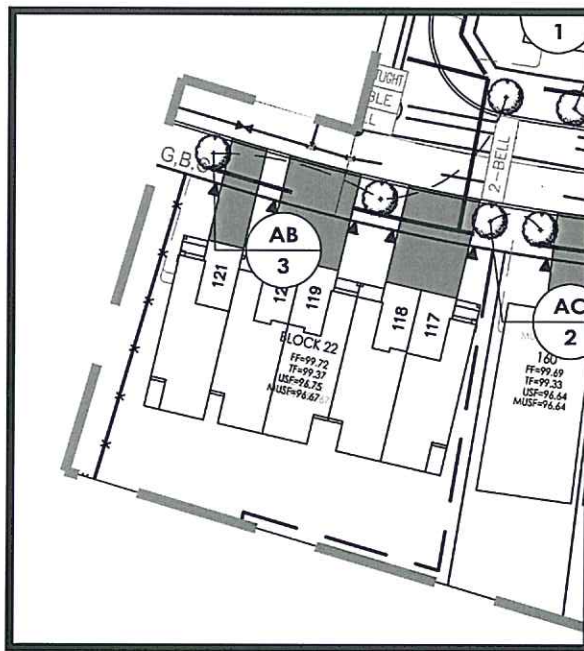


Block 360 4M-1637 BLACKSTONE SOUTH



December
2019

Planning Rationale

Prepared in support of a Zoning Amendment Application

CARDEL
HOMES

Block 360 4M-1637 BLACKSTONE SOUTH

PLANNING RATIONALE

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INTRODUCTION

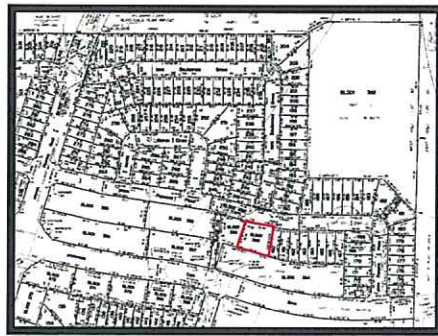
Application Overview

Cardel Homes is proposing to build five (5) freehold, townhouse units within Block 360 on 4M-1637. To do this they require an amendment to the City of Ottawa Zoning By-law 2008-250. This Planning Rationale has been written to support the change from the existing **Residential First Density Subzone Z Exception 1863** (R1Z[1863]) for detached dwellings to **Residential Third Density Subzone Z Exception 2055** (R3Z[2055]) for townhouse units.

Site Context

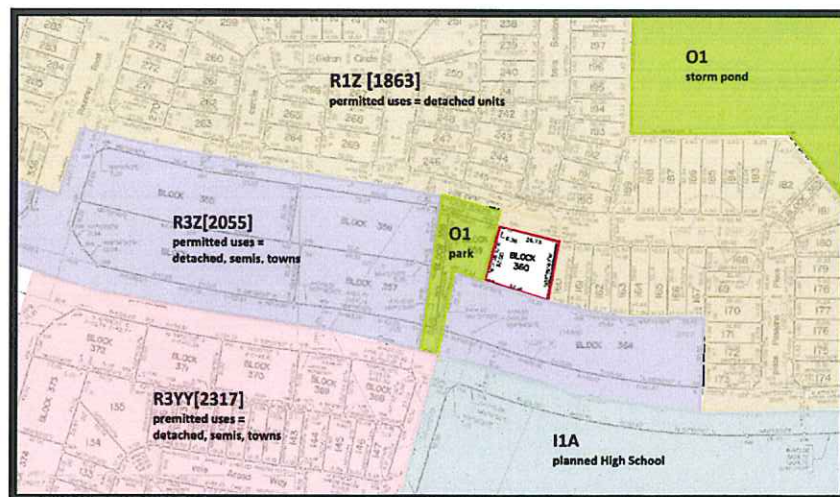
The site is located within the new community of Blackstone South, Ward 6 - Stittsville. Blackstone South is bounded by Terry Fox Drive to the east, Fernbank Road to the south, the Monahan Drain to the north and development lands to the west. The specific area for Block 360 is on Paseana Place, which is north of Cope Drive, between Terry Fox Drive and Rouncey Road (shown in Figure 1).

FIGURE 1 – SITE LOCATION



The lands surrounding Block 360, are predominantly undeveloped, low density residential lands, zoned as depicted in Figure 2.

FIGURE 2 – SURROUNDING CONTEXT



Once developed the community of Blackstone will be a mixture of single detached, townhomes, stacked townhomes and low-rise apartments. There will be several parks and open spaces connected by pathways and trails. There are schools planned and transit services will be extended to service the new residents.

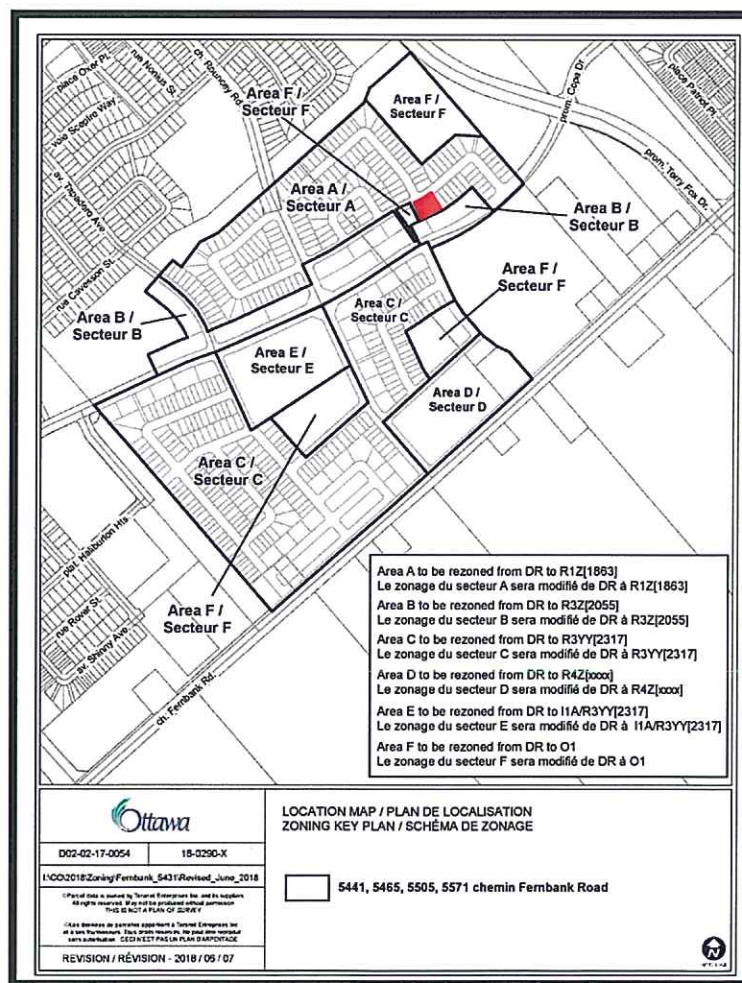
Currently Block 360 and the adjacent properties are vacant. The underground services, utilities and road base around this area are in various stages of completion (Paseana Place will be serviced over Winter 2020).

Previous Applications

A Draft Plan of Subdivision application was assigned to Ottawa City Planner Kathy Rygus (File Number D07-16-17-0014) and was approved in May 2018. Block 360 was created on 4M-1637 when the plan was registered on July 23rd, 2019. It should be noted that the City has approved the engineering for this subdivision, which shows servicing this block for townhouse units.

In July 2018, City Council approved the corresponding zoning for the subdivision. An R1Z [1863] zone was applied to Block 360. The zoning map attached to the Council Report is shown as Figure 3.

FIGURE 3 – APPROVED ZONING



In support of the subdivision and zoning applications, a detailed Planning Rationale was prepared and submitted by FoTenn Planning and Design. It outlines how the proposed development of Blackstone South, including the subject lands, maintained consistency with the Provincial Policy Statement and supported the objectives and policies of both the City of Ottawa Official Plan and the Fernbank Community Design Plan.

The purpose of this report is to demonstrate that the conclusions of the previous Planning Rationale still will remain valid if this zoning amendment is granted.

POLICY FRAMEWORK

Provincial Policy Statement (2014)

The Provincial Policy Statement (PPS) provides direction from the province on planning and land use matters. It requires that planning decisions “be consistent with” statements contained in the Act.

The proposed zoning change is consistent with the policies in the PPS, notably;

- Section 1.1 – Managing and directing land use to achieve efficient and resilient development and land use patterns

In this section the PPS highlights that new development should take place in designated growth areas and should not occur in isolation. The development being proposed in an area, where the City of Ottawa has directed growth and is surrounded by other developments, in different stages of construction. The requested change will permit a higher density, which supports PPS Policy 1.1.3.6, which calls for the efficient use of land, infrastructure and public service facilities.

- Section 1.4 – Housing

Policy 1.4.3 states that new housing should be offered at affordable prices in locations where appropriate levels of infrastructure and public services are available. The approval of this application would allow for additional townhouse units, which are a popular unit type for buyers looking for a more affordable home. The proposed project will be well situated to take advantage of the new infrastructure and services being installed to support the surrounding community.

City of Ottawa Official Plan

The Official Plan (OP) for the City of Ottawa designates Block 360 as *General Urban Area*. Figure 4 is an excerpt of OP Schedule B, the project location has been marked with a “star”.

FIGURE 4 – OFFICIAL PLAN DESIGNATION



The *General Urban* designation permits for a full range and choice of housing types. In Section 3.6.1 the OP outlines the policies the City will consider when reviewing requests for intensification within the General Urban Area. It will be permitted if the project enhances and complements the desirable characteristics and ensures the long-term vitality of the community to which it will become part of. Specifically, Policy 5 states;

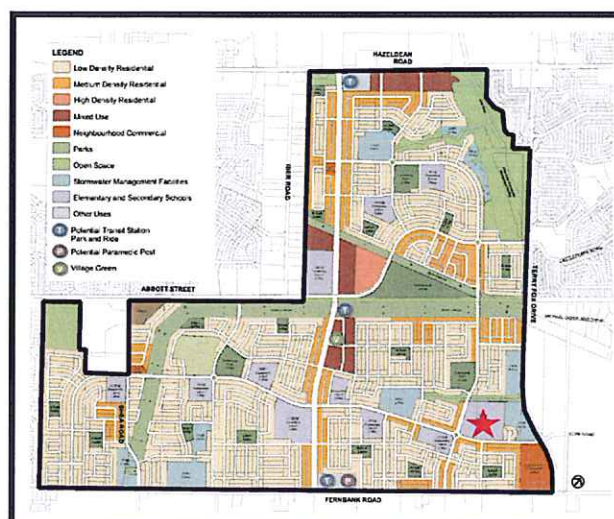
The City supports intensification in the General Urban Area where it will complement the existing pattern and scale of development and planned function of the area. The predominant form of development and intensification will be semi-detached and other ground-oriented multiple unit housing. When considering a proposal for residential intensification through infill or redevelopment in the General Urban Area, the City will:

- A) *Assess the compatibility of new development as it relates to existing community character so that it enhances and builds upon desirable established patterns of built form and open spaces;*
 - B) *Consider its contribution to the maintenance and achievement of a balance of housing types and tenures to provide a full range of housing for a variety of demographic profiles throughout the General Urban Area*
- ➔ This request is not introducing anything new to this community. Permitting townhouses on Block 360 would be continuation of what is allowed further down Paseana Place and consistent with the product type to the rear of this site.
- ➔ These units would compliment the current mix of housing types. Increasing the density with minimal impact.

Fernbank Community Design Plan

The Fernbank Community Design Plan (CDP) was prepared to provide direction and further guidelines for future development within approximately 674 hectares of land between the communities of Stittsville, Kanata West and Kanata South. This new suburban area has been planned to contain 9,700 to 11,000 units. Figure 5 is the Demonstration Plan from the completed CDP. Since the approval of the CDP the Secondary School proposed for north of Cope Drive was flipped to the south side. This change resulted in the residential development to “swap” locations as well. The demonstration plan showed a desired to have Medium Density Residential lots back to back, with some facing lower density units.

FIGURE 5 – FERNBANK CDP DEMONSTRATION PLAN



The townhouse units proposed on Block 360 would be considered Medium Density Residential. A minimum of 3,000 medium density units will be required in the Fernbank area to meet the density targets proposed in the CDP.

Section 6.6.2 of the Fernbank CDP provides general guidelines for residential dwellings within the Fernbank area. Table 1 summarizes the relevant objectives and relates them specifically to this application.

TABLE 1 – GUIDELINES FOR RESIDENTIAL DWELLINGS

Guideline	Block 360 Response
A variety of housing types and designs within each neighbourhood should be provided to enhance the streetscape.	Block 360 will have townhouses, while the lots to the east and across the street will be detached dwellings.
Residential dwellings should be located close to the street to reinforce a strong street edge.	Where possible units are pushed towards the street, increasing backyard spaces and creating a welcoming streetscape.
Provide a variation in the siting of residential dwellings within the streetscape to avoid the impacts of long, straight streets.	Paseana Place has a slight curve, mitigating the negative aesthetics of a long, straight street.
The architectural character of all dwellings should have a consistent architectural style.	There are design guidelines for the Blackstone community, which insures that homes work together architecturally. (Figure 6)
Avoid the dominance of the garage throughout the Community by controlling the projection of a garage in front of the main residential building wall or providing vehicular access from a laneway. Projecting garages on narrow lots may be considered, subject to the approval of the City.	The townhouses proposed are 2-storey units, with living space above the garage. The garage's visual impact is lessened, as it does not project out from the main building. (Figure 6)
Residential dwellings that face or flank a park or school should incorporate a high quality of architectural interest.	The unit flanking the park will have an enhanced side elevation, like the that of a corner.
Driveways should be paired, where possible, to minimize the presence of garages on the streetscape, and provide for ample space for trees within the boulevard.	Block 360 can accommodate 5 townhouse units, it has been laid out with 4 of the driveways paired, allowing for 3 trees to be planted.
Front entrances should face and be visible from the street.	All front doors will face Paseana Place.
Where possible, utility elements and equipment should be located away from publicly exposed views and are discouraged from being located in the front yard or flankage yard. Where utilities are required to be located in the front or flankage yards, the utilities should be located in a discreet area or screened from public view through landscaping or other screening mechanisms.	The utility meters are to be located along the side wall of the east, end unit. They will be barely visible from public property.
The architectural style of the townhouse dwellings should be consistent with the character of adjacent single and semi-detached residential dwellings.	The Design Guidelines for Blackstone make dwelling design consistent within the community. The townhouses on Block 360 will be complementary to the surrounding detached homes. (Figure 6)

FIGURE 6 – BLACKSTONE SOUTH UNIT ELEVATIONS



City of Ottawa Zoning By-Law 2008-250

Block 360 is currently zoned Residential First Density Subzone Z Exception 1863 (R1Z[1863]) which does not permit townhouses. This application is to amend the zoning to *Residential Third Density Subzone Z Exception 2055 (R3Z [2055])* which would align the zoning with the approved engineering drawings for the subdivision. Prior to the final registration of the plan, but after the zoning was approved, Block 360 was changed to towns to make better use of the available frontage. It was an oversight, which resulted in a zoning deficiency for this block. After conferring with the City, the recommended solution was to apply to amend the zoning to match the other townhouse areas of the plan. The requested R3Z [2055] zone as summarized in Table 2 has the same provisions as the lands to the rear of Block 360. The proposed townhouses units are designed to conform to this zone.

TABLE 2 – ZONING SUMMARY

Provisions	Requirement (For Towns)
Lot area (min)	150 m ²
Lot width (min)	6 m
Front yard setback (min)	5 m
Garage to sidewalk setback (min)	6.2 m
Garage projection (max)*	2.7 m
Corner side yard setback (min)	3 m
Interior side yard setback (min)	1.2 m
Rear yard setback (min)	6 m
Height (max)	11 m

CONCLUSION

The rezoning of Block 360 to permit the construction of townhouses aligns the intent of the registered subdivision and engineering plans with the appropriate zoning. The proposed change meets the planning framework. It is consistent with the Provincial Policy Statement and conforms to the Official Plan and Fernbank Community Design Plan. The proposed townhouses on Block 360 represents good land use planning.

Report by:



Lisa Dalla Rosa MCIP, RPP
Manager Planning and Development
Cardel Homes