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Phase I - Environmental Site Assessment

367, 369 and 371 Preston Street
Ottawa, Ontario

Prepared For

Arnon Corporation

June 7, 2018

Report: PE4276-1

TABLE OF CONTENTS

	PAGE
EXECUTIVE SUMMARY.....	ii
Recommendations	ii
1.0 INTRODUCTION	1
2.0 SITE INFORMATION.....	1
3.0 SCOPE OF WORK.....	2
4.0 METHOD OF INVESTIGATION.....	3
4.1 Historical Research	3
4.2 Field Assessment.....	4
5.0 FINDINGS OF THE ENVIRONMENTAL ASSESSMENT	5
5.1 Historical Review.....	5
5.2 Exterior Assessment	9
5.3 Interior Assessment.....	10
5.4 Adjacent Properties.....	12
6.0 CONCLUSION.....	13
6.1 Assessment.....	13
6.2 Recommendations.....	14
7.0 STATEMENT OF LIMITATIONS.....	15

APPENDICES

Appendix	Aerial Photographs MOECC FOI Search TSSA Correspondence Figure 1 – Key Plan Drawing PE4276-1 – Site Plan
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EXECUTIVE SUMMARY

Assessment

Paterson Group conducted a Phase I-Environmental Site Assessment (ESA) of the properties located at 367, 369 and 371 Preston Street in the City of Ottawa, Ontario. The purpose of this Phase I-ESA was to research the past and current use of the subject site and neighbouring properties and to identify any environmental concerns with the potential to have impacted the subject property.

Based on our historical research, the subject properties were initially developed with residential dwellings in the late 1930s or early 1940s. The properties have been used for residential purposes and one (1) commercial restaurant (ground floor of 371 Preston Street) since their initial construction. No environmental concerns were noted with the historical uses of the subject properties.

Historical research indicates that surrounding land use has generally been a mix of residential and commercial. Two (2) of the properties in the vicinity of the subject site (450 Rochester Street and 70 Beach Street) identified current or former potentially contaminating activities on-site. However, based on a review of previous subsurface investigations conducted by Paterson on these properties, their current or former uses are not considered to have had the potential to have impacted the subject property.

Following the historical research, a site inspection of the subject site and the Phase I-ESA study area was conducted. A portion of the subject site (371 Preston Street) is occupied by a restaurant on the basement and ground floor level, and by a residential apartment on the second level. The remainder of the subject site (367 Preston Street and 369 Preston Street) are occupied by residential apartment units. No concerns were identified with the current use of the subject or neighbouring properties at the time of the site inspection.

Based on the results of this Phase I - ESA, **in our opinion, a Phase II - Environmental Site Assessment is not required for the subject property.**

Recommendations

Based on the age of the subject structures, some of the building materials have the potential to be asbestos containing materials (ACMs). The potential ACMs include vinyl floor tiles, drywall joint compound, plaster walls and ceilings and suspended ceiling tiles. The potential ACMs were observed to be in good condition and do not represent an immediate concern. An asbestos survey of the subject structures should be completed in accordance with the Ontario Regulation 278/05, if one has not been completed.

Based on the date of construction of the subject buildings, lead-based paints are possibly present on original painted surfaces throughout the structures. At the time of the assessment, the painted surfaces observed were in good condition. Lead testing should be conducted in the building prior to the disturbance of older painted surfaces. Major works involving lead based painted surfaces must be done in accordance with Ontario Regulation 843, under the Occupational Health and Safety Act.

1.0 INTRODUCTION

At the request of Arnon Corporation, Paterson conducted a Phase I - Environmental Site Assessment (ESA) of the residential and commercial properties located at 367, 369 and 371 Preston Street, in the City of Ottawa, Ontario. The purpose of this Phase I - ESA was to research the past and current use of the site and study area and to identify any environmental concerns with the potential to have impacted the subject property.

This report has been prepared specifically and solely for the above noted project which is described herein. It contains all of our findings and results of the environmental conditions at this site.

2.0 SITE INFORMATION

Address:	367, 369 and 371 Preston Street, Ottawa, Ontario.
Legal Description:	Plan 194250 Lots 8, 9 and 10 Preston Street East, in the City of Ottawa.
Location:	Located on the northeast corner of the Preston Street and Beech Street intersection, in the City of Ottawa, Ontario. Refer to Figure 1 - Key Plan for the site location.
Latitude and Longitude:	45° 24' 3.22" N, 75° 42' 34.05" W
Site Description:	
Configuration:	Rectangular.
Site Area:	837 m ² (approximate)
Current Use:	The subject property is occupied by three (2) two-storey residential buildings. One of the buildings (371 Preston Street) has a commercial restaurant business on the ground floor level.
Services:	The subject site is located in a municipally serviced area.

3.0 SCOPE OF WORK

The scope of work for this Phase I - Environmental Site Assessment was as follows:

- ☐ Investigate the existing conditions present at the subject site by carrying out a field study and historical review in general accordance with CSA Z768-01.
- ☐ Present the results of our findings in a comprehensive report.
- ☐ Provide a preliminary environmental site evaluation based on our findings.
- ☐ Provide preliminary remediation recommendations and further investigative work if contamination is encountered or suspected.

4.0 METHOD OF INVESTIGATION

4.1 Historical Research

The methodology for the Phase I - Environmental Site Assessment program was carried out in two segments. The first consisted of a historical review which included a brief research of the past use of the site. This portion of the program was carried out by Paterson personnel from the Environmental Division. The following is a list of the key information sources reviewed by our firm.

Federal Records

- ☐ Maps and photographs (Geological Survey of Canada surficial and subsurface mapping).
- ☐ Air photos at the Energy Mines and Resources Air Photo Library.
- ☐ National Archives.
- ☐ PCB Waste Storage Site Inventory.

Provincial Records

- ☐ MOECC document titled "Waste Disposal Site Inventory in Ontario".
- ☐ MOECC Brownfields Environmental Site Registry.
- ☐ MOECC Freedom of Information.
- ☐ Office of Technical Standards and Safety Authority, Fuels Safety Branch.

Municipal Records

- ☐ The Corporation of the City of Ottawa.
- ☐ City of Ottawa document entitled "Old Landfill Management Strategy; Phase 1- Identification of Sites, City of Ottawa, Ontario"; finalized October 2004.

Local Information Sources

- ☐ Previous Engineering Reports.

4.2 Field Assessment

The second segment of the Phase I-ESA consisted of a site visit which included a walk-through inspection and detailed visual assessment of the environmental conditions of the subject property. The site visit was carried out on May 17, 2018 by personnel from our Environmental Division.

As part of the field assessment, the site was inspected for signs of the following:

- ☐ Evidence of previous or existing fuel storage tanks.
- ☐ On-site use or storage of hazardous materials.
- ☐ On-site handling or disposal of liquid or solid waste materials.
- ☐ Aboveground piping systems, including pumps, valves, and joints.
- ☐ Truck or rail loading or unloading areas.
- ☐ Electrical conduits, abandoned pipelines or pumping stations.
- ☐ Remnants of old buildings.
- ☐ Signs of surficial contamination (i.e. staining, distressed vegetation).
- ☐ Unnaturally discoloured, ponded, or flowing waters.
- ☐ Surficial drainage, wetlands, natural waterways, or watercourses through the property (i.e. ditches, creeks, ponds, poor drainage).
- ☐ Any evidence of potable water supply wells or groundwater monitoring wells (such as leak detection monitoring wells for underground storage tank systems or abandoned systems).
- ☐ Any abnormal odours associated with the site, whether from on-site or off-site sources.
- ☐ The presence of any recent soil disturbances such as soil removal, filling, tilling, grading, etc.
- ☐ Asbestos containing materials (ACMs).
- ☐ Urea formaldehyde foam insulation (UFFI).
- ☐ Products containing Polychlorinated Biphenyls (PCBs).
- ☐ Ozone depleting substances (ODS).
- ☐ Lead-containing materials.
- ☐ Current use of neighbouring properties.

5.0 FINDINGS OF THE ENVIRONMENTAL ASSESSMENT

5.1 Historical Review

Air Photo Research

Historical air photos from the National Air Photo Library were reviewed in approximate ten (10) year intervals. Based on the review, the following observations have been made:

- | | |
|------|---|
| 1928 | (City of Ottawa Website) The subject site appears to be vacant land at this time. Neighbouring properties to the south, east and north are also vacant in this photograph. Properties to the west appear to be primarily residential. |
| 1933 | No significant changes have been made to the subject or neighbouring properties with one exception. The adjacent property to the north has been developed with a residential dwelling. |
| 1947 | The subject property appears to have been developed with the three (3) present-day buildings. Properties to the north have been developed with residential dwellings. Properties to the south appear to have been developed with a combination of commercial and residential buildings. The adjacent property to the east has been developed with a commercial/industrial building. |
| 1958 | (City of Ottawa Website) No significant changes have been made to the subject or adjacent properties. |
| 1965 | (City of Ottawa Website) No significant changes have been made to the subject site. The adjacent building east of the subject site has been expanded. The building located at 60 Beech Street has been expanded to include 50 Beech Street. |
| 1976 | (City of Ottawa Website) No significant changes have been made to the subject or neighbouring properties with one exception. The adjacent commercial/industrial building to the east has been demolished. This site has been re-developed as a parking lot. |
| 1987 | No significant changes have been made to the subject site or surrounding properties since the previous photo. |

- 1991 (City of Ottawa Website) No significant changes have been made to the subject site since the previous photo. Commercial/industrial buildings north of the site (333 Preston Street) and east of the site (450 Rochester Street) have been demolished at this time.
- 2005 (City of Ottawa Website) No significant changes have made to the subject or neighbouring properties.
- 2017 (City of Ottawa Website, geoOttawa) The subject site and surrounding properties are depicted as they appear today.

Laser copies of selected aerial photographs reviewed are included in the Appendix.

National Archives

City directories at the National Archives were reviewed in approximate 10-year intervals from 1900 to 2011 as part of the Phase I - ESA.

No concerns were identified with the subject site in the directories which have always been listed as residential dwellings or commercial properties. Two properties in the general vicinity of the subject property were identified as having the potential to have impacted the subject lands. The property located at 450 Rochester Street, to the east of the subject site, was previously used for industrial purposes and contained a retail fuel outlet (situated approximately 125 m east of the subject site). Based on a review of a previous subsurface investigation conducted on this site by Paterson, the former use of the property at 450 Preston Street is not considered to be a concern with regard to the subject property.

The property at 70 Beech Street (approximately 20 m southeast of the subject site) is listed in the directories as an automotive garage. However, based on a review of a previous subsurface investigation conducted by Paterson on this property, it's former and current use as an automotive garage does not represent a potential concern to the subject lands.

None of the remaining former or current land uses identified in the directories in the immediate vicinity of the subject property were considered to have had the potential to have impacted the subject property.

Fire Insurance Plans (FIPs)

Fire Insurance Plans (FIPs) from 1912 and 1956 were reviewed for the area of the subject property.

In 1912, the subject site and immediately adjacent properties were occupied by the Export Lumber Co. lumber yard while the remaining surrounding properties were occupied by residential dwellings. No concerns were identified with the former use of the subject or surrounding properties in the 1912 FIPs.

The 1956 FIPs indicate that the subject site was occupied by the present day residential dwellings, addressed 367, 369 and 371 Preston Street. No concerns were identified in the 1956 FIPs with the past use of the subject site.

The adjacent property to the east (450 Preston Street) was occupied by the Pure Spring Co. Ltd. soft drink manufacturing facility while the property at 70 Beech Street is listed in the FIPs as an automotive garage. As previously noted, these properties are not considered to pose a concern to the subject lands based on a review of previous subsurface investigations conducted on these properties.

Former Industrial Sites

The report entitled "Mapping and Assessment of Former Industrial Sites, City of Ottawa" was also reviewed. The subject site was not listed in this report, however, three properties in the study area were listed:

- ☐ Site 23: National Printers, 401 Preston Street (50 m south), which operated in the 1950s
- ☐ Site 25: Mortimer Company Ltd., 95 Beech Street (90 m west), which operated from 1945 to 1965 as a printers.

These properties are not considered to have the potential to impact the subject site based on their separation distance.

Technical Standards and Safety Authority (TSSA)

The TSSA, Fuels Safety Branch in Toronto, was contacted on March 20, 2018, to inquire about current and former underground/aboveground storage tanks, spills and incidents for the subject site and neighbouring properties. The response from the TSSA did not identify any fuel storage tanks on the subject property or neighbouring properties.

Natural Resources Canada (NRCAN)

The Geological Survey of Canada website on the Urban Geology of the National Capital Area was consulted as part of this assessment. Based on the information from NRCAN, bedrock in the area of the site consists of limestone and shale interbeds of the Verulam Formation. Based on the maps, the thickness of overburden ranges from 2 to 5 m.

PCB Inventory

A search of national PCB waste storage sites was conducted as part of our assessment. No PCB waste storage sites are located within 500 m of the subject site.

Ontario Ministry of Environment and Climate Change (MOECC)

The Ontario Ministry of Environment and Climate Change document entitled "Waste Disposal Site Inventory in Ontario, 1991" was reviewed as part of the historical research. This document includes all recorded active and closed waste disposal sites, industrial manufactured gas plants and coal tar distillation plants in the Province of Ontario. No active or closed waste disposal sites were identified within 250m of the subject site.

A search of the MOECC Brownfields Environmental Site Registry was conducted as part of this assessment for the subject site and neighbouring properties and the general area of the site. No Records of Site Condition (RSCs) were filed for the subject property. No RSCs were filed for properties within 250 m of the subject site.

A request was submitted to the MOECC Freedom of Information office for information with respect to records concerning environmental incidents, orders, offences, spills, discharges of contaminants or inspections maintained by the MOECC for the site or adjacent properties. At the time of issuing this report, a response had not been received from the MOECC. Should the response contain pertinent information, the client will be notified.

City of Ottawa Old Landfill Document

The document prepared by Golder Associates entitled "Old Landfill Management Strategy, Phase I - Identification of Sites, City of Ottawa", was reviewed. No former landfills were identified within 250m of the subject site.

Previous Engineering Reports

Previous engineering reports by Paterson have been conducted in the area of the subject site. A review of these reports did not identify any concerns that are considered to have had the potential to have impacted the subject site.

5.2 Exterior Assessment

The site inspection was conducted on May 17, 2018.

Buildings

367 Preston Street

The building addressed 367 Preston Street, located on the northern-most portion of the site, is a two-storey structure finished with concrete and hard plaster. The building is heated with a natural gas fired forced air furnace located in the basement and has a sloped and shingled roof.

369 Preston Street

The building addressed 369 Preston Street, located in the central portion of the site, is a two-storey structure finished with concrete and hard plaster, and has a sloped and shingled roof. The building has a full basement level and is heated with a natural gas fired boiler.

371 Preston Street

The building addressed 371 Preston Street, located in the southern portion of the site, is a two-storey structure with a brick exterior and a sloped shingled roof. The structure is cooled with a central air conditioning unit and is heated with a natural gas fired forced air furnace located in the basement.

Site

The subject buildings occupy approximately half of the entire property area. The remainder of the site is used for vehicle parking. Site drainage consists primarily of sheet flow to catch basins along Preston Street and Beech Street, with some infiltration in landscaped areas. The site and regional topography slope downward to the north and east.

Potential Environmental Concerns

☐ **Fuels and Chemical Storage**

No concerns with respect to fuels or chemical storage were noted on the exterior of the subject site.

☐ **Waste Management**

Domestic waste produced by the tenants is stored on site and removed by the City of Ottawa on a weekly basis.

☐ **Polychlorinated Biphenyls (PCBs)**

A pole-mounted transformer was located to the north of the subject site, in front of 367 Preston Street. A second pole-mounted transformer was located to the south of the subject site, on the southeast corner of the Preston Street and Beech Street intersection. No signs of leaks or staining were observed on the transformer units or poles at the time of the site visit. No concerns were identified with respect to PCBs on the exterior of the subject site.

☐ **Wastewater Discharge**

Wastewater is discharged to the municipal sewer system.

5.3 Interior Assessment

A general description of the interior of the buildings is as follows:

- ☐ The floors throughout the buildings consist of carpet, ceramic and vinyl tile, hardwood, parquet and laminate. The basement floors were poured concrete.
- ☐ Wall materials consisted of drywall, panelling and plaster.
- ☐ The ceilings consisted of suspended ceiling tiles, drywall and plaster with some areas containing stippled plaster.
- ☐ Lighting throughout the buildings was provided by incandescent and fluorescent fixtures.

Potentially Hazardous Building Products

☐ **Asbestos Containing Materials (ACMs)**

Based on the age of the subject structures, asbestos containing materials were suspected to be present in the buildings. The potential ACMs include vinyl floor tiles, drywall joint compound, plaster walls and ceilings and stipple ceiling plaster. The potential ACMs were observed to be in good condition at the time of our site visit.

☐ **Lead-Based Paint**

Based on the age of the subject buildings, it is considered possible that lead based paints may be present. Painted surfaces were in fair condition at the time of the site visit.

☐ **Polychlorinated Biphenyls (PCBs)**

No concerns with PCBs were identified during the interior inspection.

☐ **Urea Formaldehyde Foam Insulation (UFFI)**

No signs indicating the presence of UFFI were observed within the structures during our inspection. However, wall cavities were not inspected for insulation type.

Other Potential Environmental Concerns

☐ **Fuels and Chemical Storage**

All of the subject buildings are currently heated with natural gas (two furnaces and one boiler). Based on our on-site observations, the buildings were previously heated with oil-fired furnaces. Based on observations made during site inspection, it is suspected that above ground furnace oil storage tanks were situated within the basements of the three on-site structures.

No unusual odours or stains were observed in the basements of the subject buildings at the time of the site visit. The presence of these suspected former aboveground furnace oil storage tanks does not pose a concern to the subject site.

Other chemicals identified within the buildings were limited to household cleaning supplies. These chemicals were properly stored and do not pose a concern to the subject site.

☐ **Wastewater Discharges**

Wastewater is discharged from the buildings into the City of Ottawa sewer system. Floor drains contained clear water at the time of the site visit. No sump pits were present in any of the subject buildings.

☐ **Ozone Depleting Substances (ODSs)**

Potential sources of ODSs observed on site include air conditioners, refrigeration units, and fire extinguishers. These appliances should be regularly serviced by a licensed contractor.

5.4 Adjacent Properties

Land use adjacent to the subject site was as follows:

- ☐ North – Residential dwellings and a parking lot, followed by Aberdeen Street;
- ☐ South – Beech Street, followed by The Prescott restaurant;
- ☐ East – Parking lot;
- ☐ West – Preston Street, followed by Stoneface Dolly's restaurant, Absolute Comedy Club, and residential dwelling.

There were no concerns identified with the current use of the neighbouring properties. Land use adjacent to the subject site is illustrated on Drawing PE4276-1 – Site Plan in the Appendix.

6.0 CONCLUSION

6.1 Assessment

Paterson Group conducted a Phase I-Environmental Site Assessment (ESA) of the properties located at 367, 369 and 371 Preston Street in the City of Ottawa, Ontario. The purpose of this Phase I-ESA was to research the past and current use of the subject site and neighbouring properties and to identify any environmental concerns with the potential to have impacted the subject property.

Based on our historical research, the subject properties were initially developed with residential dwellings in the late 1930s or early 1940s. The properties have been used for residential purposes and one (1) commercial restaurant (ground floor of 371 Preston Street) since their initial construction. No environmental concerns were noted with the historical uses of the subject properties.

Historical research indicates that surrounding land use has generally been a mix of residential and commercial. Two (2) of the properties in the vicinity of the subject site (450 Rochester Street and 70 Beach Street) identified current or former potentially contaminating activities on-site. However, based on a review of previous subsurface investigations conducted by Paterson on these properties, their current or former uses are not considered to have had the potential to have impacted the subject property.

Following the historical research, a site inspection of the subject site and the Phase I-ESA study area was conducted. A portion of the subject site (371 Preston Street) is occupied by a restaurant on the basement and ground floor level, and by a residential apartment on the second level. The remainder of the subject site (367 Preston Street and 369 Preston Street) are occupied by residential apartment units. No concerns were identified with the current use of the subject or neighbouring properties at the time of the site inspection.

Based on the results of this Phase I - ESA, **in our opinion, a Phase II - Environmental Site Assessment is not required for the subject property.**

6.2 Recommendations

Based on the age of the subject structures, some of the building materials have the potential to be asbestos containing materials (ACMs). The potential ACMs include vinyl floor tiles, drywall joint compound, plaster walls and ceilings and stipple ceiling plaster. The potential ACMs were observed to be in good condition and do not represent an immediate concern. An asbestos survey of the subject structures should be completed in accordance with the Ontario Regulation 278/05, if one has not been completed.

Based on the date of construction of the subject buildings, lead-based paints are possibly present on original painted surfaces throughout the structures. At the time of the assessment, the painted surfaces observed were in good condition. Lead testing should be conducted in the building prior to the disturbance of older painted surfaces. Major works involving lead based painted surfaces must be done in accordance with Ontario Regulation 843, under the Occupational Health and Safety Act.

7.0 STATEMENT OF LIMITATIONS

This Phase I-Environmental Site Assessment report has been prepared in general accordance with the requirements of CSA Z768-01. The conclusions presented herein are based on information gathered from a limited historical review along with a field inspection program and testing program. The findings of the Phase I – ESA are based on a review of readily available geological, historical, and regulatory information and a cursory review made at the time of the field assessment. The historical research relies on information supplied by others, such as, local, provincial and federal agencies and was limited within the scope-of-work, time and budget of the project herein.

This report was prepared for the sole use of Arnon Corporation. Permission and notification from Arnon Corporation and Paterson Group Inc. will be required to release this report to any other party.

Paterson Group Inc.



Eric Leveque, B.A.

Report Distribution:

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APPENDIX

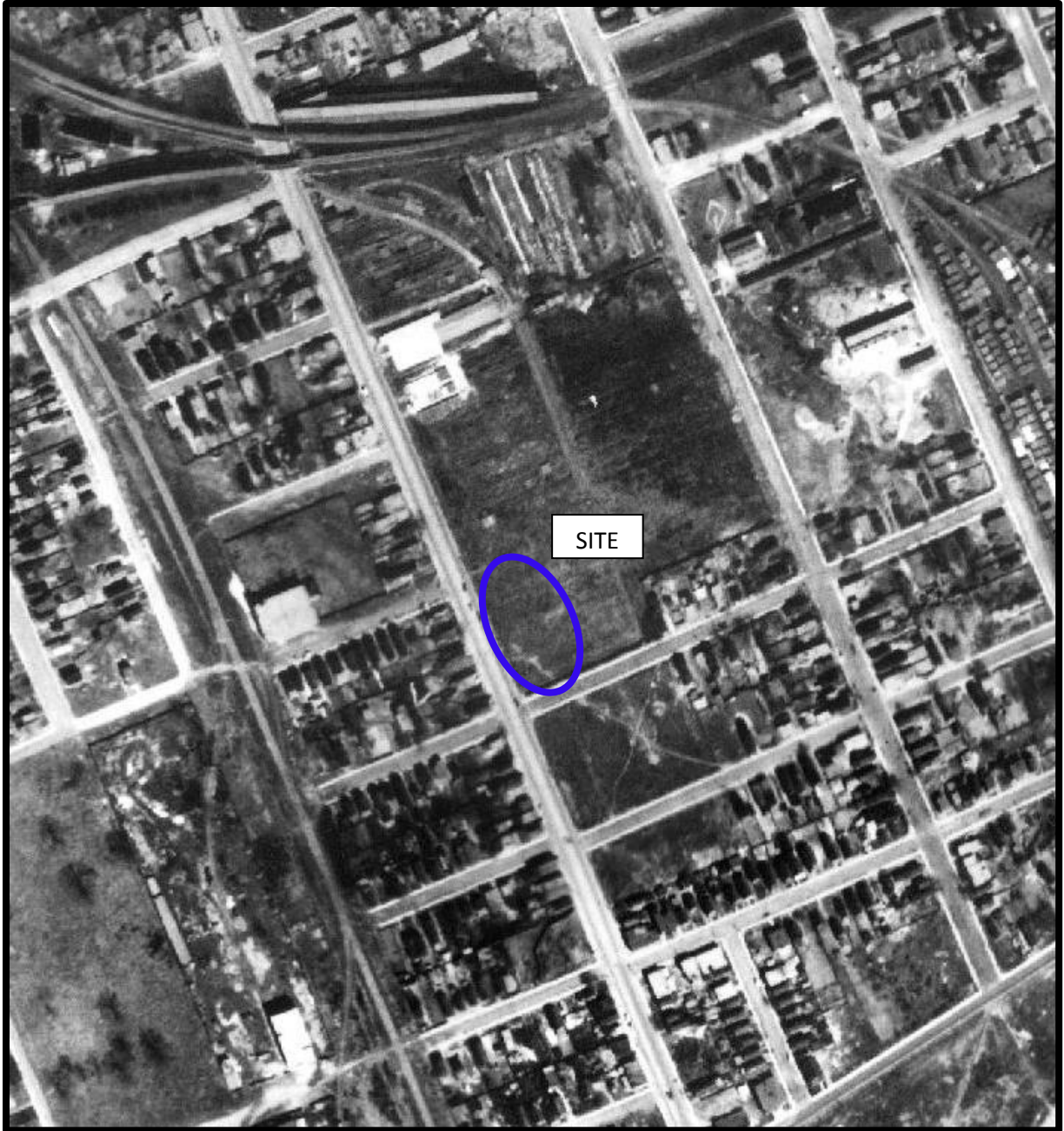
AERIAL PHOTOGRAPHS

MOECC FOI SEARCH

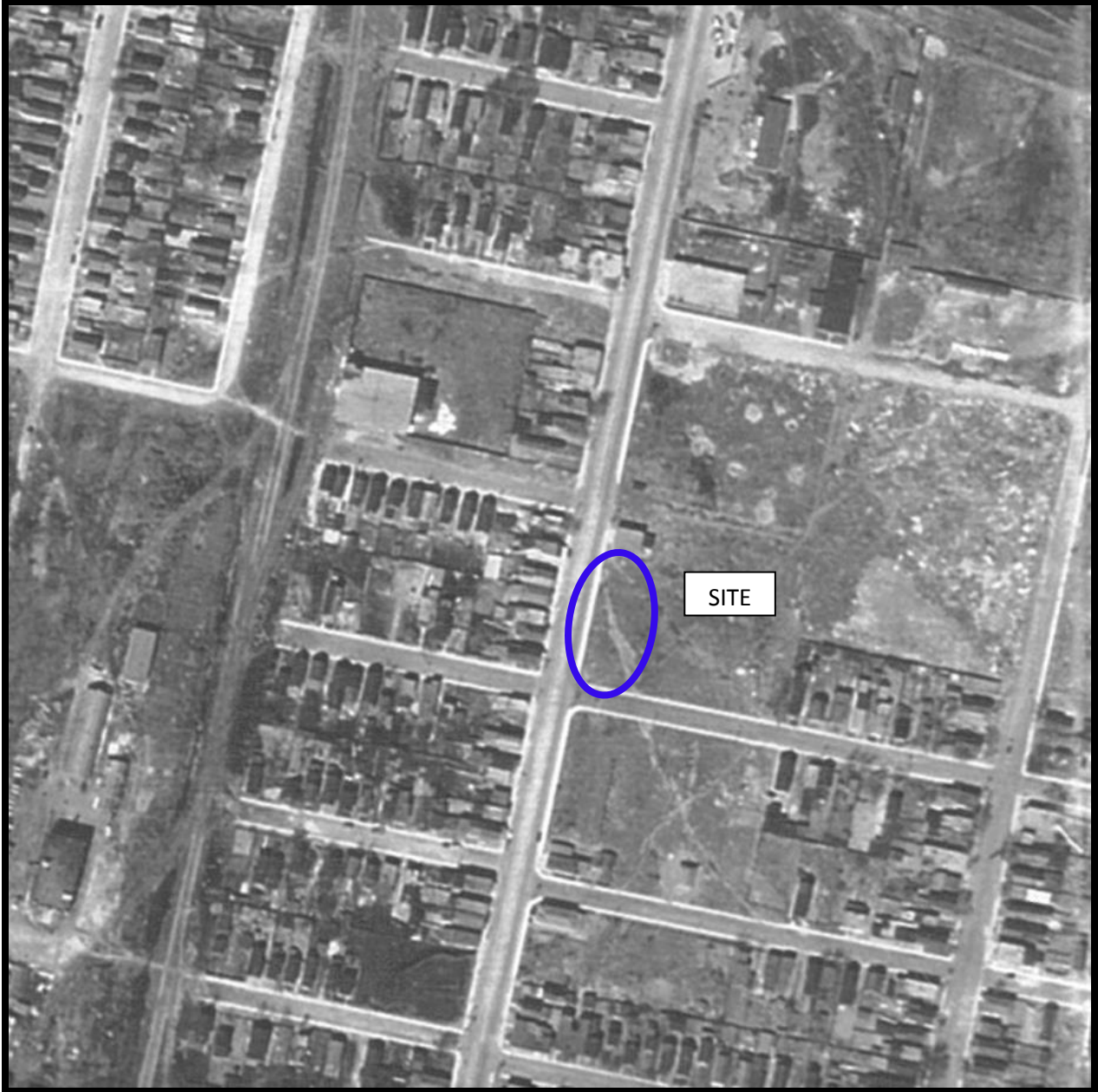
TSSA CORRESPONDENCE

FIGURE 1 – KEY PLAN

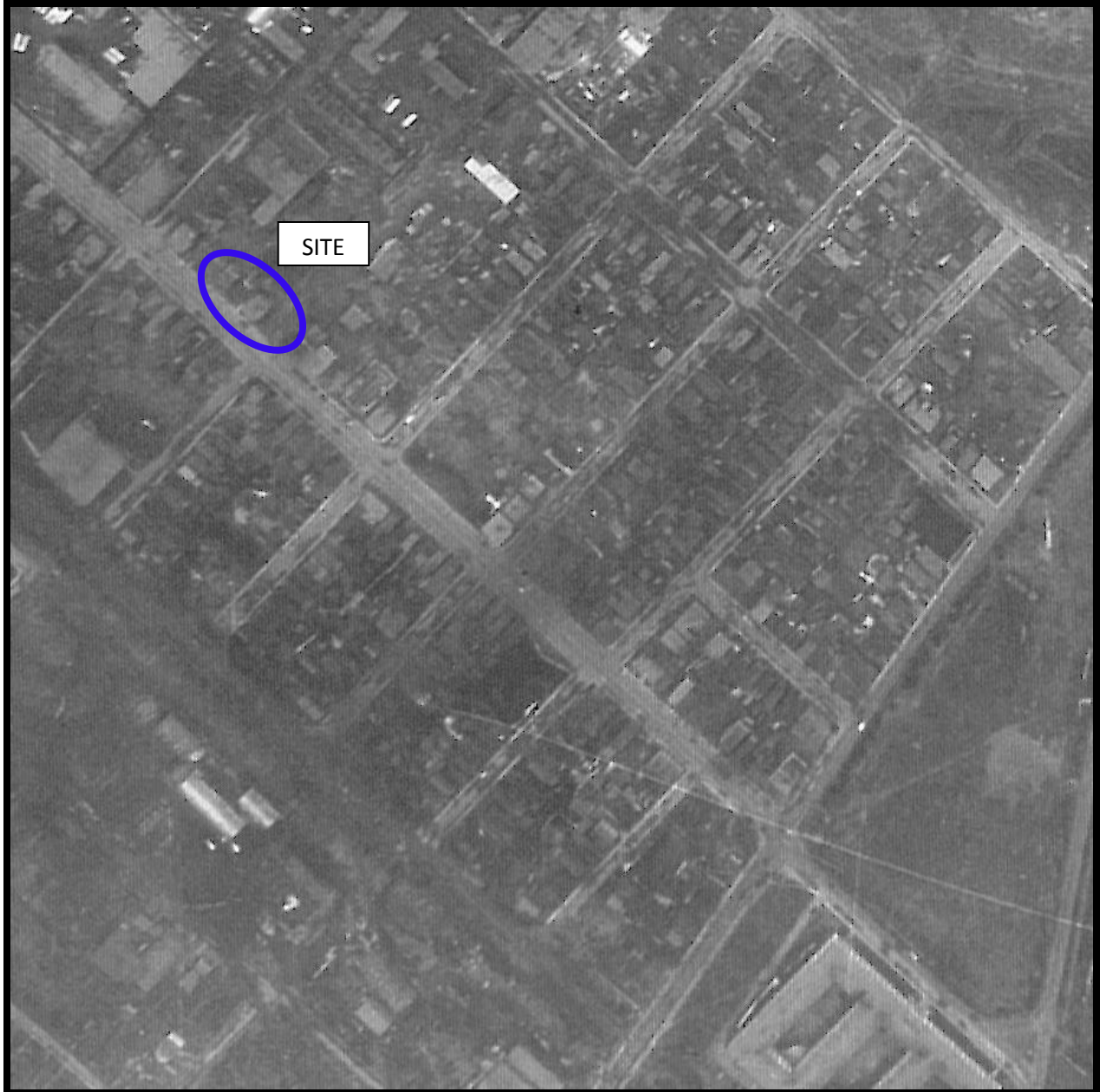
DRAWING: PE4276-1 – SITE PLAN



AERIAL PHOTOGRAPH
1928



AERIAL PHOTOGRAPH
1933



AERIAL PHOTOGRAPH
1947



AERIAL PHOTOGRAPH
1958



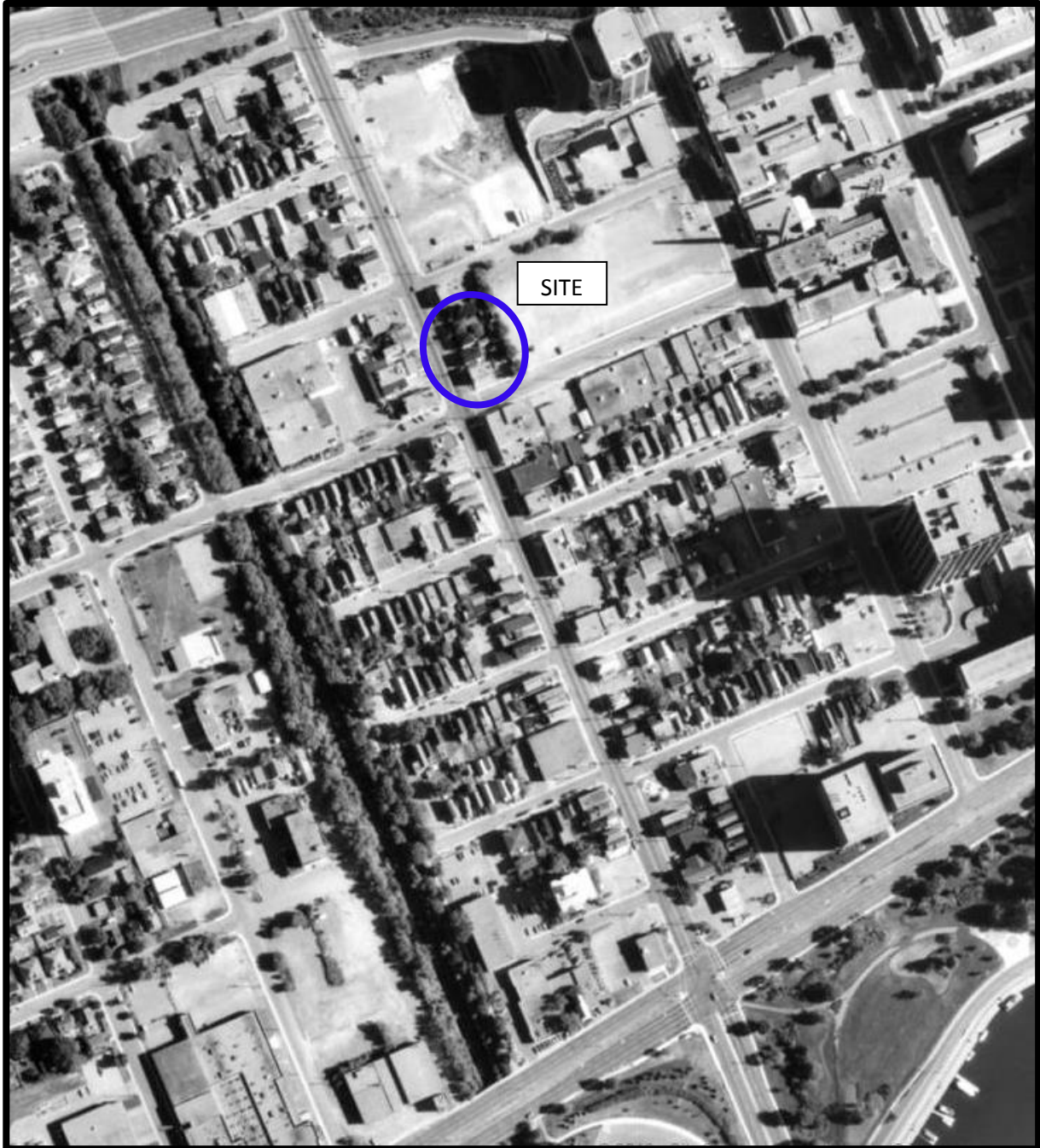
AERIAL PHOTOGRAPH
1965



AERIAL PHOTOGRAPH
1976



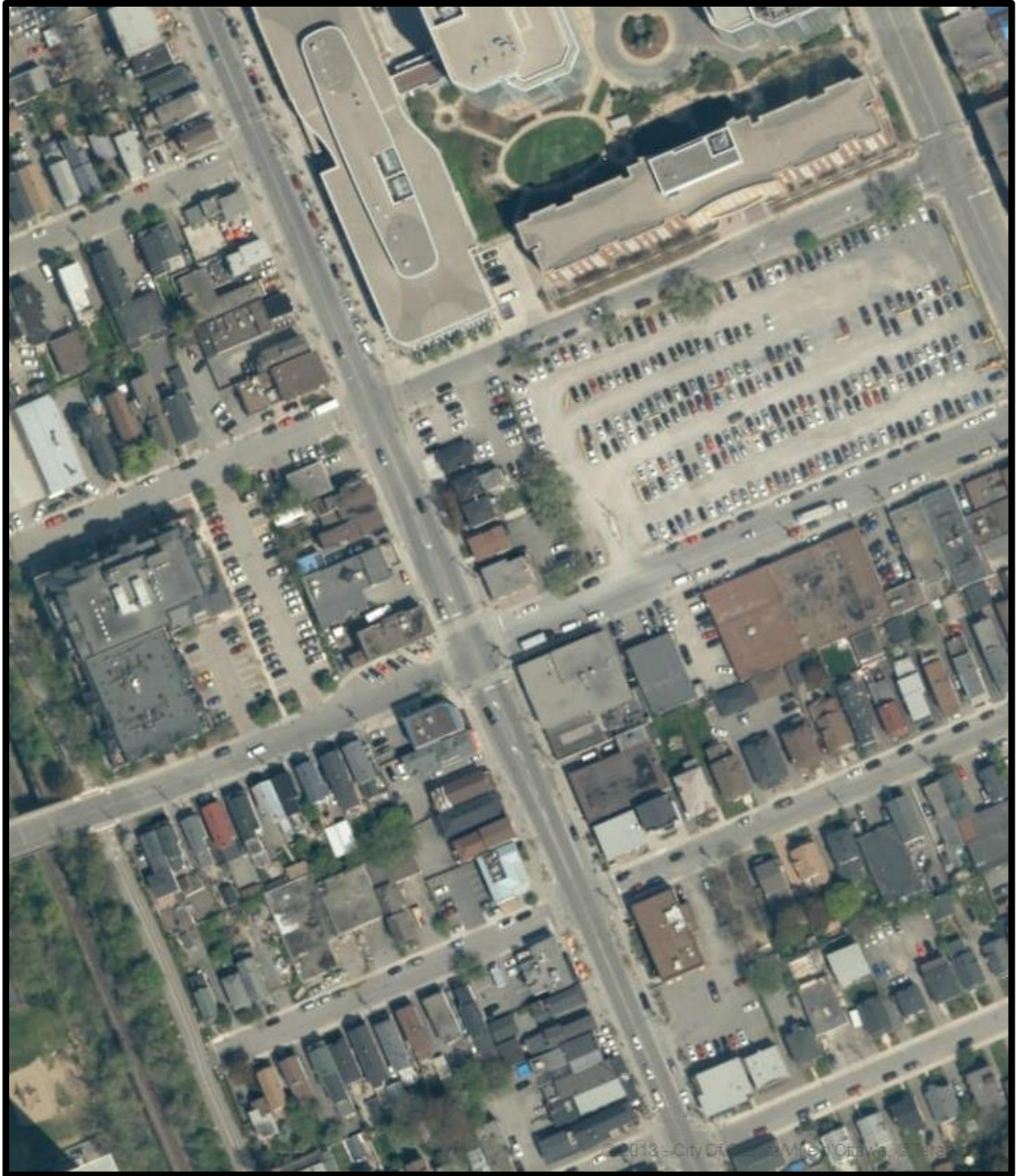
AERIAL PHOTOGRAPH
1987



AERIAL PHOTOGRAPH
1991



AERIAL PHOTOGRAPH
2005



AERIAL PHOTOGRAPH
2017

Freedom of Information Request

This form is for requesting documents which are in the Ministry's files on environmental concerns related to properties. Please refer to the guide on completion and use of this form. Our fax no. is (416) 314-4285.

Requester Data			For Ministry Use Only	
Name, Company Name, Mailing Address and Email Address of Requester Marek Moroz Paterson Group Inc. 154 Colonnade Road Ottawa, ON K2E 7J5 Email address: MMoroz@patersongroup.ca			FOI Request No.	Date Request Received
Telephone/Fax Nos. Tel. 613-226-7381 Fax 613-226-6344			Fee Paid <input type="checkbox"/> ACCT <input type="checkbox"/> CHQ <input type="checkbox"/> VISA/MC <input type="checkbox"/> CASH <input type="checkbox"/> CNR <input type="checkbox"/> ER <input type="checkbox"/> NOR <input type="checkbox"/> SWR <input type="checkbox"/> WCR <input type="checkbox"/> SAC <input type="checkbox"/> IEB <input type="checkbox"/> EAA <input type="checkbox"/> EMR <input type="checkbox"/> SWA	
Your Project/Reference No. PE4276			Signature/Print Name of Requester Marek Moroz	
Request Parameters				
Municipal Address / Lot, Concession, Geographic Township (Municipal address essential for cities, towns or regions) 367, 369 and 371 Preston Street, Ottawa, Ontario Part of Lot 39; Concession 1, Ottawa Front, City of Ottawa. PINs - 04104-0382, 04104-0032, 04104-0033 Present Property Owner(s) and Date(s) of Ownership Private Dwellings and Il Primo Ristaurante Previous Property Owner(s) and Date(s) of Ownership N/A Present/Previous Tenant(s), (if applicable) N/A				
Search Parameters			Specify Year(s) Requested	
Files older than 2 years may require \$60.00 retrieval cost. There is no guarantee that records responsive to your request will be located.				
Environmental concerns (General correspondence, occurrence reports, abatement)			all	
Orders			all	
Spills			all	
Investigations/prosecutions ➤ Owner AND tenant information must be provided			all	
Waste Generator number/classes			all	
Certificates of Approval ➤ Proponent information must be provided				
1985 and prior records are searched manually. Search fees in excess of \$300.00 could be incurred, depending on the types and years to be searched. Specify Certificates of Approval number(s) (if known). If supporting documents are also required, mark SD box and specify type e.g. maps, plans, reports, etc.				
	SD	Specify Year(s) Requested		
air - emissions		1986-present		
water - mains, treatment, ground level, standpipes & elevated storage, pumping stations (local & booster)		1986-present		
sewage - sanitary, storm, treatment, stormwater, leachate & leachate treatment & sewage pump stations		1986-present		
waste water - industrial discharges		1986-present		
waste sites - disposal, landfill sites, transfer stations, processing sites, incinerator sites		1986-present		
waste systems - PCB destruction, mobile waste processing units, haulers: sewage, non-hazardous & hazardous waste		1986-present		
pesticides - licenses		1986-present		

A \$5.00 non-refundable application fee, payable to the Minister of Finance, is mandatory. The cost of locating on-site and/or preparing any record is \$30.00/hour and 20 cents/page for photocopying and you will be contacted for approval for fees in excess of \$30.00.

Marek Moroz

From: Public Information Services <publicinformationsservices@tssa.org>
Sent: April-04-18 3:35 PM
To: Marek Moroz
Subject: RE: TSSA Records Search, PE4276 - Ottawa, ON - No Record Found

No Record Found (Fuel Storage Tanks only)

Hello,

Thank you for your request for confirmation of public information.

We confirm that there are no records in our database of any fuel storage tanks at the subject addresses.

For a further search in our archives please complete our release of public information form found at https://www.tssa.org/en/about-tssa/release-of-public-information.aspx?_mid_=392 and email the completed form to publicinformationsservices@tssa.org or through mail along with a fee of \$56.50 (including HST) per location. The fee is payable with credit card (Visa or MasterCard) or with a Cheque made payable to TSSA.

Although TSSA believes the information provided pursuant to your request is accurate, please note that TSSA does not warrant this information in any way whatsoever.

Kind regards,

Connie

From: Marek Moroz <MMoroz@Patersongroup.ca>
Sent: March 20, 2018 10:33 AM
To: Public Information Services <publicinformationsservices@tssa.org>
Subject: TSSA Records Search, PE4276 - Ottawa, ON

Could you please conduct a search of your records for underground/aboveground storage tanks, historical spills and other incidents/infractions for the following addresses for properties located in Ottawa, Ontario:

**367, 369, 371, 379, 399 and 412 Preston Street;
40, 50, 60 and 70 Beech Street;**

Thank you very much,

Marek

Marek Moroz, P. Geo.

patersongroup
solution oriented engineering
60 years serving our clients

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Cell: (613) 229-9822
Tel: (613) 226-7381 Ext. 248
Fax: (613) 226-6344
Email: MMoroz@patersongroup.ca

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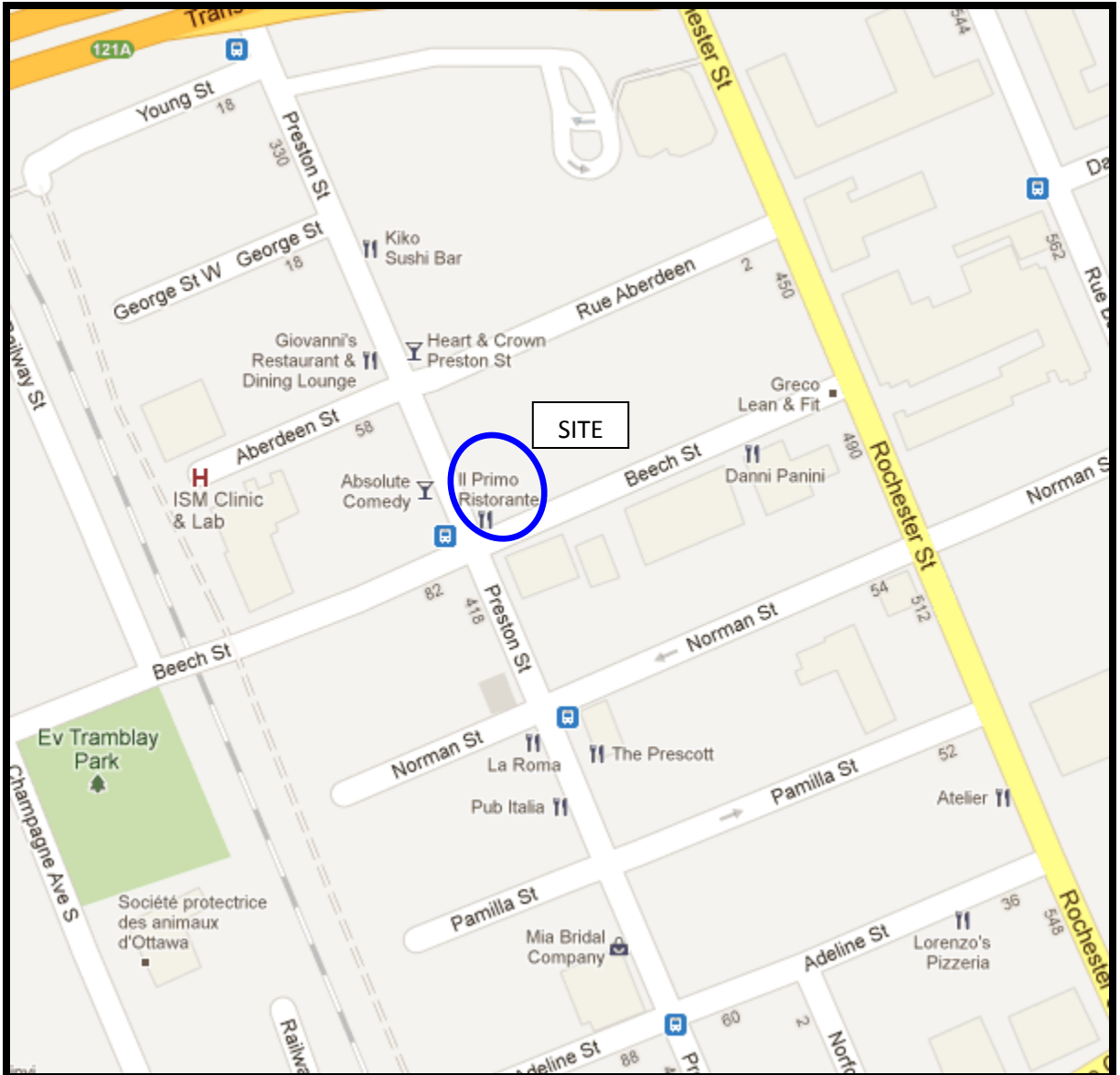
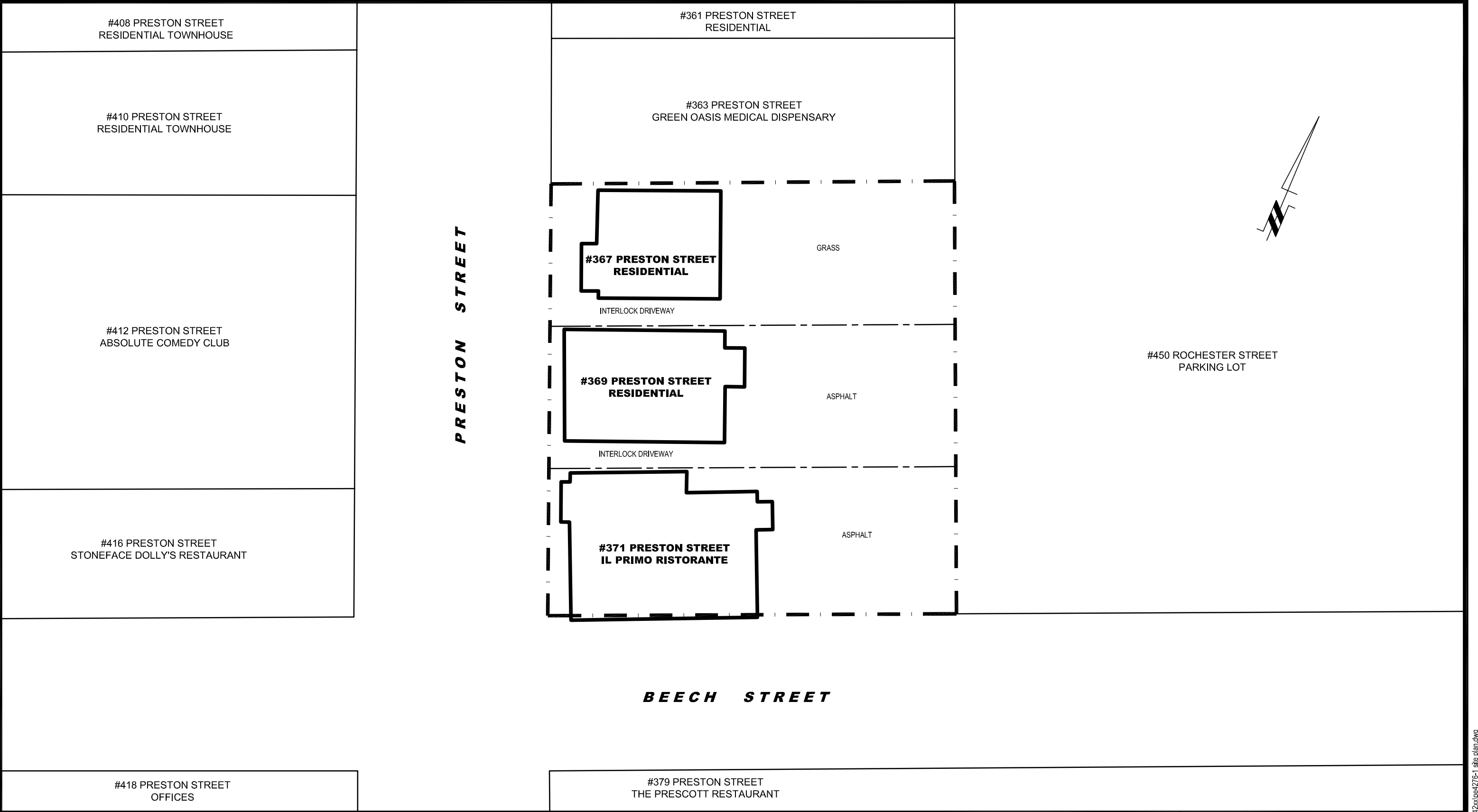


FIGURE 1
KEY PLAN



<div><div>patersongroup</div><div>consulting engineers</div><div>154 Colonnade Road South Ottawa, Ontario K2E 7J5 Tel: (613) 226-7381 Fax: (613) 226-6344</div></div>					<div>ARNON CORPORATION</div> <div>PHASE I - ENVIRONMENTAL SITE ASSESSMENT</div> <div>367, 369, AND 371 PRESTON STREET</div> <div>OTTAWA, ONTARIO</div> <div>SITE PLAN</div>	Scale:	1:250	Date:	05/2018
						Drawn by:	AG	Report No.:	PE4276-1
						Checked by:	MD	Dwg. No.:	PE4276-1
						Approved by:	MSD	Revision No.:	
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