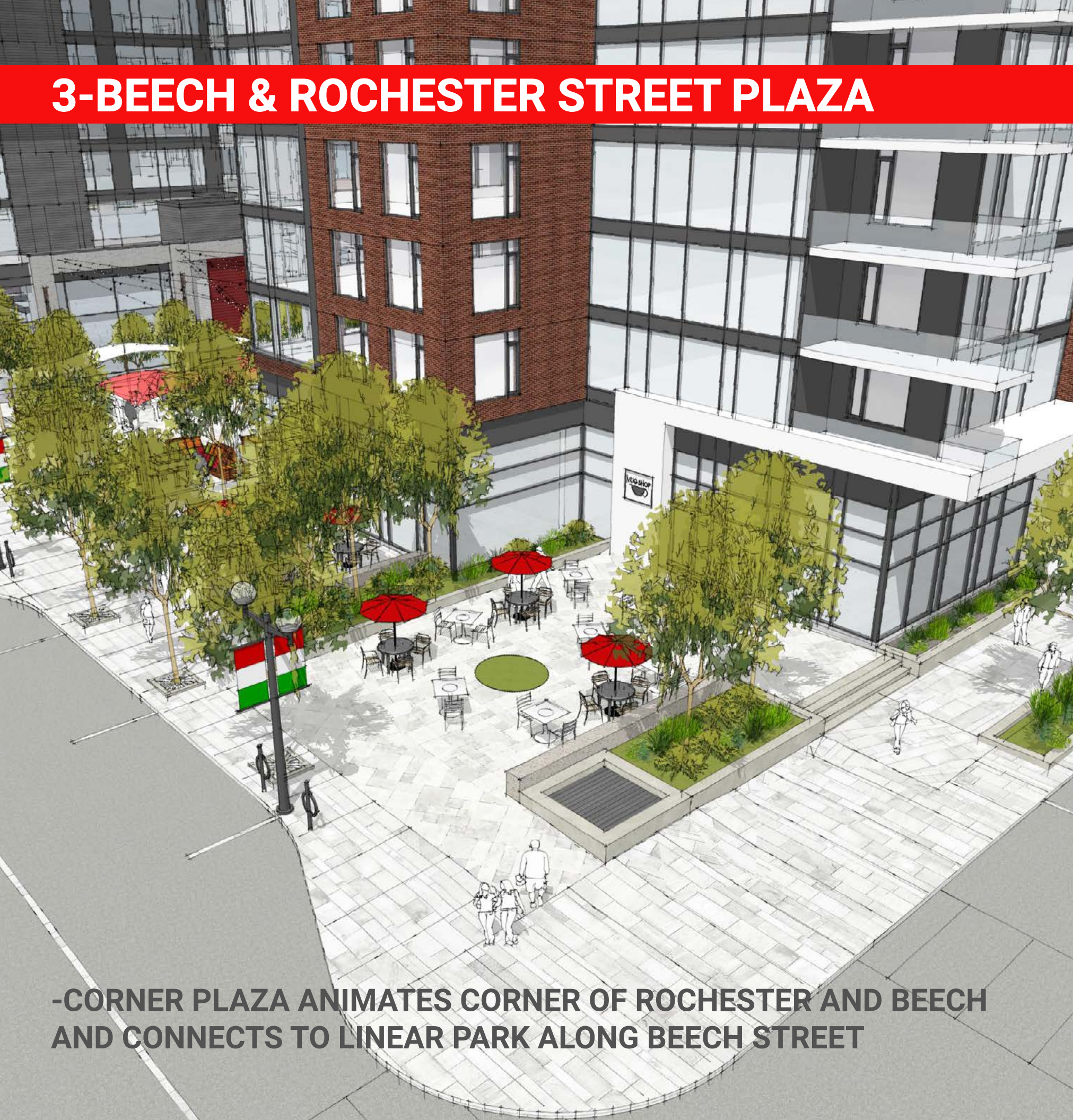


3-BEECH & ROCHESTER STREET PLAZA



-CORNER PLAZA ANIMATES CORNER OF ROCHESTER AND BEECH
-CREATES DESIRABLE EXTERIOR SPACE FOR BOTH PUBLIC AND RETAILERS

3-BEECH & ROCHESTER STREET PLAZA



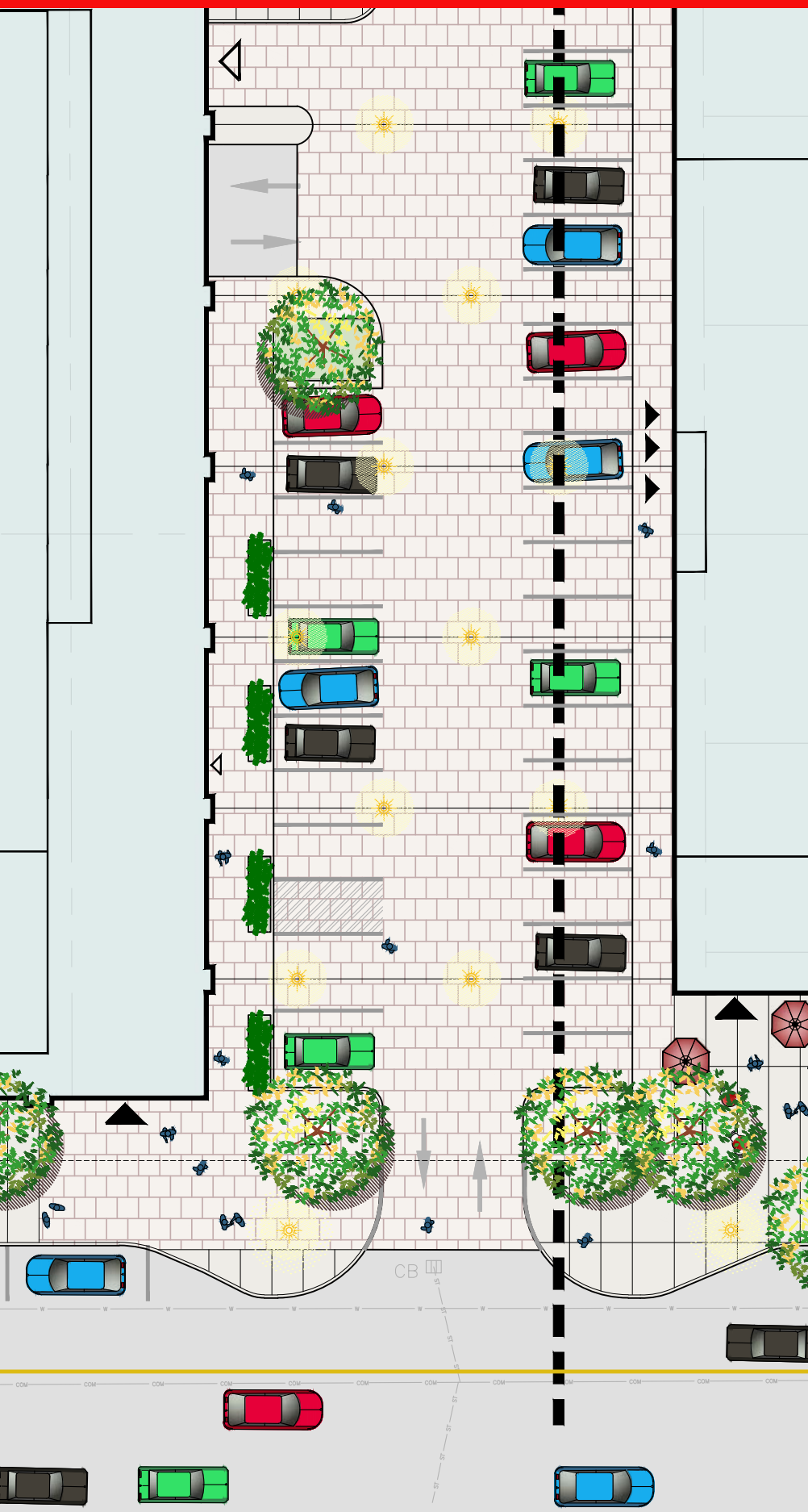
-CORNER PLAZA ANIMATES CORNER OF ROCHESTER AND BEECH
AND CONNECTS TO LINEAR PARK ALONG BEECH STREET



3-BEECH & ROCHESTER STREET PLAZA



4-ABERDEEN & BEECH STREET CONNECTION

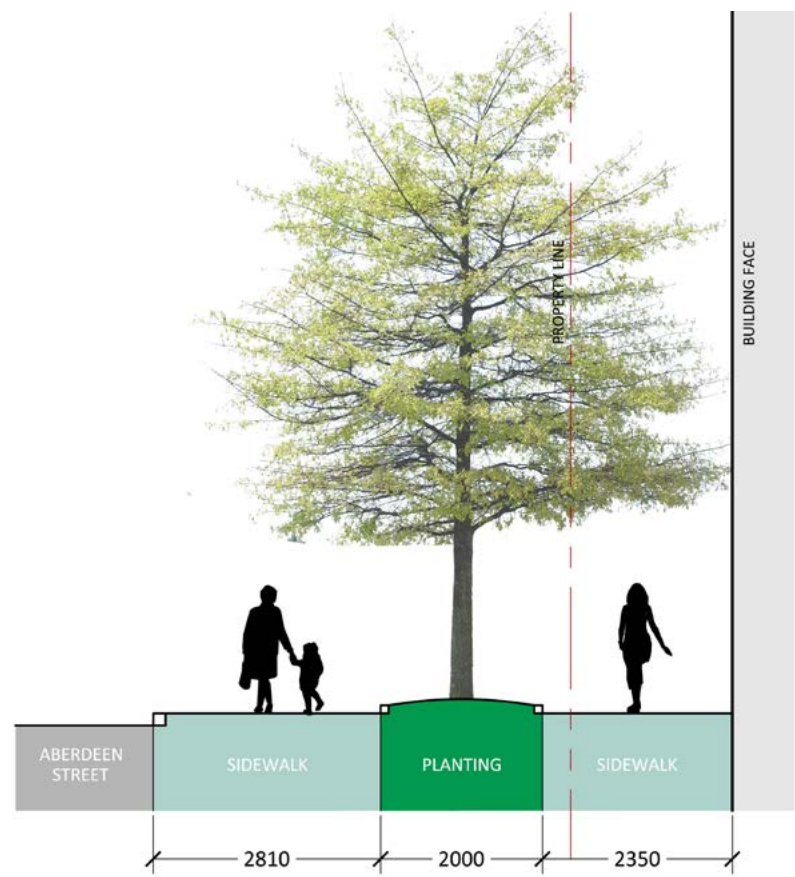
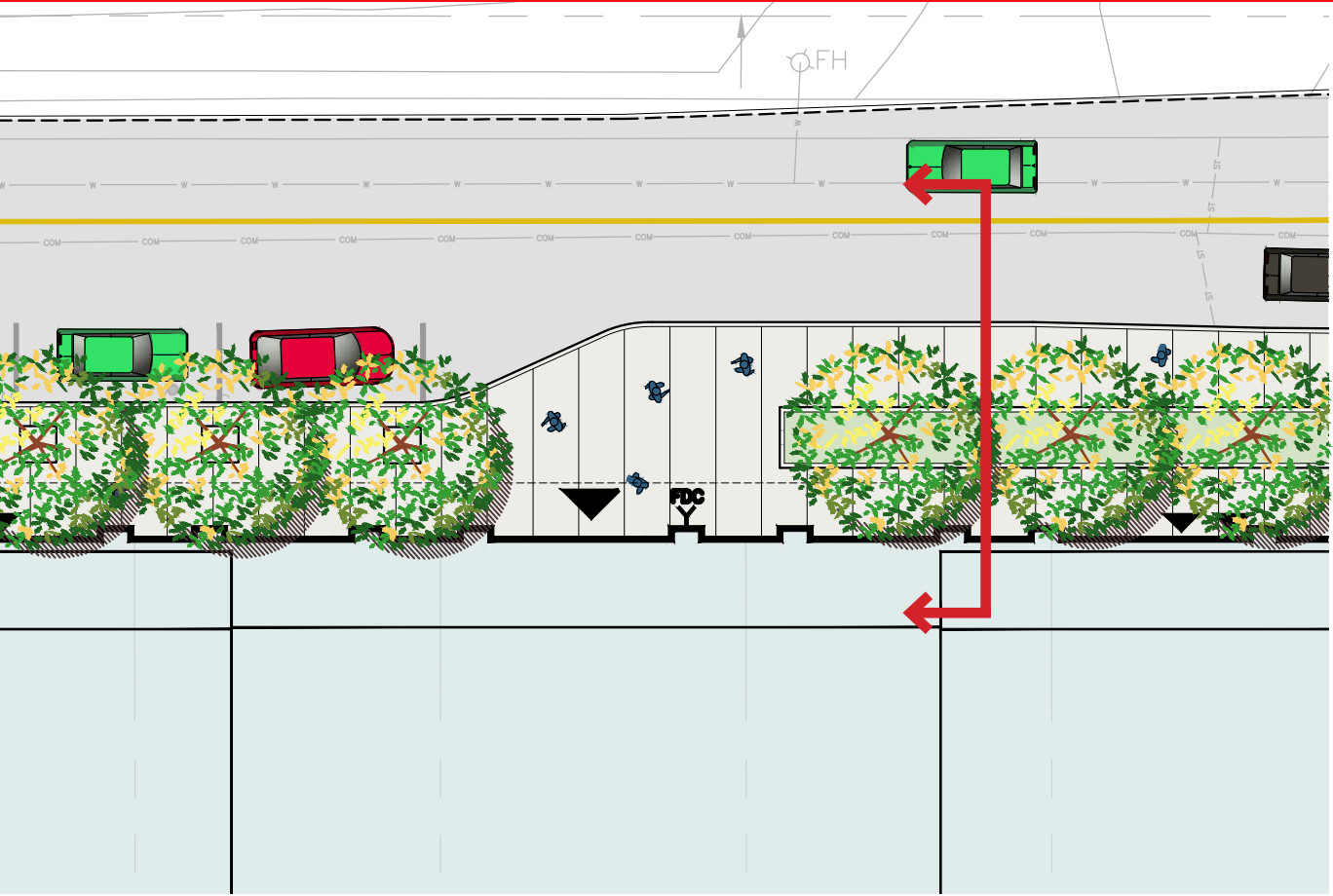


-AVOID TYPICAL PARKING CHARACTER
-TEXTURED SURFACE TREATMENT
-FLEXIBLE FOR POTENTIAL EVENTS

4-ABERDEEN & BEECH STREET CONNECTION



5-ABERDEEN STREET





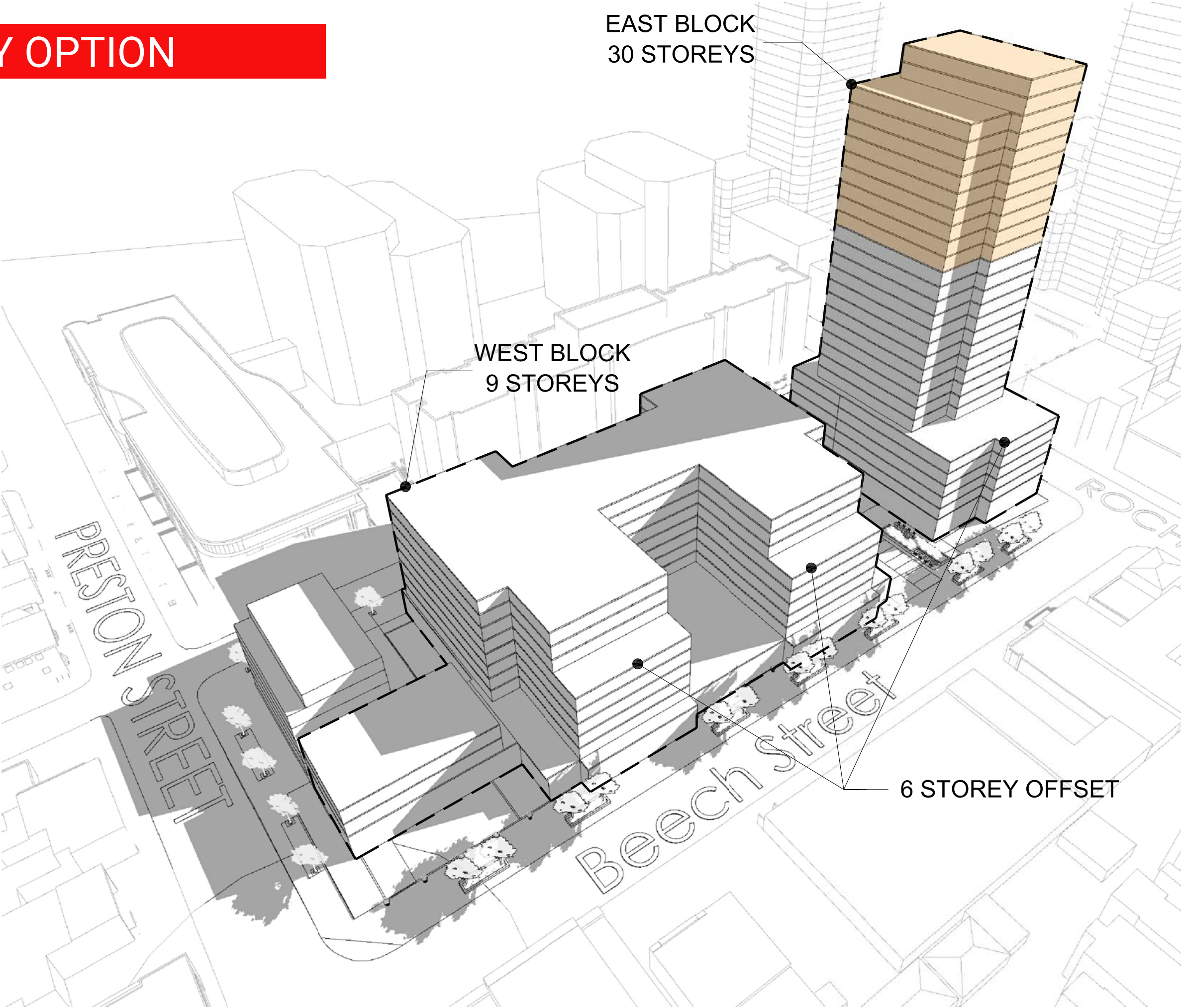
BUILT FORM

-TAILOR MASSING OF DEVELOPMENT THAT RESPONDS TO EXISTING CONTEXT AND ANTICIPATED GROWTH AROUND IT.

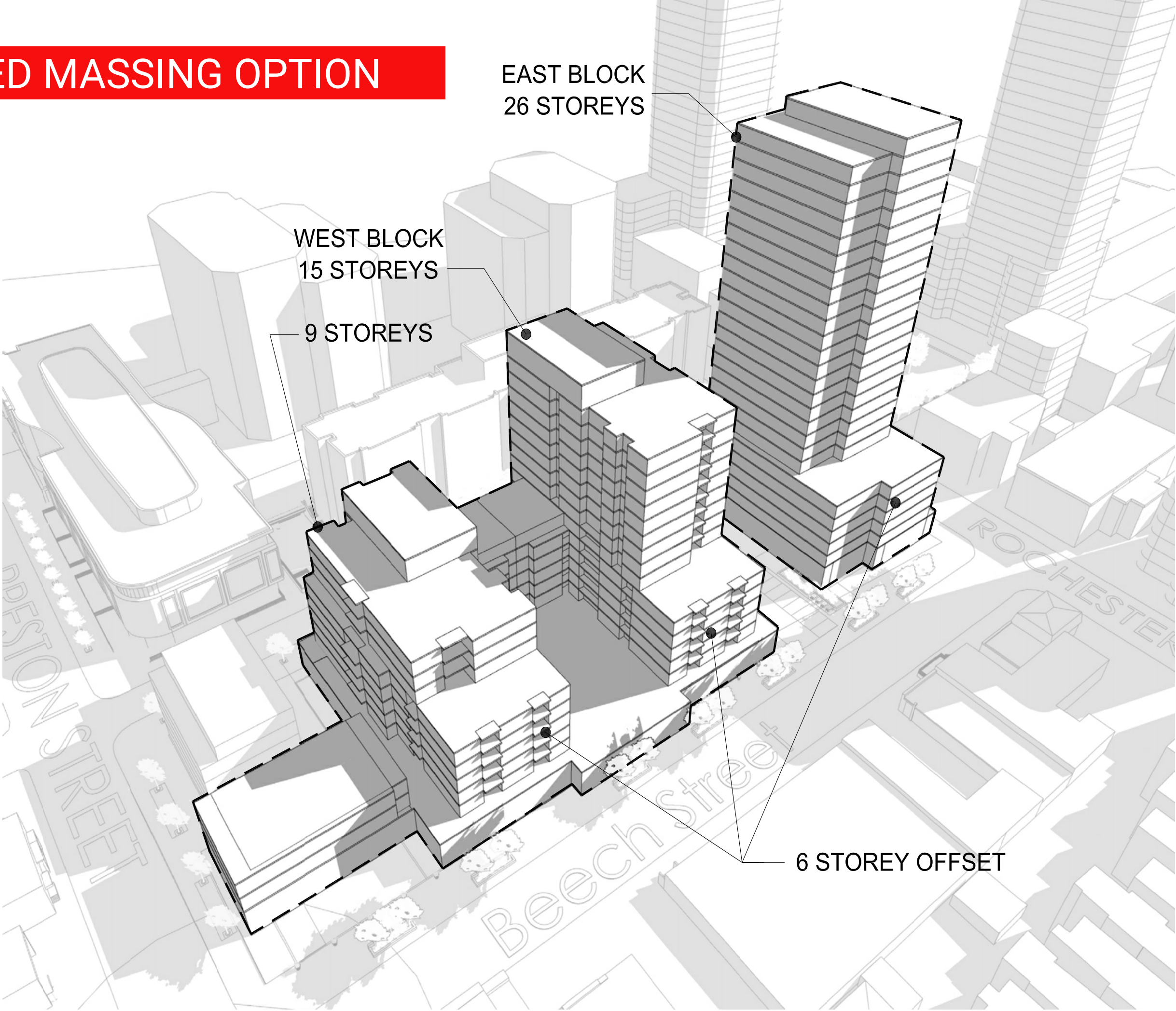
-RECOGNIZE VISUAL IMPACT OF MASSING AT PEDESTRIAN LEVEL

-CONSIDER AND RECOGNIZE SUN AND SHADOW IMPACTS

9 STOREY OPTION



PREFERED MASSING OPTION



AERIAL VIEW



26 STOREYS

15 STOREYS

9 STOREYS

3 STOREYS

6 STOREY PODIUM

1 STOREY COM/RET



NORTH SOUTH BUILDING SECTION

URBAN FABRIC

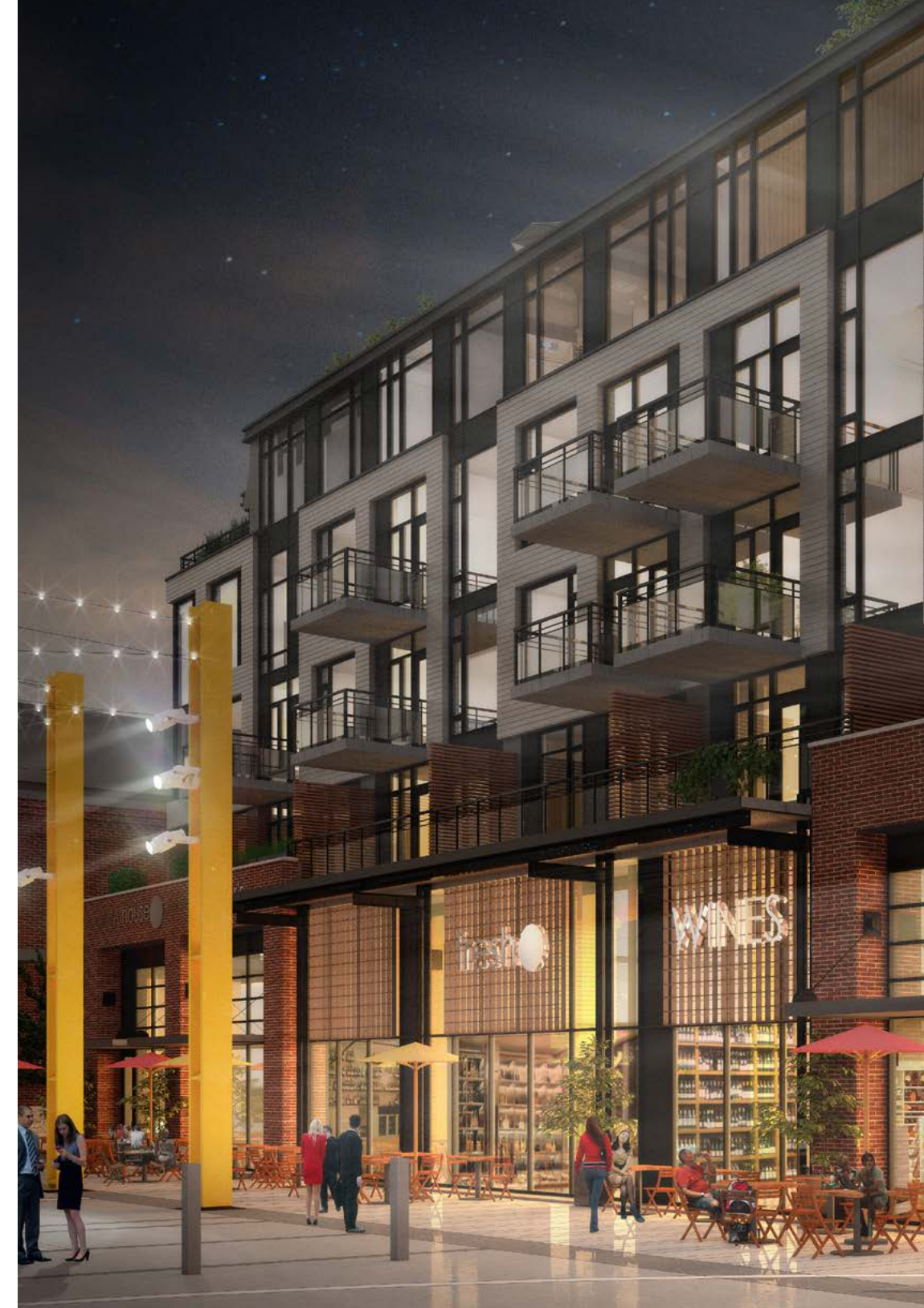
A detailed architectural sketch of a modern building. The building features a 6-storey podium base with a glass-fronted entrance and a high-rise section above it. The sketch includes human figures, outdoor seating with umbrellas, and a car to provide scale and context. The text 'URBAN FABRIC' is overlaid in large, bold, black letters.

GROUND LEVEL EDGE CONDITION

6 STOREY PODIUM

HIGHRISE ELEMENTS

GROUND LEVEL EDGE CONDITION

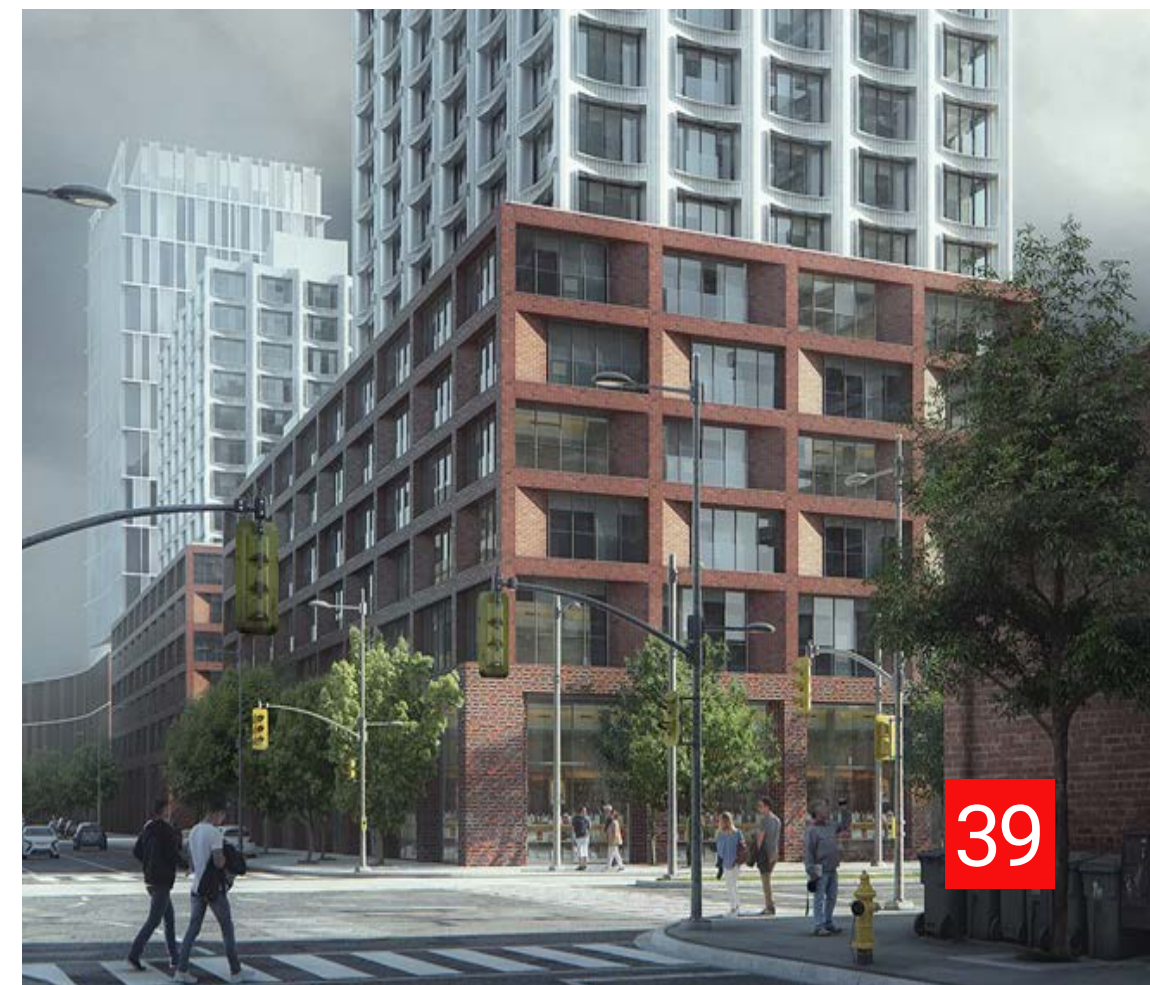


OPEN AND ENGAGING GROUND LEVEL EDGE CONDITION THAT PROVIDES STRONG RETAIL VISIBILITY AND ANIMATES STREET EDGE

6 STOREY PODIUM



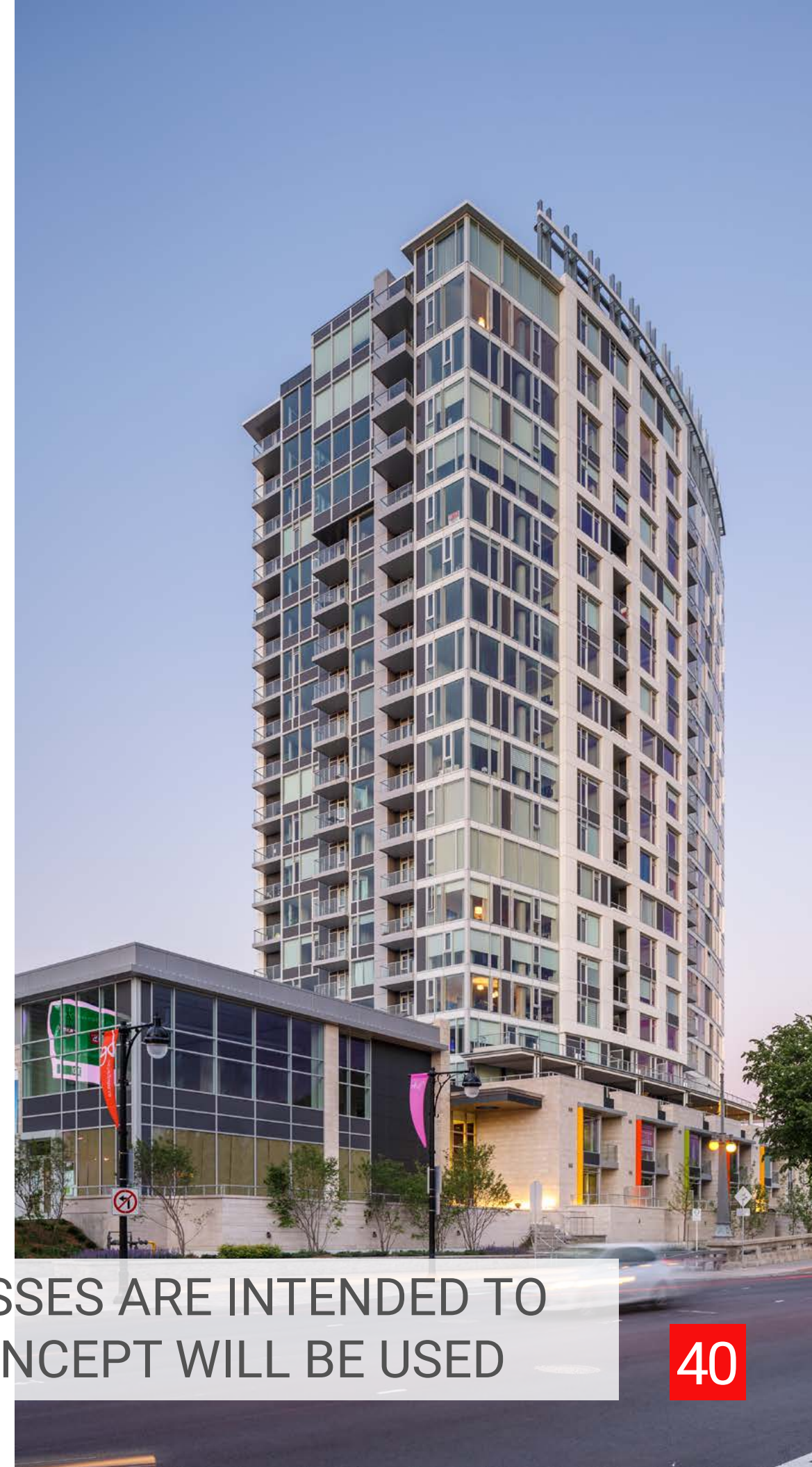
STRONG MASONRY DATUM
ESTABLISHES THE 6 STOREY PODIUM
AND DRAWS INSPIRATION FROM THE
EXISTING URBAN CONTEXT.



HIGH RISE MASSING



CONTRARY TO THE MASONRY PODIUM, THE HIGHRISE MASSES ARE INTENDED TO FEEL LIGHT. APPROPRIATE MATERIALS THAT SUIT THIS CONCEPT WILL BE USED





VIEW FROM ROCHESTER LOOKING WEST ON ABERNDEEN



VIEW FROM PRESTON LOOKING EAST ON ABERDEEN ST.



VIEW FROM PRESTON LOOKING EAST ON ABERDEEN ST.



VIEW FROM ABERDEEN LOOKING WEST

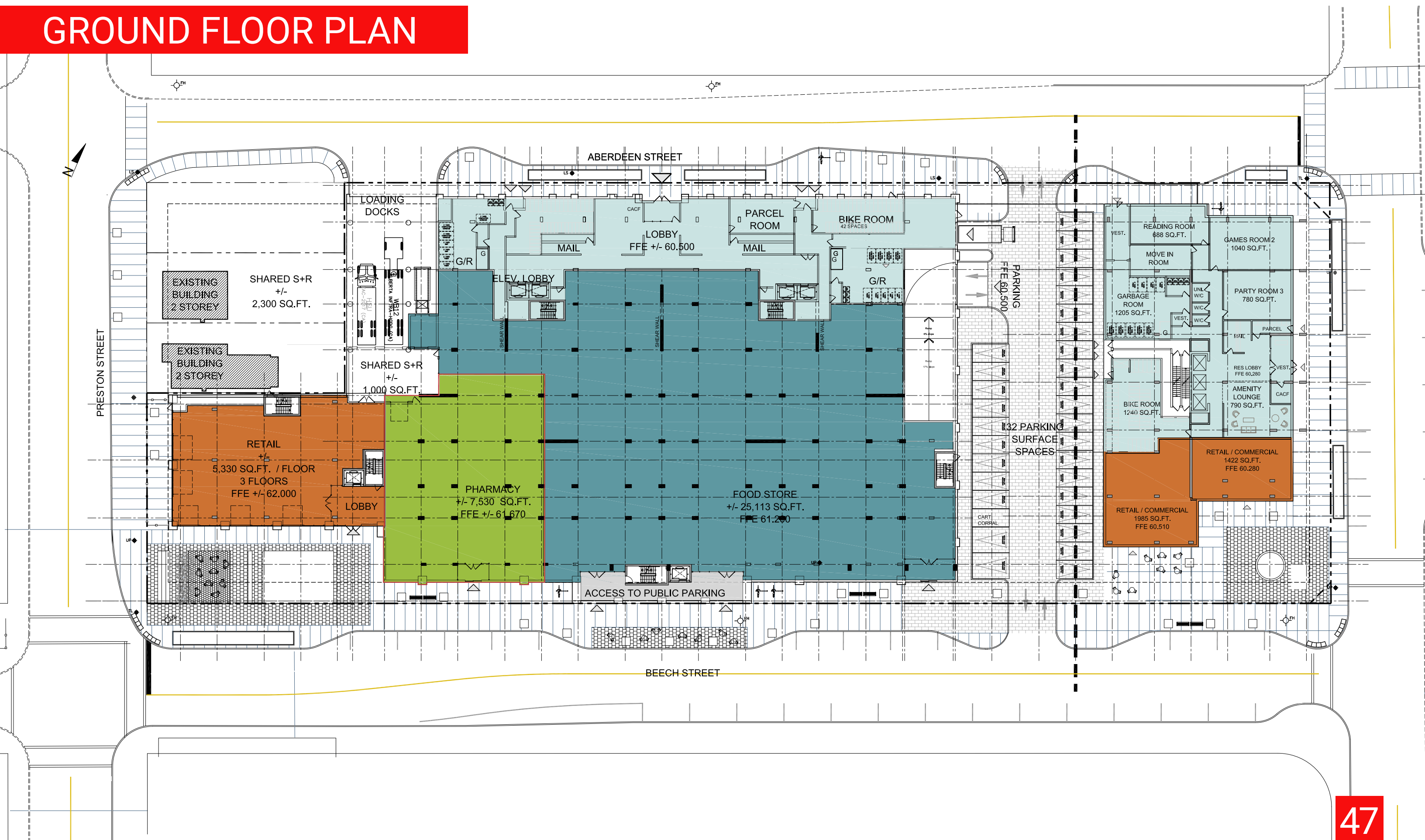
VIEW FROM ROCHESTER LOOKING WEST ON BEECH ST.



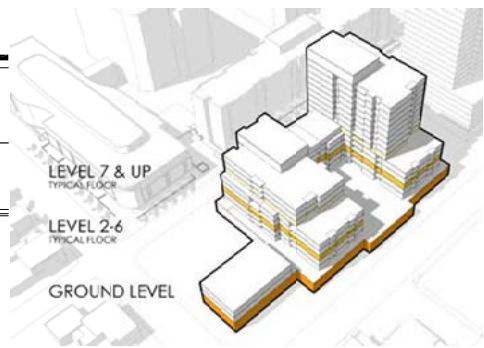
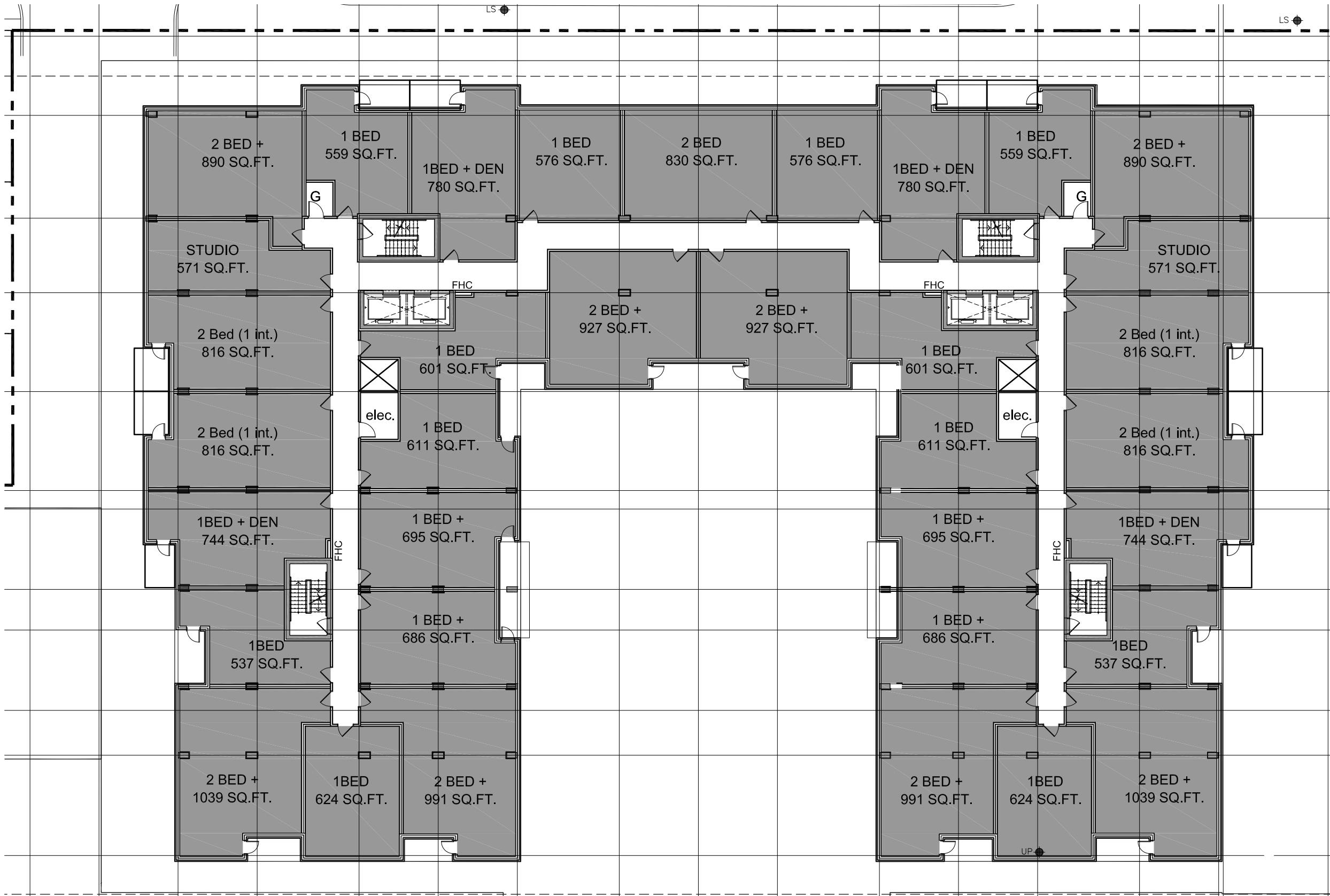
LEVEL 9 ROOF TOP AMENITY



GROUND FLOOR PLAN

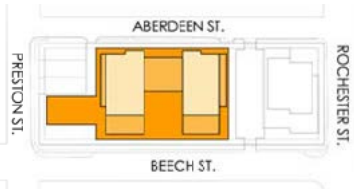


LEVEL 2-6

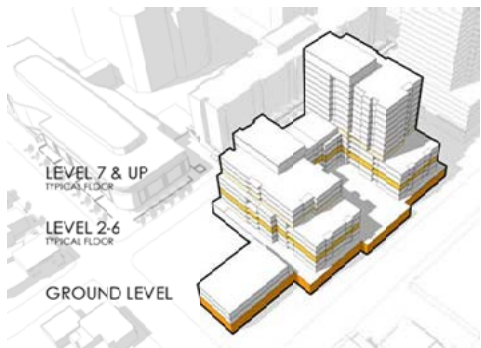


35 UNITS/FLOOR

STUDIOS	2 UNIT
1 BEDROOM	12 UNITS
1 BED + DEN	8 UNITS
2 BEDROOMS	13 UNITS



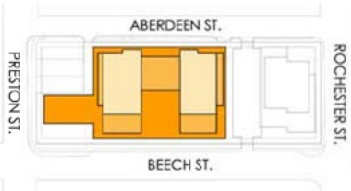
LEVEL 7-15



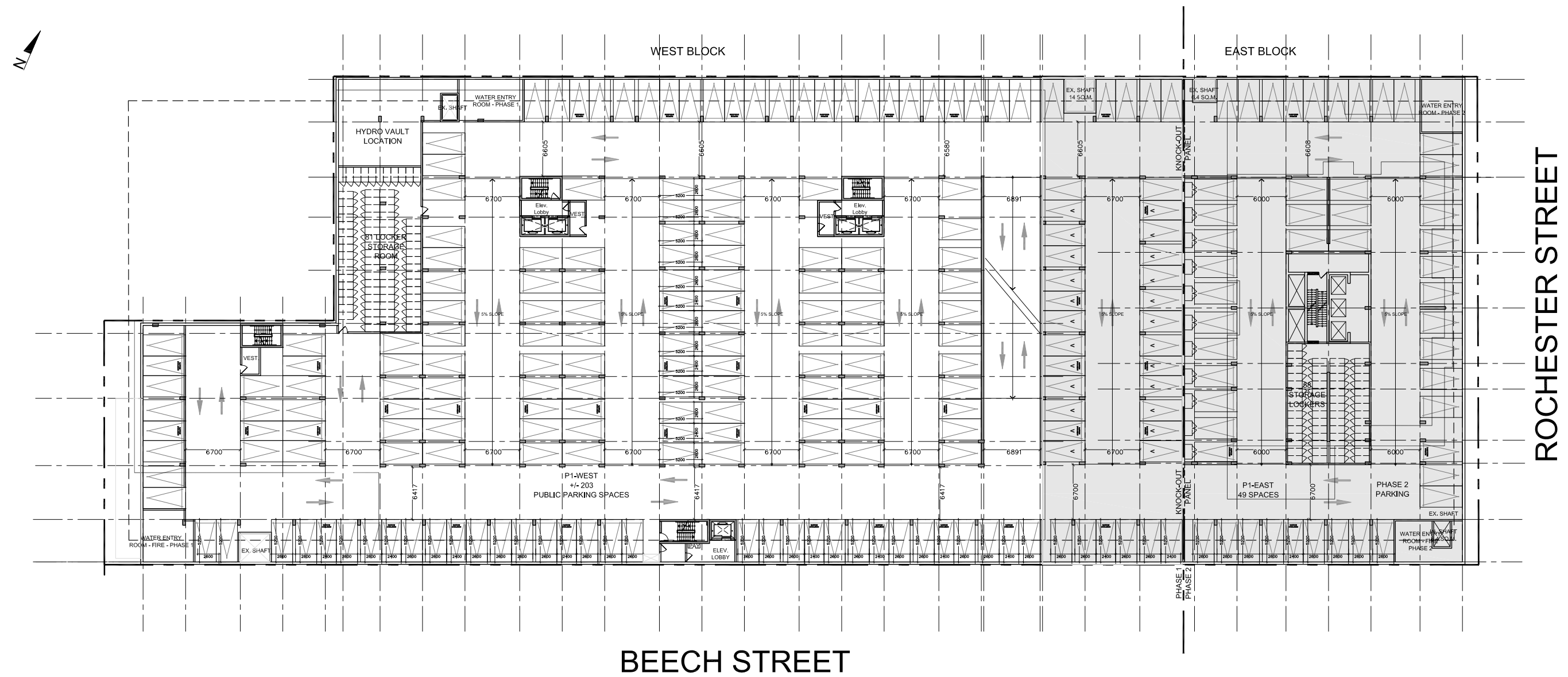
20 UNITS/FLOOR

STUDIOS	2 UNIT
1 BEDROOM	4 UNITS
1 BED + DEN	6 UNITS
2 BEDROOMS	8 UNITS

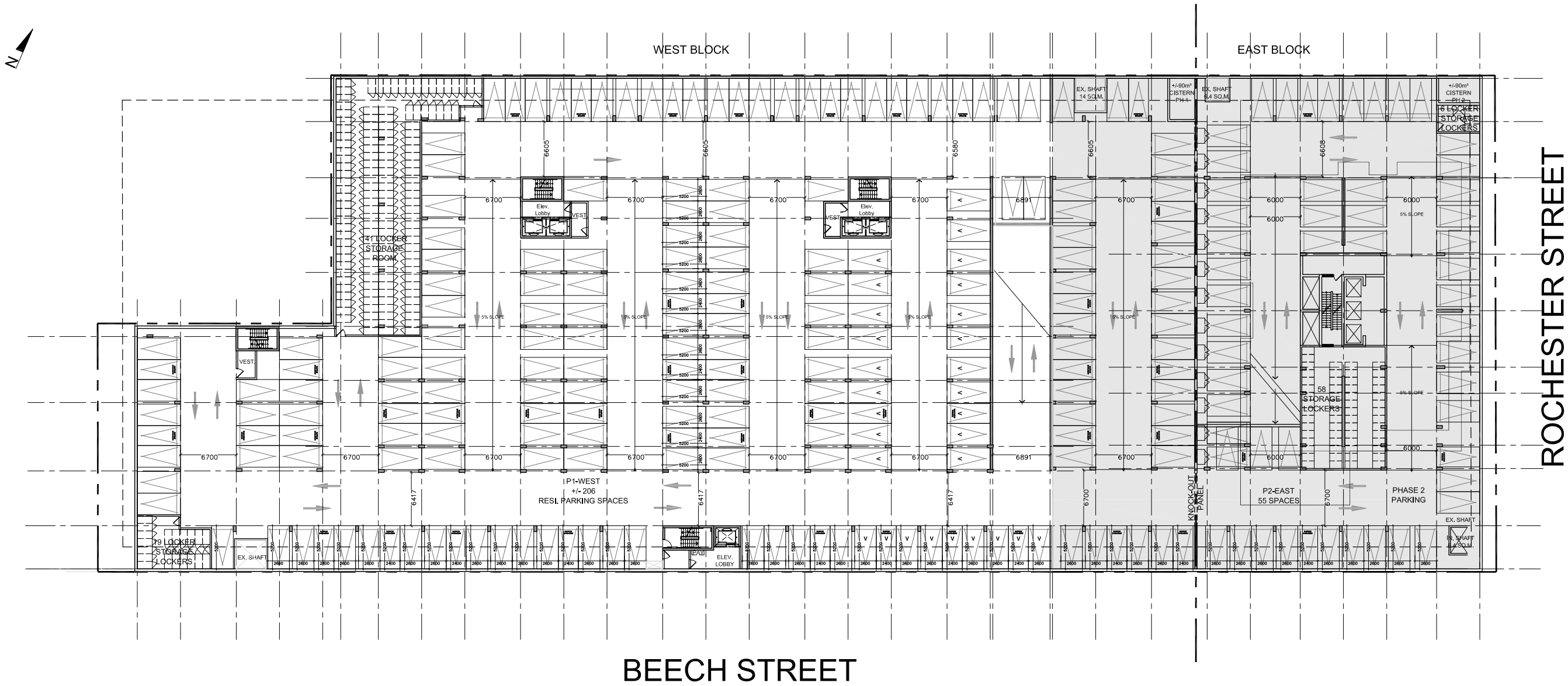
****LEVEL 10 AND UP ONLY HAS 10 UNITS PER FLOOR**



PARKING LEVEL 1



PARKING LEVEL 2



PHASE 1 - SOUTH ELEVATION



PHASE 1 - NORTH ELEVATION



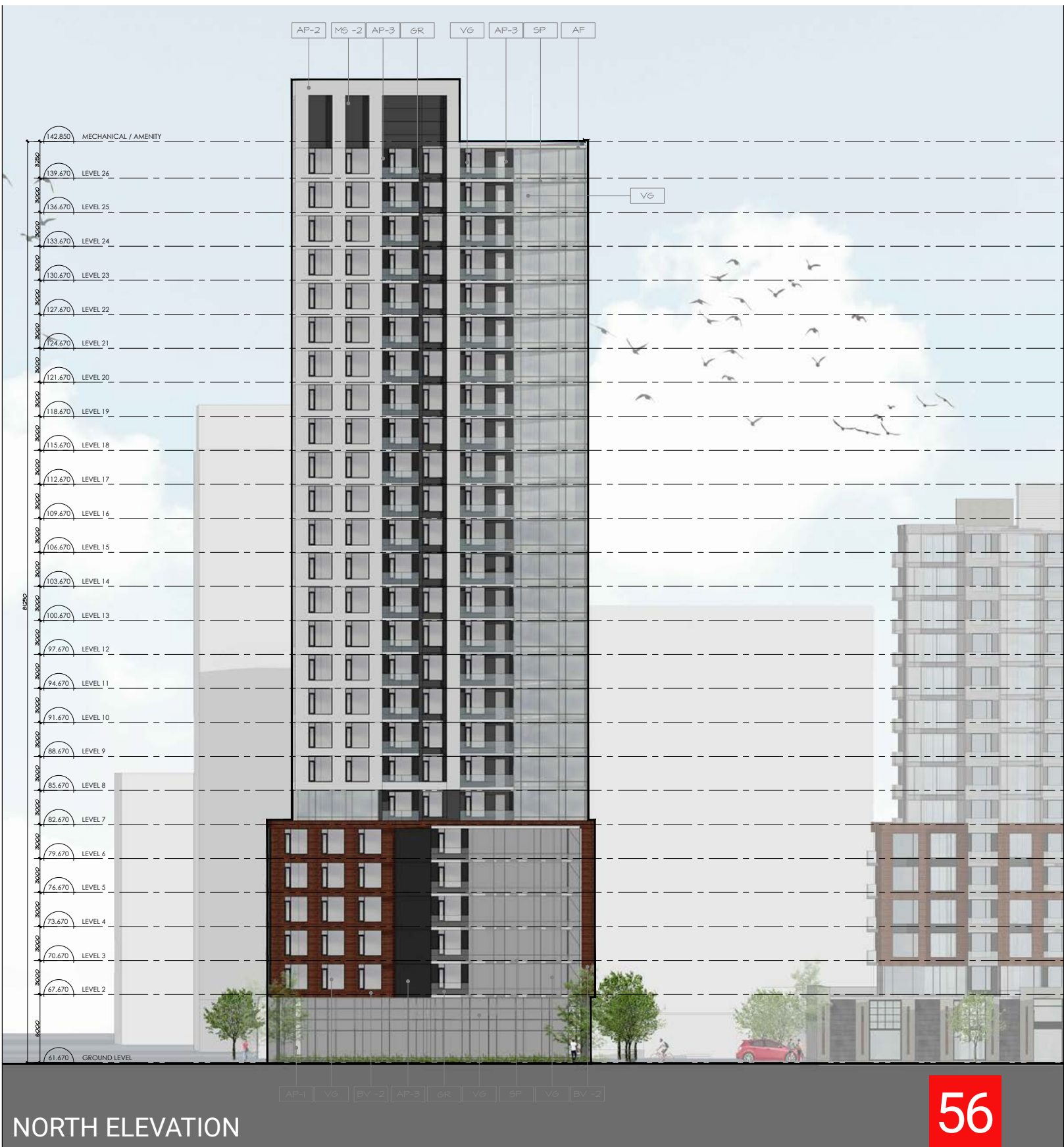
PHASE 1- EAST ELEVATION



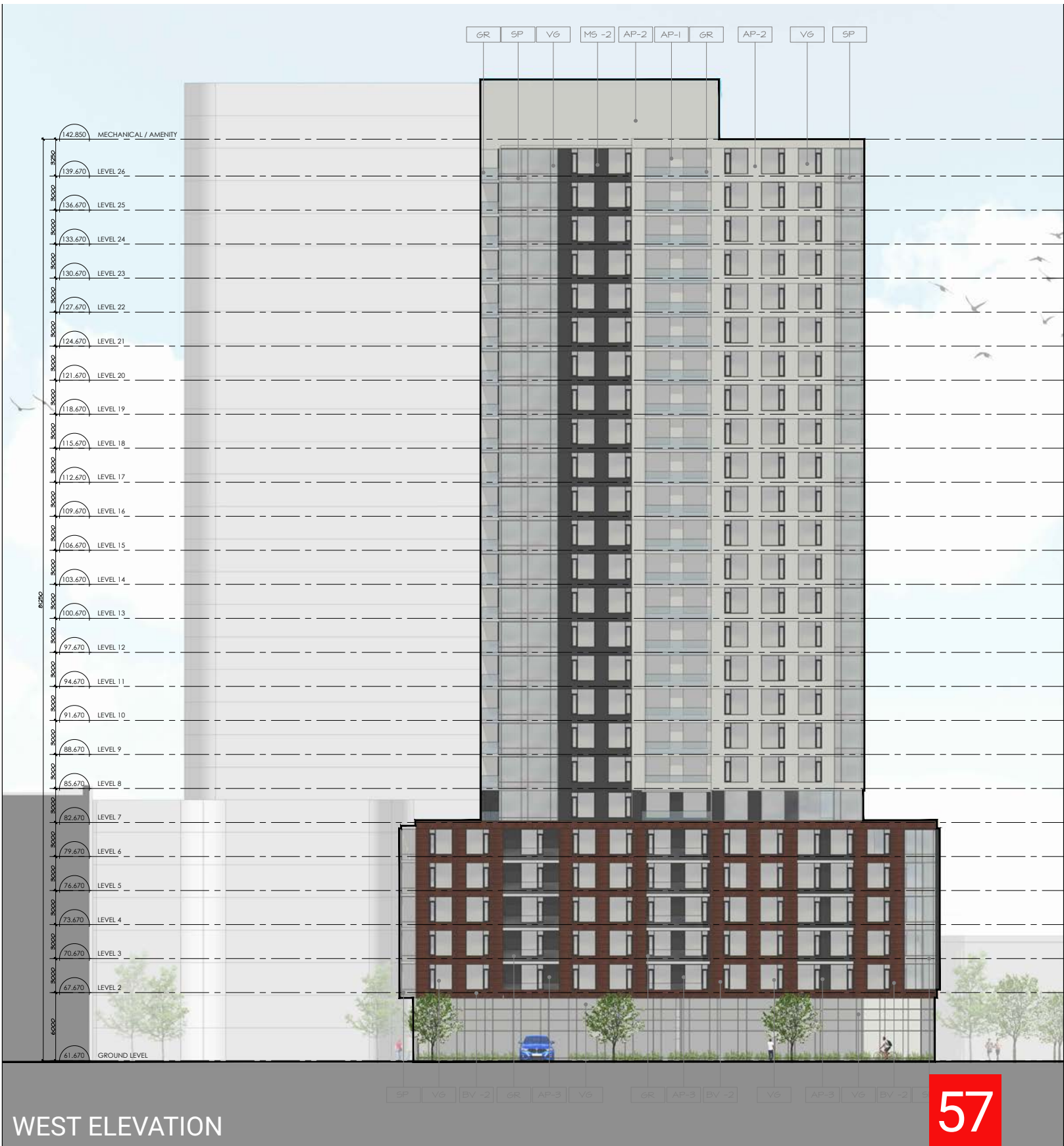
PHASE 1 - WEST ELEVATION



PHASE 2 - EAST & NORTH ELEVATION

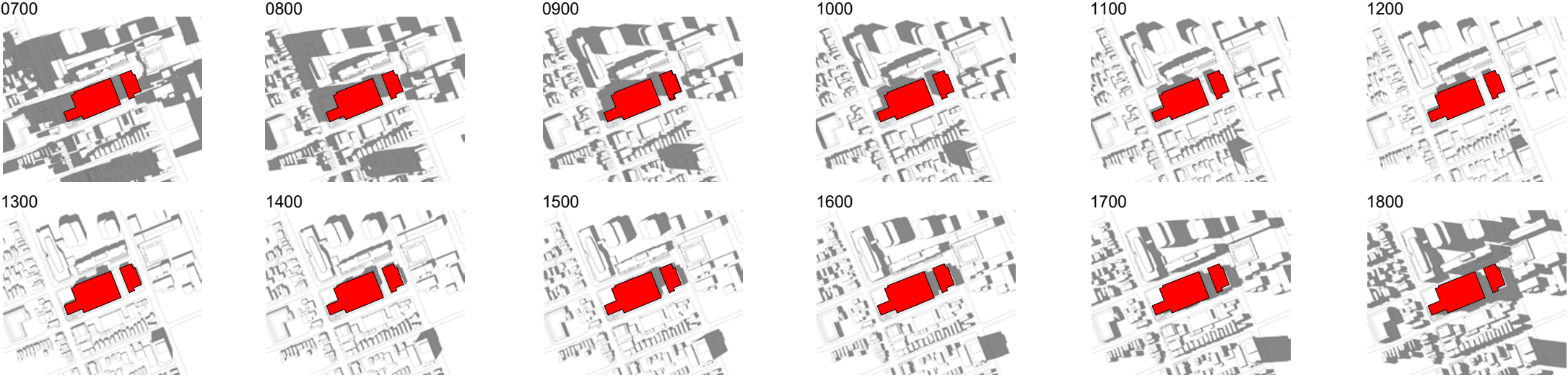


PHASE 2 - SOUTH & WEST ELEVATION

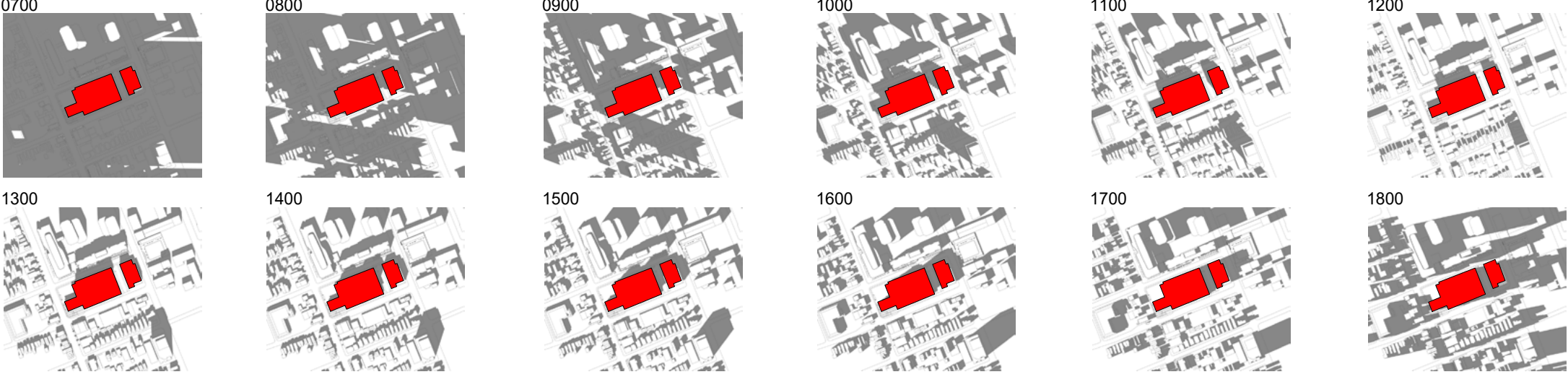


SUN & SHADOW STUDY

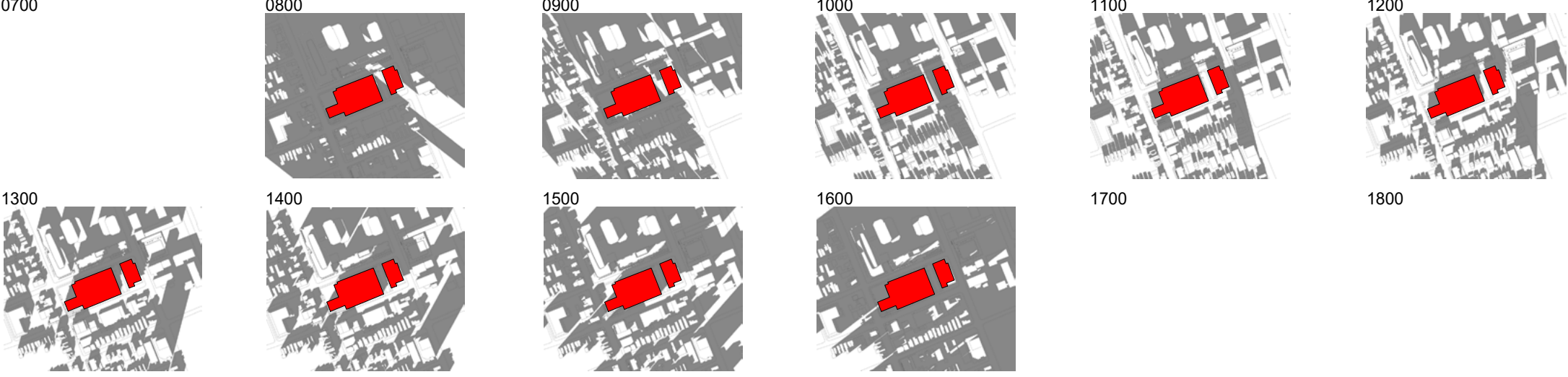
JUNE 21



SEPTEMBER 21 / MARCH 21



DECEMBER 21



- GENERAL NOTES:
1. All measurements in millimeters unless specified otherwise. Do not scale drawing. All drawings to be read in conjunction with written specifications.
 2. Copyright reserved. This drawing is the exclusive property of CSW Landscape Architects Ltd. and shall not be used without the consent thereof.
 3. This Drawing may not be used for construction until signed by the landscape architect. It is the responsibility of the contractor to:
 - check and verify all dimensions on site;
 - report all errors and/or omissions to the landscape architect;
 - comply with all pertinent codes and by-laws;
 - check and verify locations of all underground services with all local utilities prior to any digging.

2	REVISED AS PER COMMENTS	05 MAR 2020
1	ISSUED FOR SPA	1 / OCT 2019
No.	Revision	Date

North:

Stamp:

Landscape Architecture
Urban Design
Site Planning
Recreation and Park Planning
Project Management

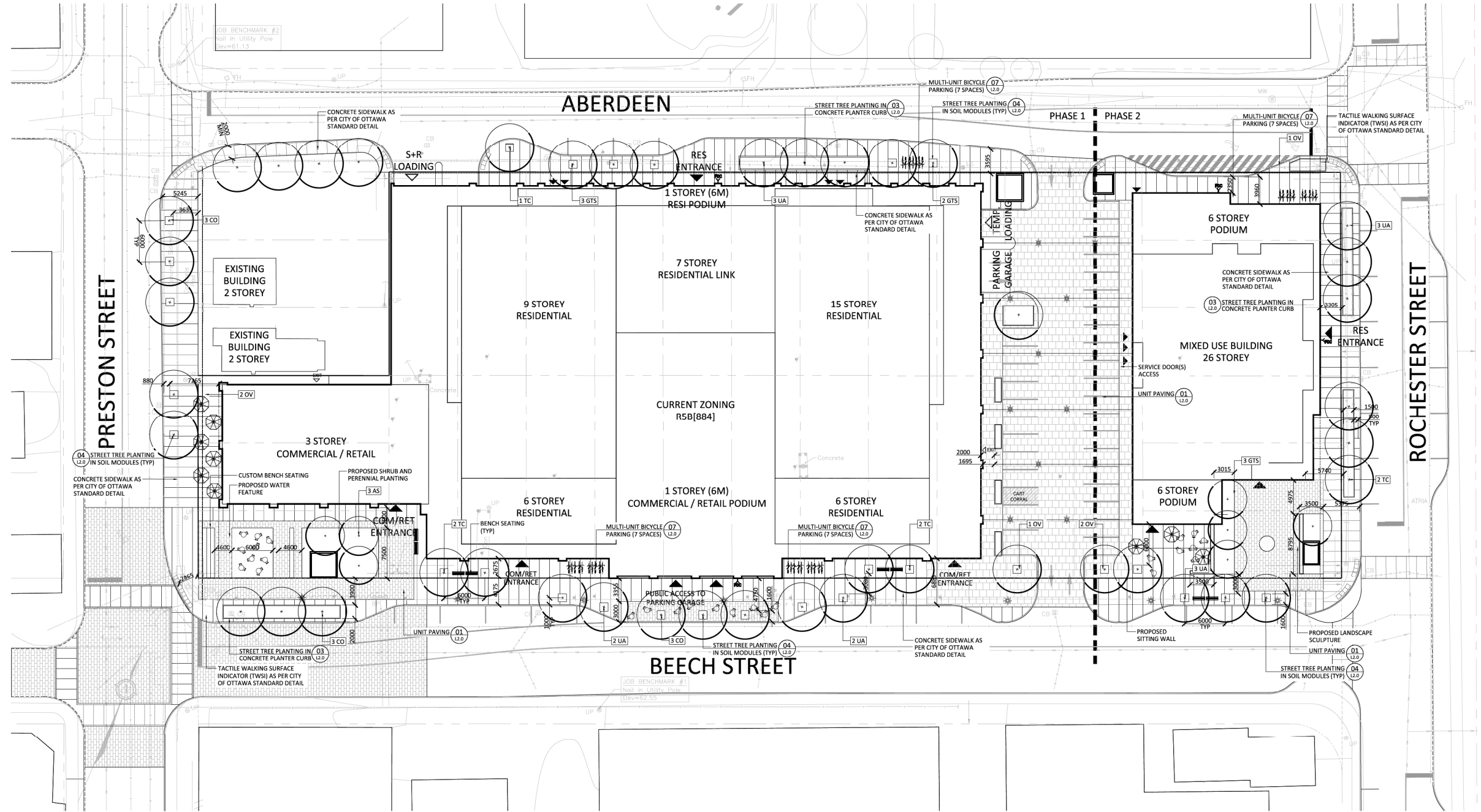
319 McRae Avenue, Suite 502, Ottawa, Ontario K1Z 0B9
Tel: (613) 729-4536

ARNON
Excellence By Design

Project: 450 Rochester Street	
OTTAWA, ONTARIO	
Drawing: LANDSCAPE PLAN	
Scale: 1:250	Date: OCTOBER 2019
Design By: SC	Drawn By: SC
Project Number: 2017-01	Sheet Number: L1.0

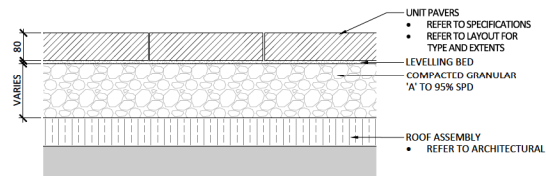
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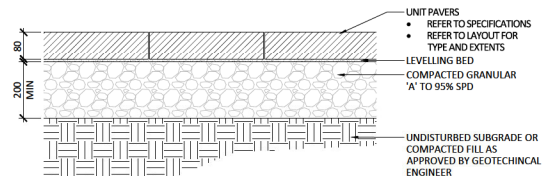


KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
DECIDUOUS TREES					
AS	ACER SACCHARUM	SUGAR MAPLE	3	50mm CAL.	B&B / W.B
CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	9	50mm CAL.	B&B / W.B
GTS	GLEDTISIA TRICANTHOS VAR. INERMIS	SKYLINE HONEYLOCUST	8	50mm CAL.	B&B / W.B
OV	OSTRYA VIRGINIANA	IRONWOOD	5	50mm CAL.	B&B / W.B
TC	TILIA CORDATA	LINDEN	7	50mm CAL.	B&B / W.B
UA	ULMUS AMERICANA	VALLEY FORGE ELM	13	50mm CAL.	B&B / W.B

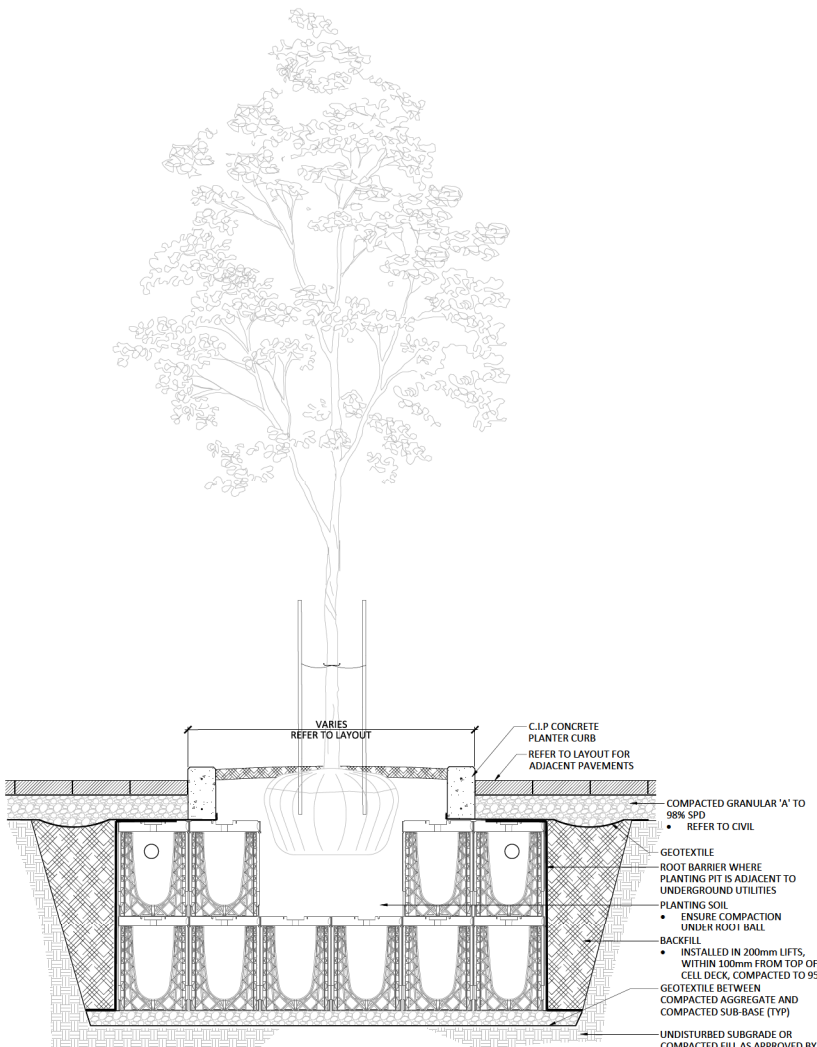




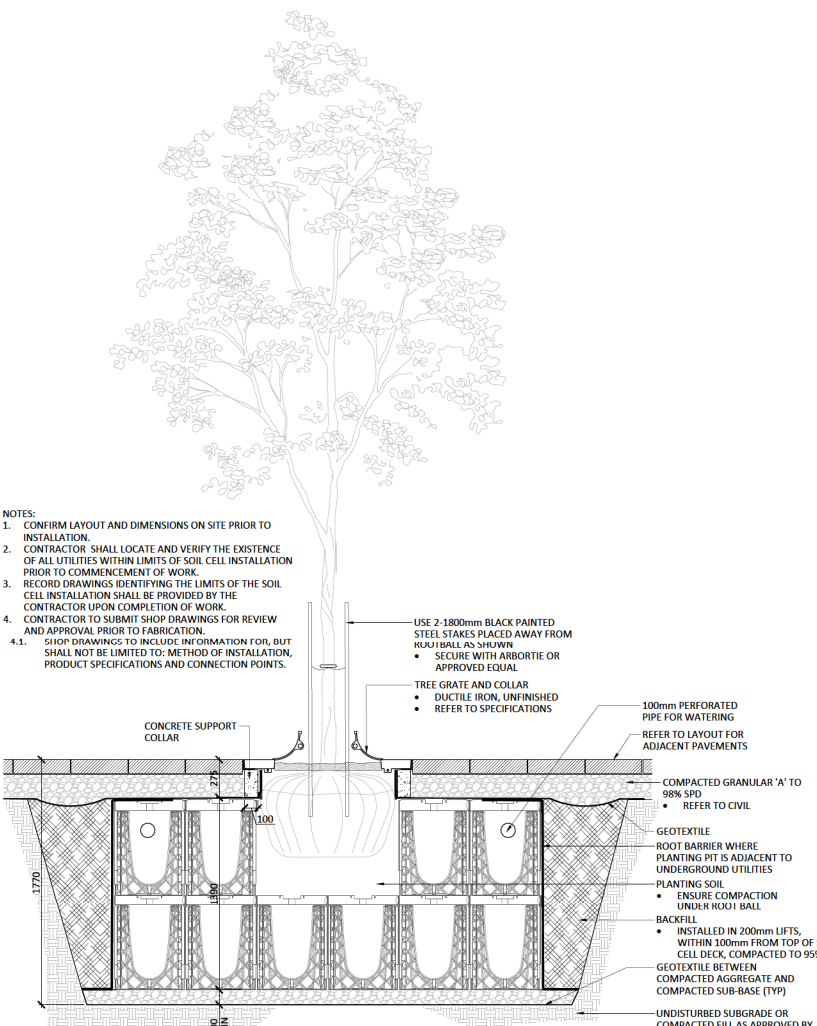
01 UNIT PAVING ON ROOF SLAB
Scale 1:10



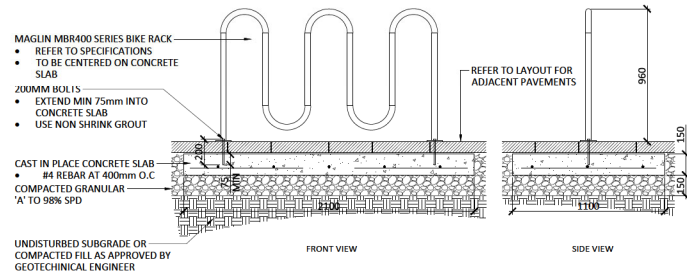
02 UNIT PAVING ON GRANULAR BASE
Scale 1:10



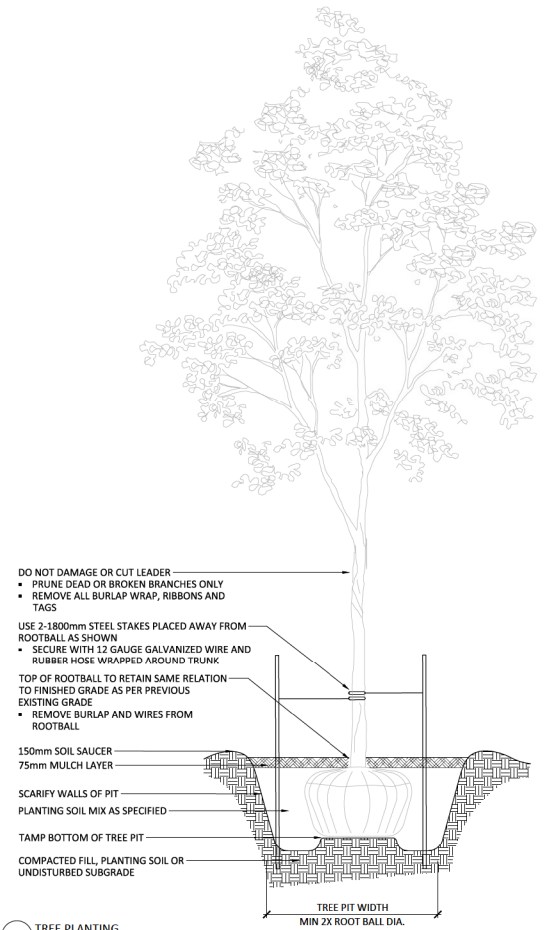
03 STREET TREE PLANTING IN SOIL CELLS - PLANTING BED
Scale 1:20



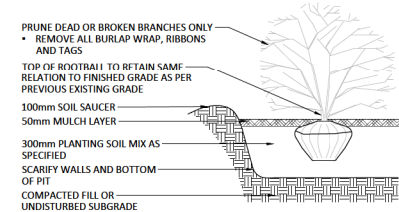
04 STREET TREE PLANTING IN SOIL CELLS
Scale 1:20



07 MULTI-UNIT BIKE RACK
Scale 1:20



05 TREE PLANTING
NOT TO SCALE



06 SHRUB/PERENNIAL PLANTING
NOT TO SCALE

GENERAL NOTES:

1. All measurements in millimeters unless specified otherwise. Do not scale drawing. All drawings to be read in conjunction with written specifications.
2. Copyright reserved. This drawing is the exclusive property of CSW Landscape Architects Ltd. and shall not be used without the consent thereof.
3. This Drawing may not be used for construction until signed by the landscape architect. It is the responsibility of the contractor to:
 - check and verify all dimensions on site;
 - report all errors and/or omissions to the landscape architect;
 - comply with all pertinent codes and by-laws;
 - check and verify locations of all underground services with all local utilities prior to any digging.

2	REVISED AS PER COMMENTS	05 MAR 2020
1	ISSUED FOR SPA	17 JUL 2019
No.	Revision	Date

North:

Stamp:

CSW

Landscape Architecture
Urban Design
Site Planning
Recreation and Park Planning
Project Management

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Tel: (613) 729-4536

Project:

450 Rochester Street

Drawing:

DETAILS

Scale:	Date:
Design By:	Drawn By:
Project Number:	Sheet Number:

MECHANICAL / AMENITY

LEVEL 15
LEVEL 14
LEVEL 13
LEVEL 12
LEVEL 11
LEVEL 10
LEVEL 9
LEVEL 8
LEVEL 7
LEVEL 6
LEVEL 5
LEVEL 4
LEVEL 3
LEVEL 2
GROUND LEVEL

1 SOUTH ELEVATION
A3.01 1:200

MECHANICAL / AMENITY

LEVEL 15
LEVEL 14
LEVEL 13
LEVEL 12
LEVEL 11
LEVEL 10
LEVEL 9
LEVEL 8
LEVEL 7
LEVEL 6
LEVEL 5
LEVEL 4
LEVEL 3
LEVEL 2
GROUND LEVEL

2 WEST ELEVATION
A3.01 1:200

VS-1 MS-1 MS-2 AP-1 BV-1 SP

VS-1 AP-1 MS-2 AP-2 MS-1

AF BV-2 VS-1 GR

VS-1 PFMS-1 AP-3 BV-2 AP-3 PFMS-1 AP-3 VS-1 BV-1 BV-2 AP-3 AF GR TM PTMS

SP VS-1 MS-1 VS-1 AP-1 AF AP-2 AP-2 AP-1 VS-1

MS-1

VS-1

MS-2



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LEGEND:

- AF ALUMINUM FLASHING
- AP-1 ALUMINUM PANEL 1
- AP-2 ALUMINUM PANEL 2
- BV-1 BRICK VENEER 1
- BV-2 BRICK VENEER 2
- GR GLASS RAILING
- MS-1 METAL SIDING-1
- MS-2 METAL SIDING-2
- MS-3 METAL SIDING-3
- PFMS-1 PRE-FINISHED METAL SIDING -1
- PFMS-2 PRE-FINISHED METAL SIDING -2
- PFMS PRE-FINISHED WOOD SIDING
- SP SPANDREL PANEL
- STC STEEL COLUMN
- TM TIMBER
- VS VISION GLASS
- WLP-1 WOOD-LOOK METAL SIDING-1

no.	date	revision
3	20.05.26	ISSUED FOR UORP
2	20.03.06	RE-ISSUED FOR S.P.C.
1	19.10.18	ISSUED FOR SITE PLAN CONTROL

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

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PROJECT LOCATION:
450 ROCHESTER

DRAWING TITLE:
ELEVATIONS
WEST BLOCK

DRAWN BY: DATE: SCALE:
PB 20.05.26 AS NOTED

PROJECT: 1814

DRAWING NO.: A 3.01

REVISION NO.:
DWG 18064



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HOBIN
ARCHITECTURE

PROJECT/LOCATION:
450 ROCHESTER

DRAWING TITLE:
ELEVATIONS
WEST BLOCK

DRAWN BY:	DATE:	SCALE:
PB	20.05.26	AS NOTED

[illegible]

1814

TAMU TEXAS A&M UNIVERSITY

ON NORTH MO

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ARRY J. HOBIN
LICENCE

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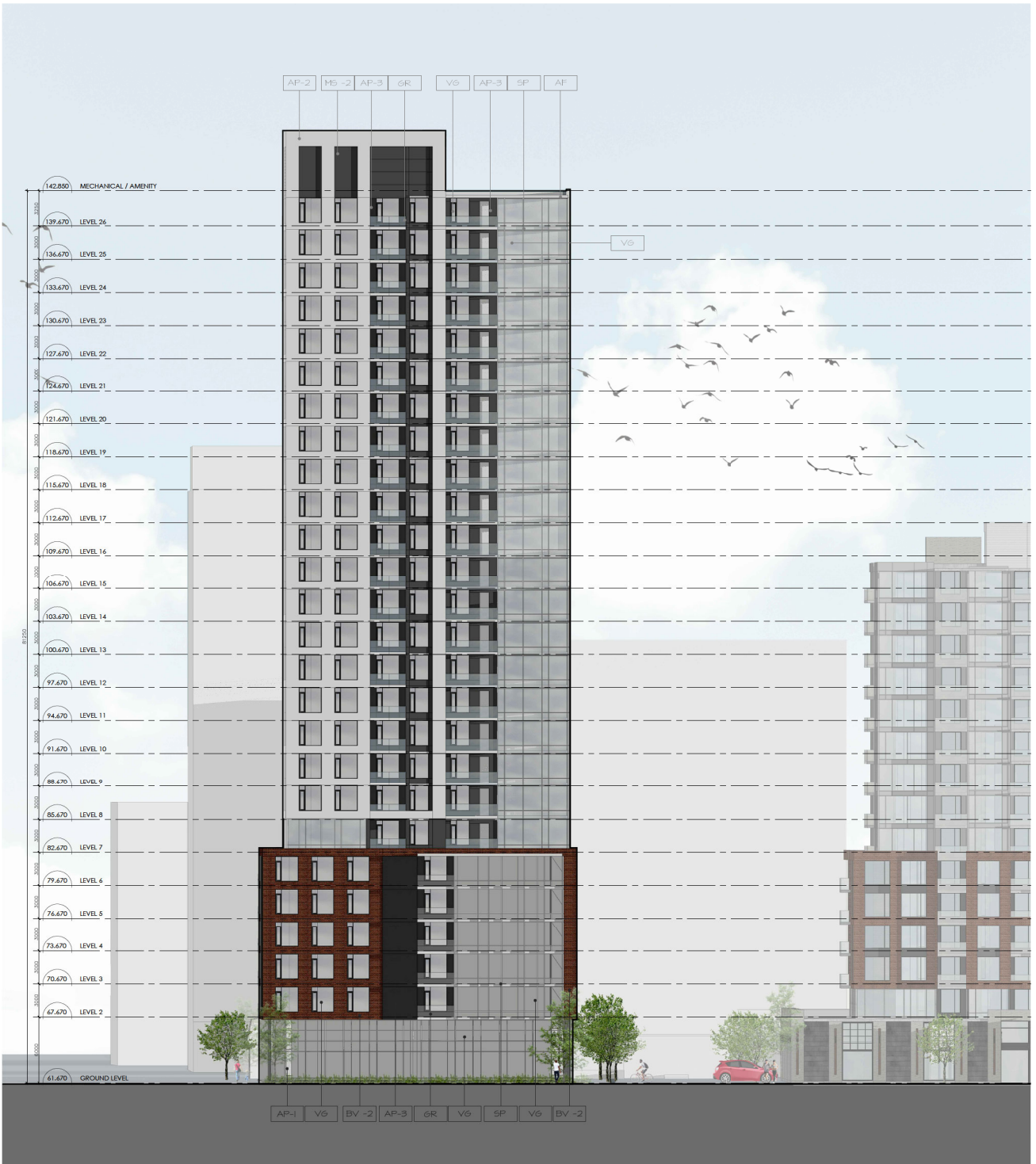
REVISION

DWR






1 EAST ELEVATION
1:200



2 NORTH ELEVATION
1:200



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PROJECT LOCATION:
450 ROCHESTER

DRAWING TITLE:
ELEVATIONS
EAST BLOCK

DRAWN BY: PB	DATE: 20.05.26	SCALE: AS NOTED
PROJECT: 1814		DRAWING NO.: A 3.03
REVISION NO.: DWG 18064		





1 SOUTH ELEVATION
A3.04 1:200



2 WEST ELEVATION
A3.04 1:200



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LEGEND:	
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PROJECT/LOCATION:
450 ROCHESTER

DRAWING TITLE:
ELEVATIONS
EAST BLOCK

DRAWN BY: DATE: SCALE:
PB 20.05.26 AS NOTED

PROJECT: 1814
DRAWING NO.:

JOHN J. HOBIN
LICENCE
3049

A 3.04

REVISION NO.: