

PROJECT INFORMATION	PROJECT TEAM
LEGAL DESCRIPTION: LOTS 1,2,3 AND 4 REGISTERED PLAN 269 CITY OF OTTAWA PIN # 04016-0001 04016-0002 04016-0003 04016-0004 ZONING: R5B H(19.5)	PROJECT NAME BYRON & CHURCHILL APARTMENTS OWNER SIMON SI ARCHITECT CHMIEL ARCHITECTS 109 BANK STREET, SUITE 200, OTTAWA, ONTARIO, K1P 5N5 PLANNER & CIVIL NOVATECH 240 MICHAEL COWPLAND DR., SUITE 200, OTTAWA, ONTARIO, K2M 1P6 MECHANICAL & ELECTRICAL S+A ENGINEERS 1600 CARLING AVE. SUITE 530 OTTAWA, ONTARIO, K1Z 1G3 SURVEYOR FARLEY, SMITH & DENIS SURVEYING LTD 195 COLONNADE ROAD, SUITE 10 OTTAWA, ONTARIO, K2E 7J5 LANDSCAPE JAMES B. LENNOX & ASSOCIATES INC. 3332 CARLING AVE OTTAWA, ONTARIO K2H 5A8

RS Option - Unit Count	Studio	1 BD	1 BD + D	2 BD	2 BD + D	Total
Ground Floor	-	1	5	1	0	7
Second Floor	-	7	3	3	2	15
Third Floor	1	8	3	2	2	16
Fourth Floor	1	9	1	3	2	16
Fifth Floor	1	7	-	2	2	12
Sixth Floor	-	2	1	0	3	6
TOTAL	3	34	13	11	9	73

Parking	Standard	Barrier Free	Bicycle
P1	28	1	46
P2	17	1	0
Total	45	2	46

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RELEASE / REVISION RECORD

No.	Description	Date
1	ISSUED FOR COORDINATION	2018-12-
2	ISSUED FOR TIA REPORT	2019-04-
3	ISSUED FOR SITE PLAN CONTROL	2019-04-

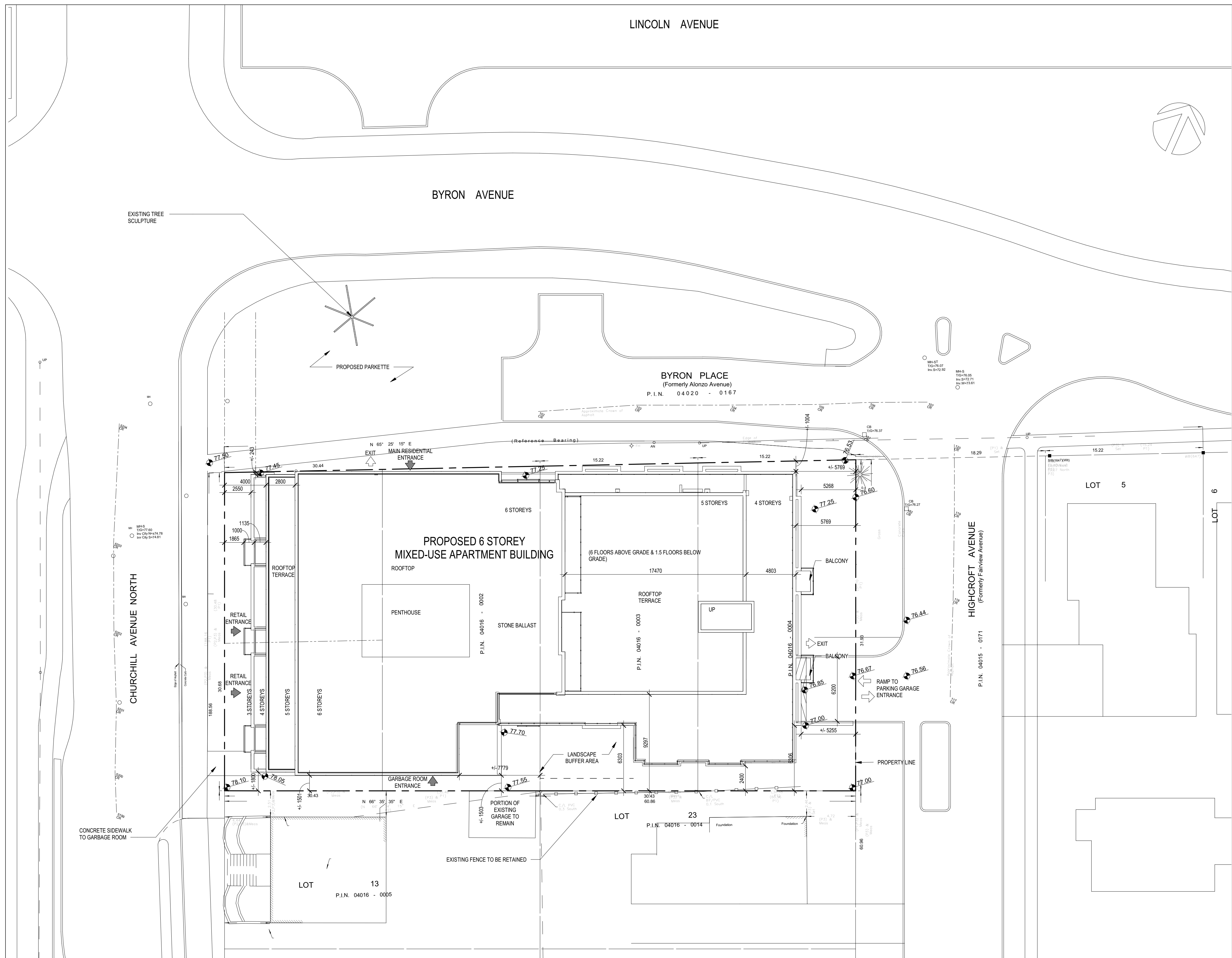
PROJECT INFO

SCALE1 : 125

Zoning Information: R5B H (19.5) Zone City of Ottawa Consolidated Zoning By-law 2008-250			
Proposed Mixed-Use Apartment Building			
Performance Standards	Required	Proposed	
Residential Fifth Density (Sections 163-164)			
Minimum Lot Area (m ²)	675	1900	
Minimum Lot Width (m)	22.5	30.6	
Minimum Front Yard (m)	3	2.5	
Corner Side Yard Setback (m)	3	0	
Minimum Interior Side Yard Setback (m) Abutting a Residential Zone If located within 21m of front lot line If located beyond 21m of front lot line	7.5 1.5 6.0	6.0 1.5 1.5 and 6.0	
Minimum Rear Yard Setback (m)	3	5.7	
Maximum Building Height (m)	Varies	19.5	
Parking Requirements (Area X) (Section 100-114)			
Minimum Parking Space Rates			
Dwelling Units in a Mixed-use Building (in excess of 12)	0.5 per dwelling unit = 30	59	
Non-Residential Uses (where GFA is less than 200 m ²)	0	0	
Minimum Visitor Parking Space Rate			
Dwelling Units in a Mixed-use Building (in excess of 12)	0.1 per dwelling unit = 6	6	
Aisle and Driveway Provisions			
Minimum Width of a Double Traffic Lane (m)	6	6	
Driveway providing access to Parking Garage (m)	6	6.2	
Minimum Bicycle Parking Space Rates			
Dwelling Unit in a Mixed-use Building	0.5 per dwelling unit = 32	46	
Amenity Area (Section 137)			
Minimum Total Amenity Area (m ²) Mixed Use Building, with 9 or more Dwelling Units	6m ² per dwelling unit = 438	829.1	
Minimum Communal Amenity Area (m ²) Mixed Use Building, with 9 or more Dwelling Units	50% of the required total amenity area = 219	493.4	

City Area Calculations				
Level	Net Residential Leasable	Net Commercial Leasable	Amenity Area	Communal Amenity Area
LEVEL 1	459.66 m²	0.00 m²	0.00 m²	0.00 m²
LEVEL 1	0.00 m²	333.12 m²	0.00 m²	0.00 m²
LEVEL 1	0.00 m²	0.00 m²	10.82 m²	0.00 m²
LEVEL 1	0.00 m²	0.00 m²	0.00 m²	52.39 m²
LEVEL 2	1186.12 m²	0.00 m²	0.00 m²	0.00 m²
LEVEL 2	0.00 m²	0.00 m²	53.31 m²	0.00 m²
LEVEL 3	1186.97 m²	0.00 m²	0.00 m²	0.00 m²
LEVEL 3	0.00 m²	0.00 m²	52.84 m²	0.00 m²
LEVEL 4	1197.99 m²	0.00 m²	0.00 m²	0.00 m²
LEVEL 4	0.00 m²	0.00 m²	50.51 m²	0.00 m²
LEVEL 5	885.70 m²	0.00 m²	0.00 m²	0.00 m²
LEVEL 5	0.00 m²	0.00 m²	30.29 m²	0.00 m²
LEVEL 5	0.00 m²	0.00 m²	0.00 m²	272.89 m²
LEVEL 6	524.93 m²	0.00 m²	0.00 m²	0.00 m²
LEVEL 6	0.00 m²	0.00 m²	121.31 m²	0.00 m²
LEVEL 6	0.00 m²	0.00 m²	0.00 m²	309.35 m²
Total Area:	5441.37 m²	333.12 m²	319.08 m²	634.63 m²

CONSTRUCTION GFA	
Level	Area
LEVEL P2	774.99 m ²
LEVEL P1	1491.63 m ²
LEVEL 1	1246.68 m ²
LEVEL 2	1392.77 m ²
LEVEL 3	1392.32 m ²
LEVEL 4	1396.60 m ²
LEVEL 5	1085.64 m ²
LEVEL 6	652.17 m ²



1 SITE PLAN
SP-01 SCALE 1 : 200

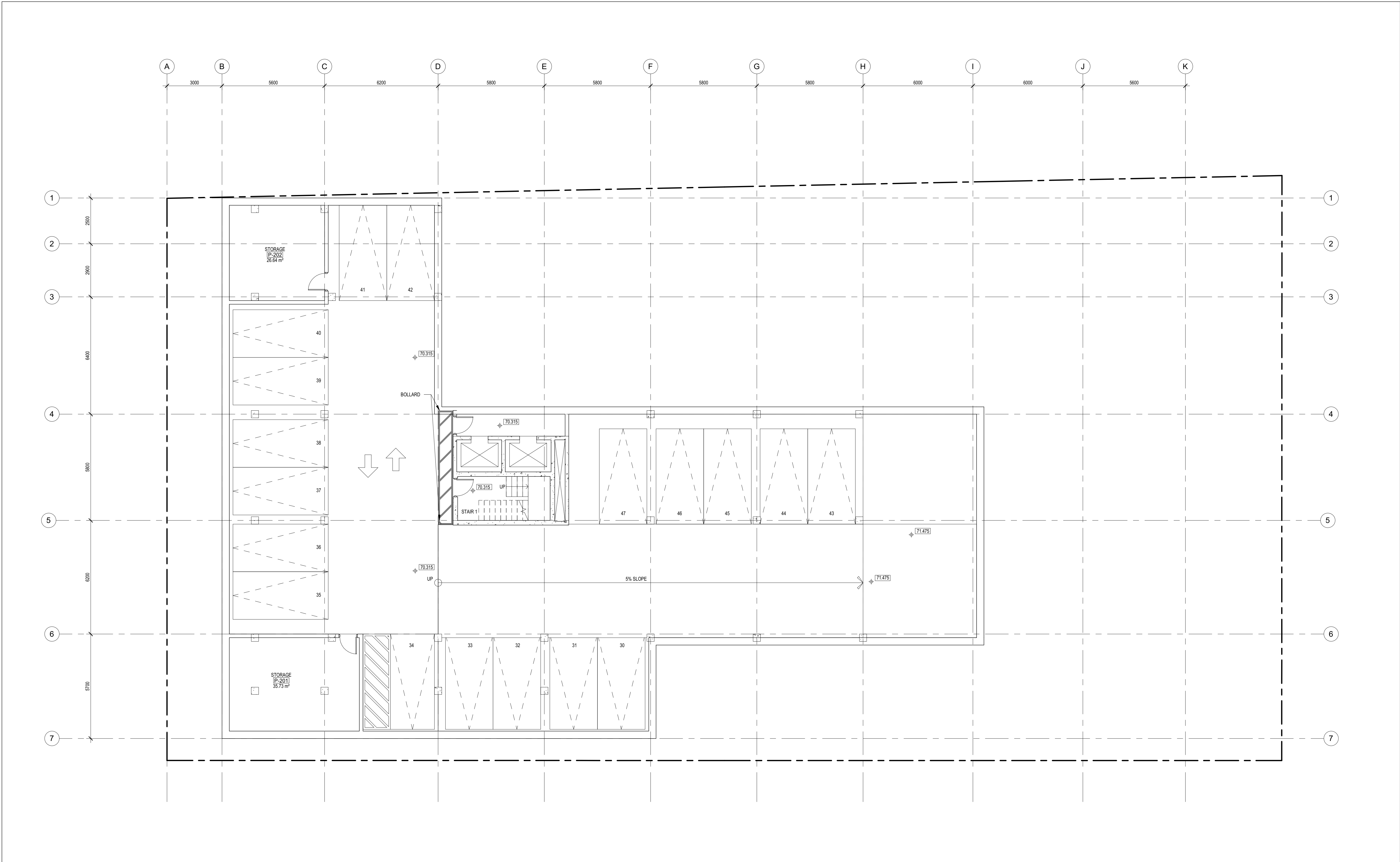
SP-01

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RELEASE / REVISION RECORD

No.	Description	Date
1	ISSUED FOR COORDINATION	2019-02-01
2	ISSUED FOR SITE PLAN CONTROL	2019-04-04
3	ISSUED FOR PLANNING REVIEW	2020-03-04

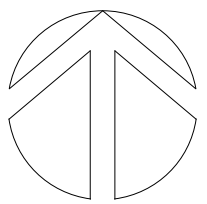


1
A-100-2
LEVEL P2
SCALE 1 : 100

OWNER

472 BYRON PLACE

PROJECT NORTH



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**BYRON PLACE
APARTMENTS**

472 BYRON PLACE

PROJECT NO.

17-1547

DRAWN

CG

SCALE

1 : 100

CHECKED

RC

DRAWING TITLE

LEVEL P2 FLOOR PLAN

DRAWING NO.

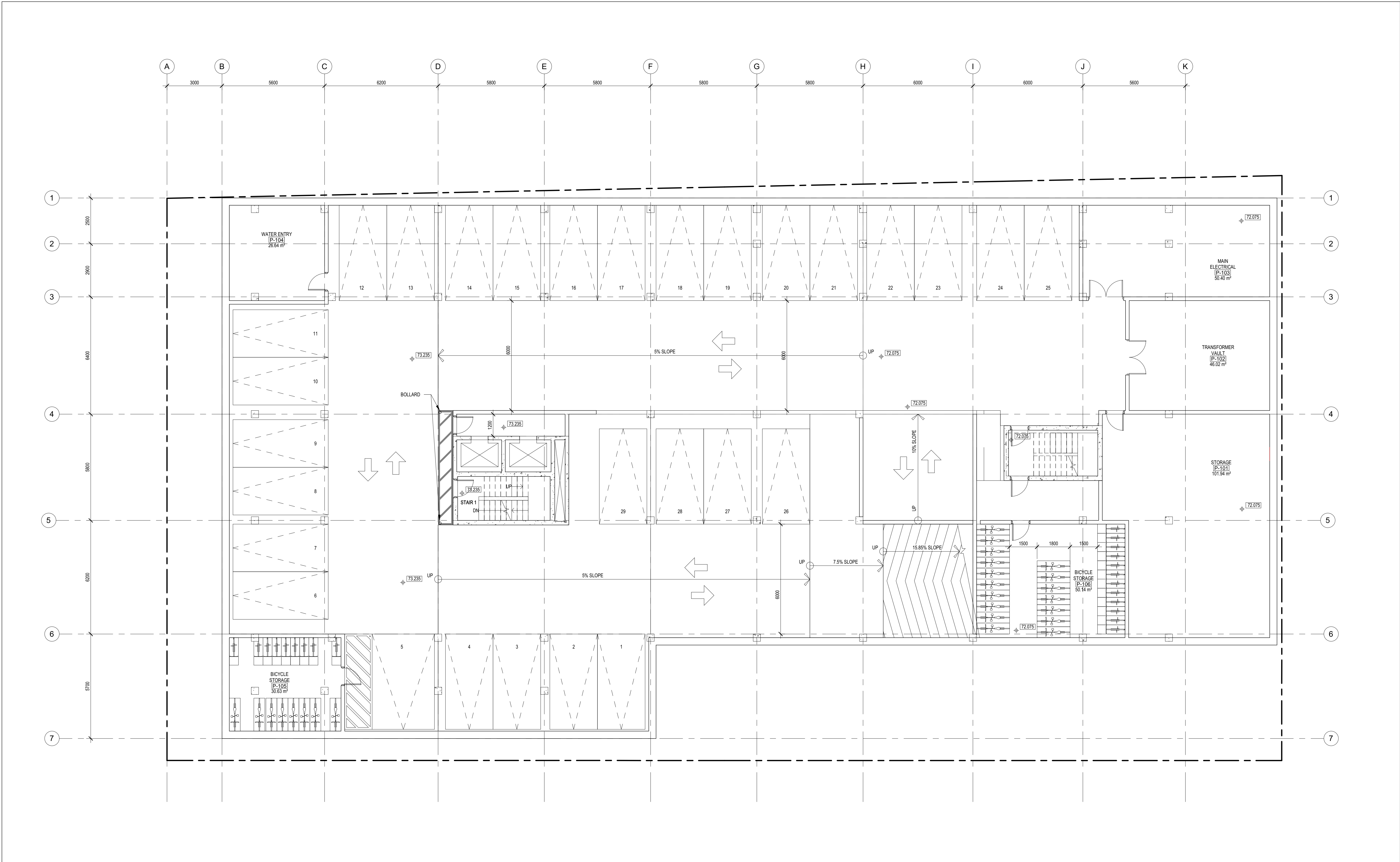
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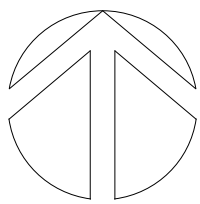


1 LEVEL P1
A-100-1 SCALE 1 : 100

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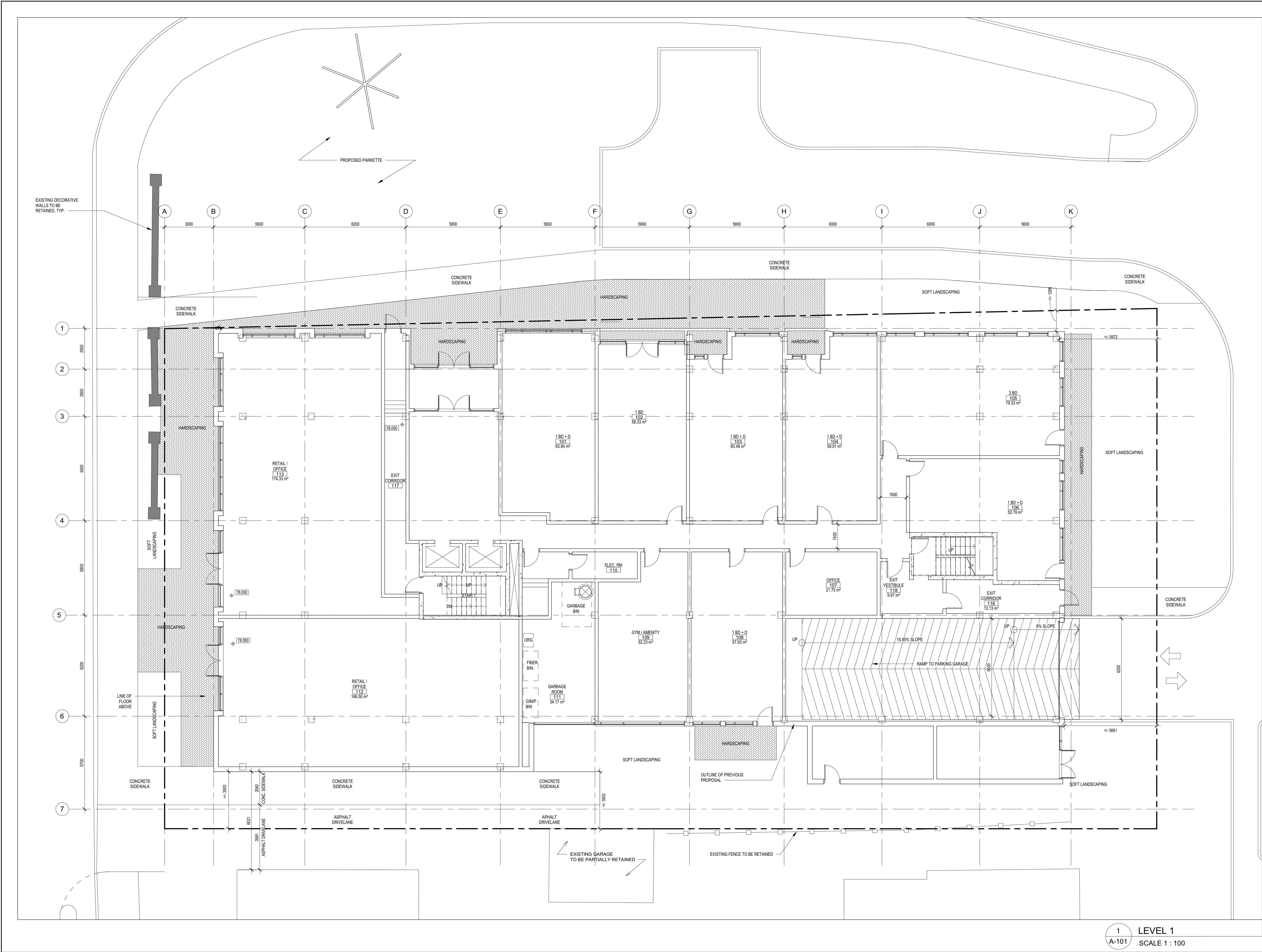
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DRAWING TITLE

LEVEL P1 FLOOR PLAN

DRAWING NO.

A-100-1



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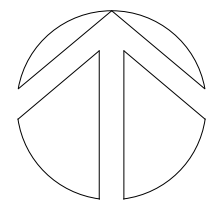
RELEASE / REVISION RECORD

No.	Description	Date
1	ISSUED FOR COORDINATION	2018-12-10
2	ISSUED FOR SITE PLAN CONTROL	2019-04-04
3	ISSUED FOR PLANNING REVIEW	2020-03-04

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SCALE

1 : 100

CHECKED

RC

DRAWING TITLE

GROUND FLOOR PLAN

DRAWING NO.

1
A-101
LEVEL 1
SCALE 1 : 100

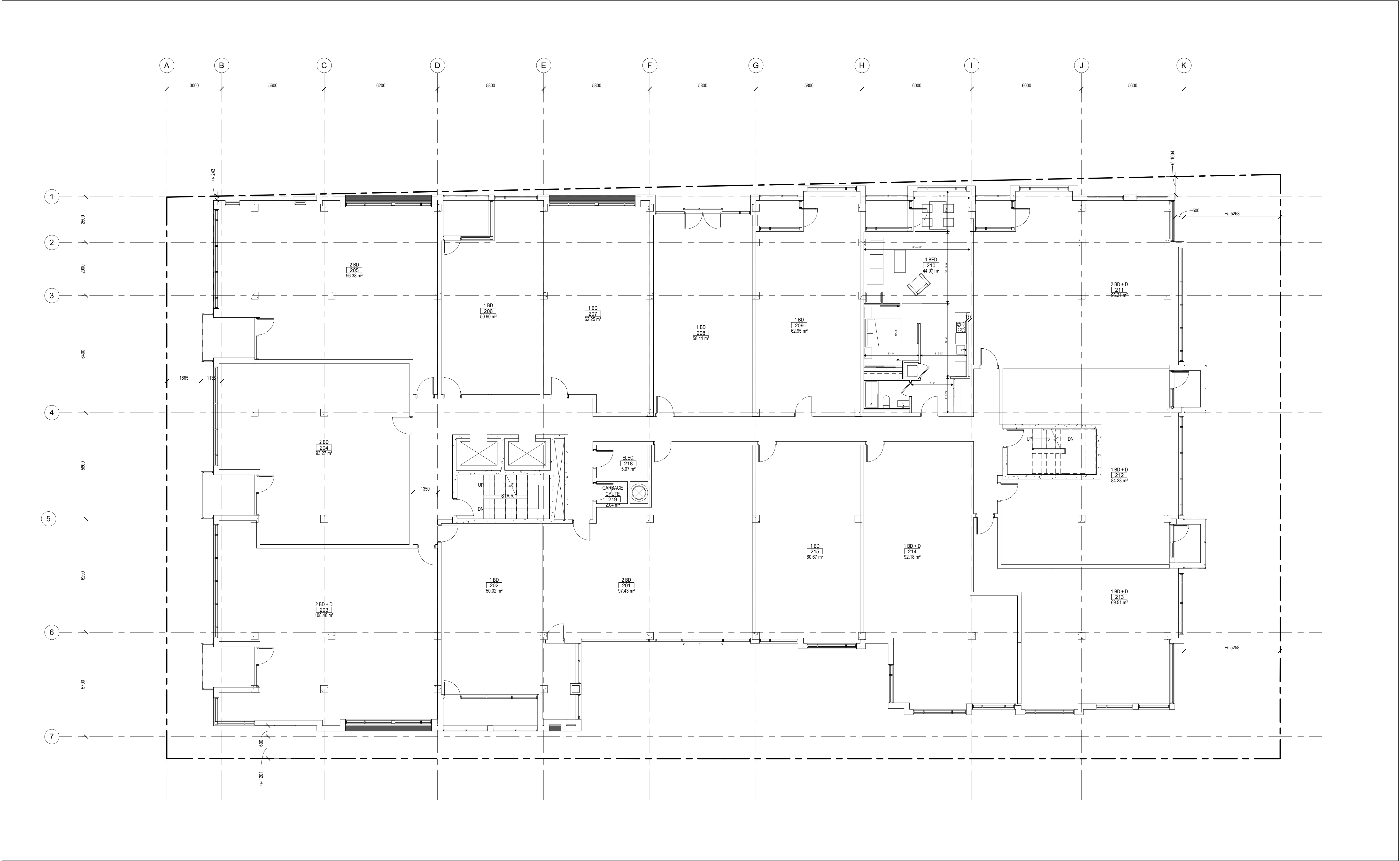
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RELEASE / REVISION RECORD

No.	Description	Date
1	CONCEPT DESIGN	2017-12-04
2	ISSUED FOR SITE PLAN CONTROL	2019-04-04
3	ISSUED FOR PLANNING REVIEW	2020-03-04

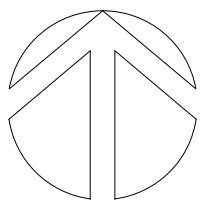


1
A-102
LEVEL 2
SCALE 1 : 100

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SCALE

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DRAWING TITLE

LEVEL 02 FLOOR PLAN

DRAWING NO.

A-102

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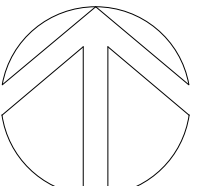
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1	CONCEPT DESIGN	2017-12-04
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3	ISSUED FOR PLANNING REVIEW	2020-03-04

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PROJECT NO. 17-1547	DRAWN CG
SCALE 1 : 100	CHECKED RC

DRAWING TITLE
LEVEL 03 FLOOR PLAN

DRAWING NO.

A-103

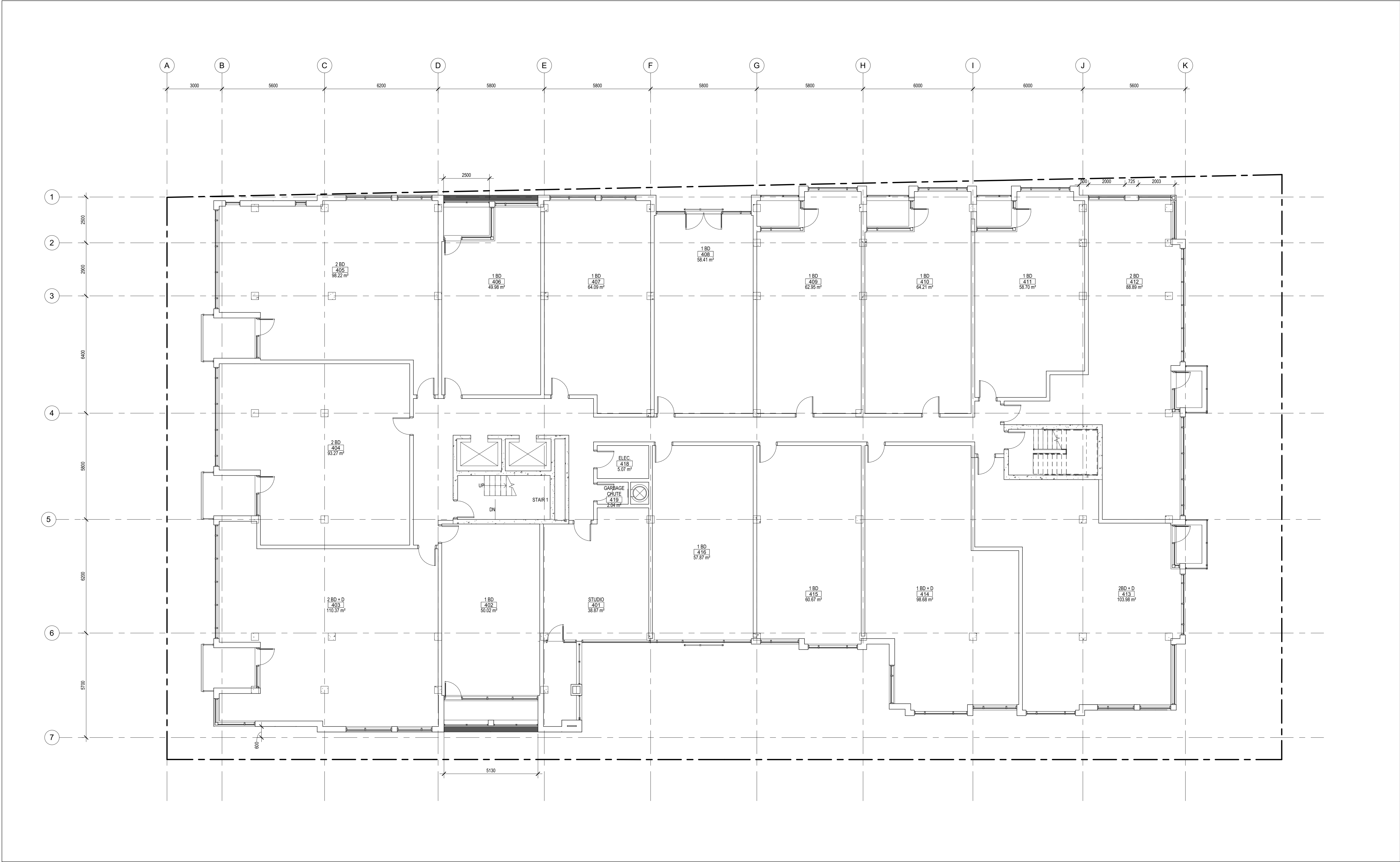
1 LEVEL 3
A-103 SCALE 1 : 100

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3	ISSUED FOR PLANNING REVIEW	2020-03-04

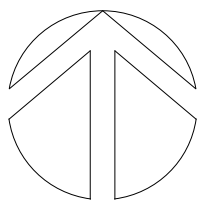


1 LEVEL 4
A-104 SCALE 1 : 100

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CG

SCALE

1 : 100

CHECKED

RC

DRAWING TITLE

LEVEL 04 FLOOR PLAN

DRAWING NO.

A-104

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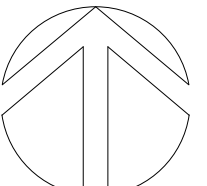
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1	CONCEPT DESIGN	2017-12-04
2	ISSUED FOR SITE PLAN CONTROL	2019-04-04
3	ISSUED FOR PLANNING REVIEW	2020-01-03
4	ISSUED FOR PLANNING REVIEW	2020-03-04

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PROJECT NO. 17-1547	DRAWN CG
SCALE 1 : 100	CHECKED RC

DRAWING TITLE
LEVEL 05 FLOOR PLAN

DRAWING NO.

A-105

1
A-105

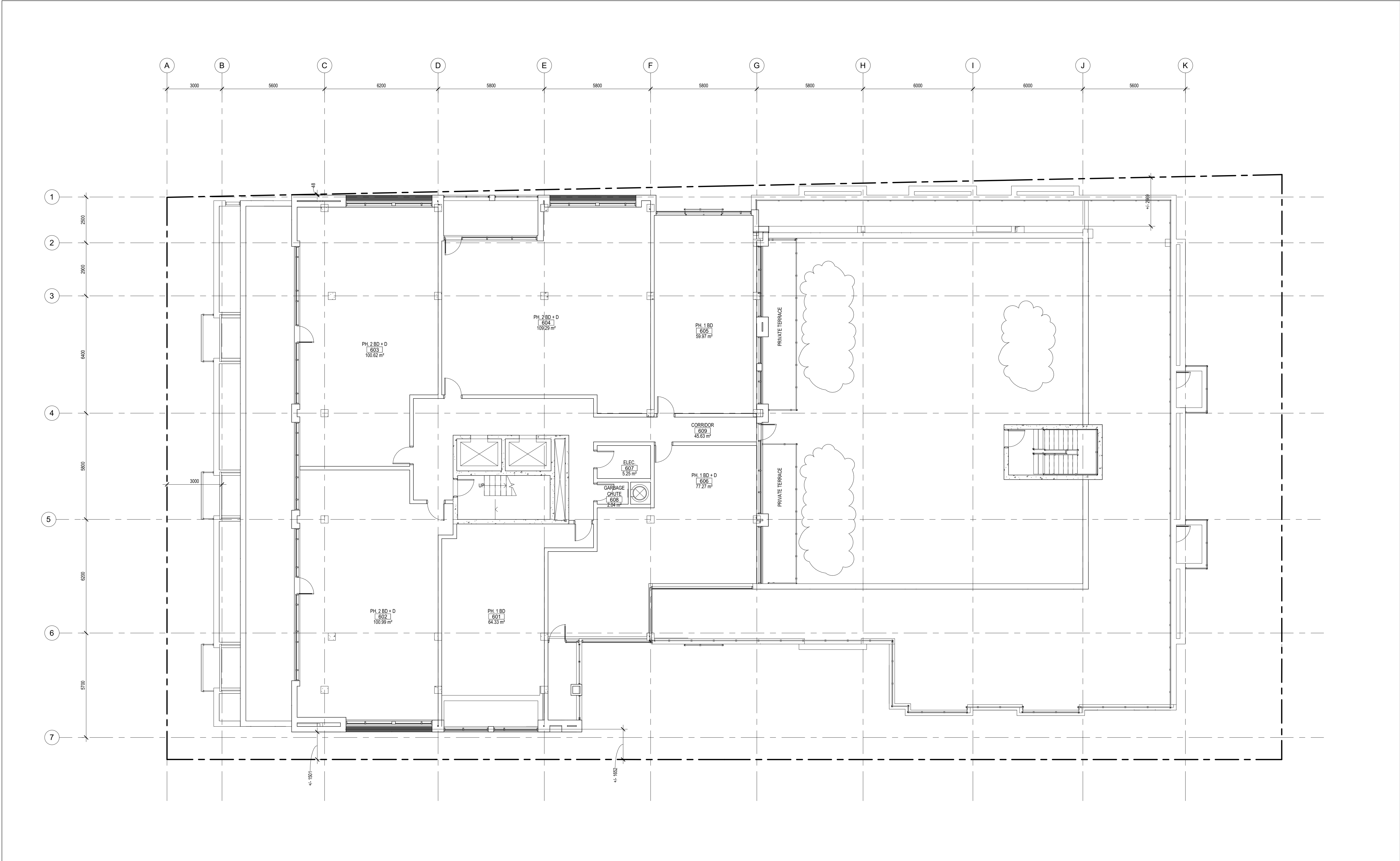
LEVEL 5
SCALE 1 : 100

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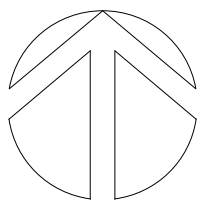
1
A-106

LEVEL 6
SCALE 1 : 100

OWNER

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17-1547

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SCALE
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RC

DRAWING TITLE
LEVEL 06 FLOOR PLAN

DRAWING NO.

A-106