
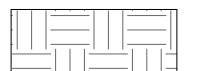
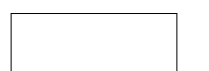





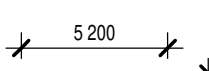
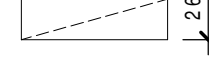



SITE PLAN LEGEND

-  BUILDING AREA
-  SOFT LANDSCAPING. REFER TO LANDSCAPE DRAWINGS
-  HARD LANDSCAPING. REFER TO LANDSCAPE DRAWINGS
-  ASPHALT. REFER TO LANDSCAPE DRAWINGS
-  BUILDING ENTRANCE / EXIT (GROUND FLOOR)
-  BUILDING EXIT (GROUND FLOOR)
-  TRAFFIC DIRECTION
-  R.D. ROOF DRAIN
-  CAR PARKING
R3 : RESIDENTIAL 1131 TERON RD
V3 : VISITOR 1131 TERON RD
-  BARRIER-FREE PARKING (TYPE B)
-  BARRIER-FREE PARKING (TYPE A)

SIGNS

SIGNS SHALL BE PROVIDED FOR ALL VISITOR PARKINGS, BARRIER FREE PARKINGS & FIRE ROUTES
ALL THE SIGNS SHALL FOLLOW THE SPECIFICATIONS OF THE CITY OF OTTAWA

THE PARKING SIGNS WILL BE LABELED AS:
"VISITOR ONLY"
"RESIDENT ONLY"
"ACCESSIBLE PARKING"
AND REINFORCED: "UNAUTHORIZED VEHICLES TOWED AWAY"

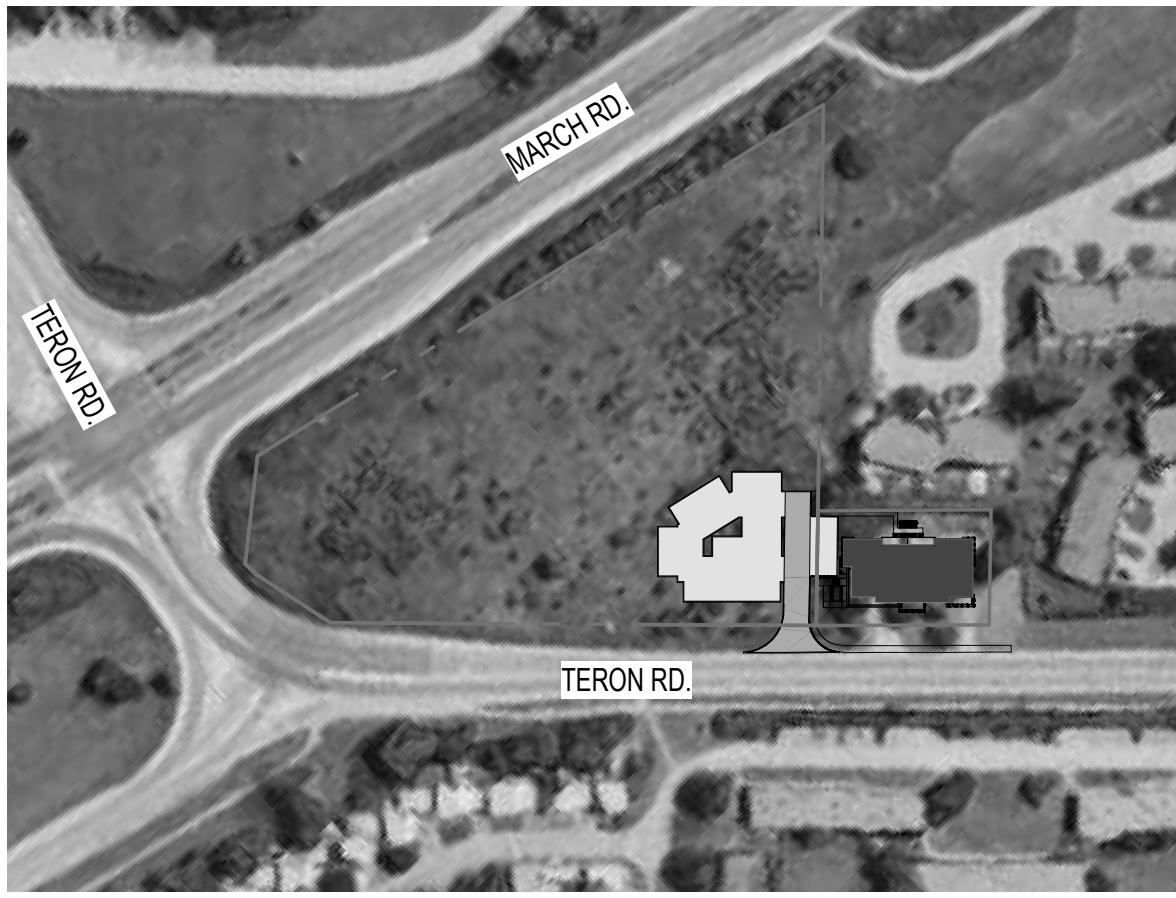
GENERAL NOTE:
WHEN RETAINING WALLS ARE GREATER THAN 1 METER IN HEIGHT THE DESIGN WILL BE DONE BY A STRUCTURAL ENGINEER

PARKING, DRIVEWAY, PATHWAY AND TERRACE LIGHTING TO BE PROVIDED WITH LIGHTING FIXTURES LOCATED ON BUILDINGS

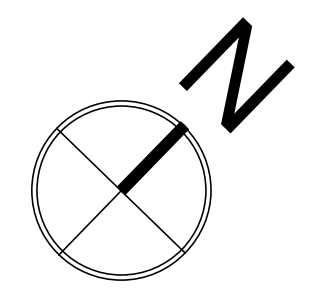
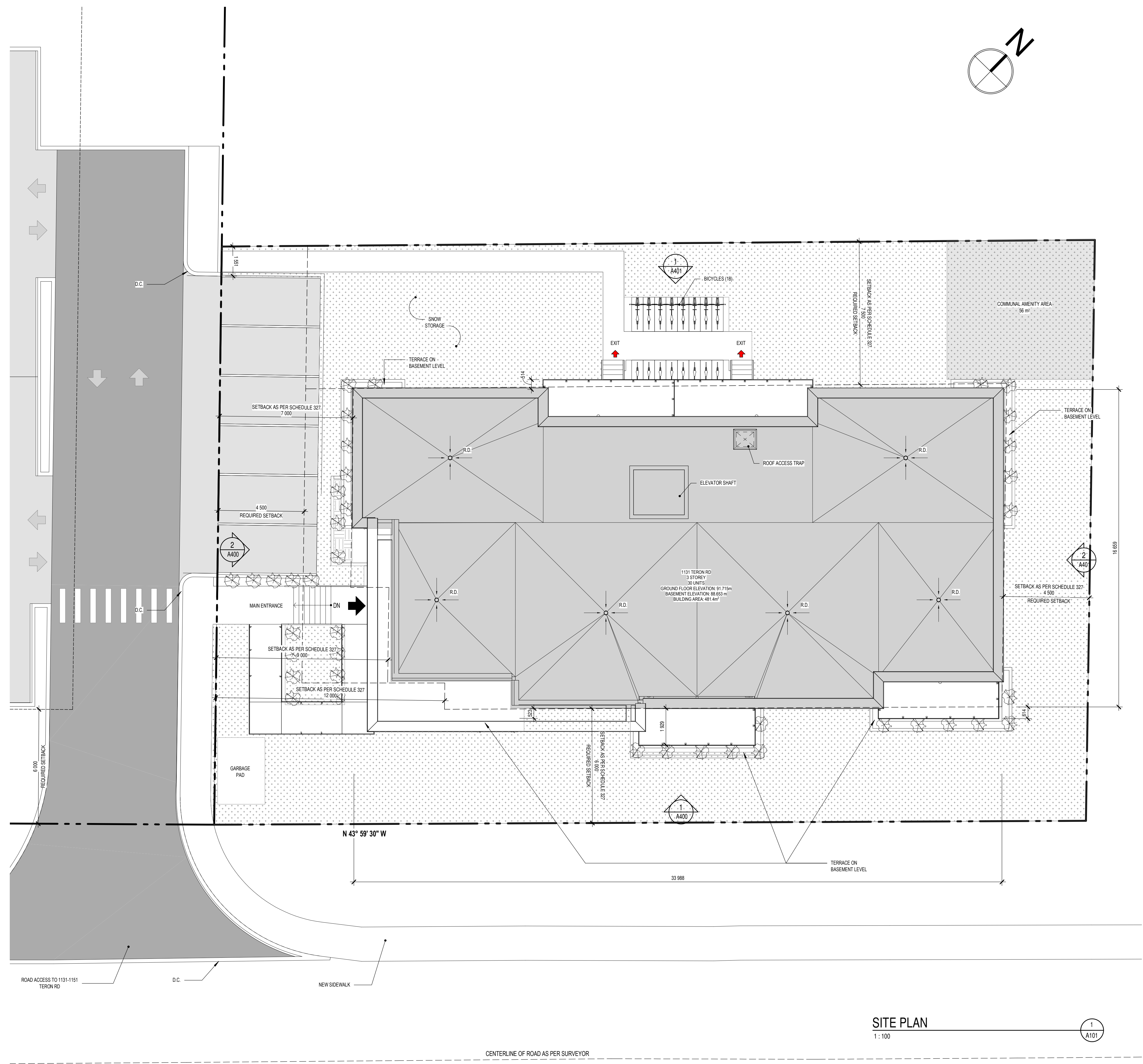
ROOF SCUPERS LOCATED AT A MAXIMUM OF 150mm ABOVE DRAINS

LEGAL DESCRIPTION:
This property is legally described as Part of Lot 5,
Concession 4, Geographic Township of March,
City of Ottawa

TOPOGRAPHICAL INFORMATION:
Property boundary and topographic lines have been derived
from the plan prepared by Fairhall Moffat & Woodland



KEY PLAN



GENERAL NOTES Notes générales

- These architectural documents are the exclusive property of NEUF architect(e)s and cannot be used, copied or reproduced without written pre-authorization. / Ces documents d'architecture sont la propriété exclusive de NEUF architect(e)s et ne pourront être utilisés, reproduits ou copiés sans autorisation écrite préalable.
- All dimensions which appear on the documents must be verified by the contractor before to start the work. / Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux.
- The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals. / Veuillez aviser l'architecte de toute dimension erreur et/ou divergences entre ces documents et ceux des autres professionnels.
- The dimensions on these documents must be read and not measured. / Les dimensions sur ces documents doivent être lues et non mesurées.

PLANNER Planificateur
FOTENN Planning and Urban design
223, McLeod Street, Ottawa, ON K2P 0Z8
T 613 730 5709 fotenn.com

STRUCTURE Structure
FIRM
ADDRESS
PHONE NUMBER

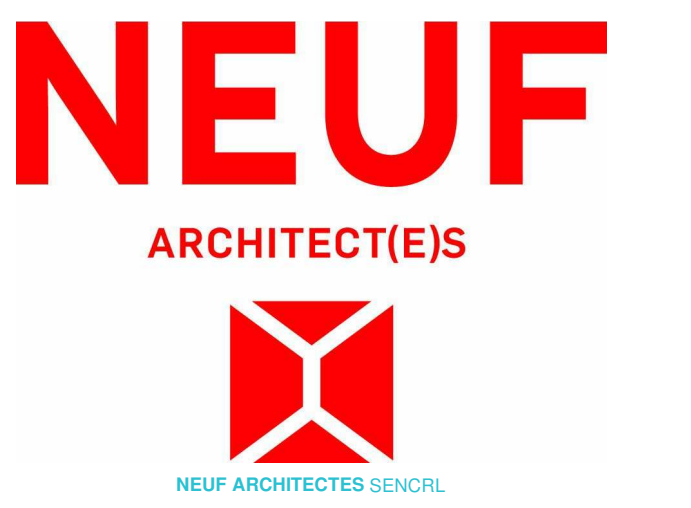
MECHANICAL / ELECTRICAL Électrique / Mécanique
FIRM
ADDRESS
PHONE NUMBER

LANDSCAPE ARCHITECT Architecture de paysage
FIRM
ADDRESS
PHONE NUMBER

CIVIL Civil
FIRM
ADDRESS
PHONE NUMBER

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T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



CLIENT Client
11021028 CANADA INC.
47 Clarence Street Suite 406, Ottawa, ON K1N 9K1

PROJECT Ouvrage
1131 TERON ROAD

LOCATION Emplacement
OTTAWA

NO PROJ. No.
12003.00

NO	REVISION	DATE (yy-mm-dd)
1	ISSUED FOR SITE PLAN CONTROL	2019.07.05
2	ISSUED FOR COMMENTS	2019.09.11
3	ISSUED FOR SITE PLAN CONTROL R2	2019.10.16
4	ISSUED FOR SITE PLAN CONTROL R3	2019.10.21
5	ISSUED FOR SITE PLAN CONTROL R4	2019.10.23

Preliminary
DO NOT USE FOR
CONSTRUCTION

DRAWN BY Dessiné par
A.C.A.

CHECKED BY Vérifié par
Ant.C.

DATE (mm.dd.yy)
18/07/24

SCALE Échelle
Comme indiqué

DRAWING TITLE Titre du dessin
SITE PLAN

REVISION Révision
5

DWG NUMBER No. Dessin
A101

X-XXXXX

SITE PLAN
1 : 100

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