

Key Value	Keynote Text
1	EXISTING MAN HOLE COVER
2	EXISTING CATCH BASIN
3	SHRUB PLANTING - REFER TO LANDSCAPE
4	NEW TREE (TYP) - REFER TO LANDSCAPE
5	RAISED PLANTERS - REFER TO LANDSCAPE
6	RETAINING WALL (STRUCTURAL) - REFER TO STRUCTURAL
7	SOD - REFER TO LANDSCAPE
8	NEW PAVING STONE WALKWAY
9	NEW GRASS - REFER TO LANDSCAPE
10	NEW ASPHALT - REFER TO CIVIL DRAWINGS FOR LOCATION OF HEAVY DUTY ASPHALT
11	DEPRESSED CURB
12	EXISTING LIGHT STANDARD TO REMAIN
13	BIKE PARKING - COMPLETE WITH CONCRETE BASE

SITE DATA

LEGAL DESCRIPTION:
 PLAN 6, LOT 12
 CITY OF OTTAWA

CIVIL ADDRESS:
 250 BESSERER STREET

ZONING NOTES:
 OFFICIAL PLAN DESIGNATION: RESIDENTIAL FIFTH DENSITY ZONE
 CURRENT ZONING: R5B (4B) H(19)
 WEST - R5B (180) 370
 NORTH - T46 (100) F(5) H(19)
 EAST - R5B (4B) H(21)



SURVEY DATA

BOUNDARY INFORMATION FROM ANNIS, O'SULLIVAN, VOLLEBERG LTD.
 SURVEY: 178519, 16 MARCH 27, 2015.
 PLEASE REFER TO LANDSCAPE PLAN FOR PAVING, PLANTING, AND SITE LIGHTING INFO.
 PLEASE REFER TO SITE SERVICING AND GRADING PLAN FOR GRADING INFORMATION.

ZONING DATA

ZONING TABLE	
Current Zoning	R5B(4B) H(19)
Site Area	310.8 m ²
Dwelling Units	99 Dwelling Units
Lot Area	875 m ²
Lot Frontage	22.5m
Minimum Lot Width	22.5m
Setbacks	Front Yard: 3m Corner Side Yard: 3m Interior Side Yard: Within 2.1m of the front lot line: 1.5m Further than 2.1m from the front lot line: 9m Rearyard: 7.5m
Maximum Building Height	25.3m
Amenity Area	Total (5m ² per dwelling unit): 495m ² Private Amenity Space: 134m ² Common Amenity Space: 297m ² Private Terrace: 134m ² Ground Floor Amenity: 113m ² Exterior rooftop amenity: 188m ²
Percentage of Site Landscaping	30% of Site to be landscaped
Parking	Minimum Required: 99 Residential: 5 spaces/unit after first 12 units. Residential Visitor: Minimum: 0.1 spaces/unit after first 12 units. Maximum: 30 spaces
Bicycle Parking Requirements	Minimum Required: 99 x 0.5 = 50 spaces required Residential: 0.5/dwelling unit

UNIT MIX DATA

	BACH	1BED	1+DEN	2BED	2+DEN / 3BED	Guest Suite	
GROUND	0	0	0	0	0	0	0
LEVEL 1	2	7	2	2			11
LEVEL 2	2	7	2	2			11
LEVEL 3	2	7	2	2			11
LEVEL 4	2	7	2	2			11
LEVEL 5	2	7	2	2			11
LEVEL 6	2	7	2	2			11
LEVEL 7	2	7	2	2			11
LEVEL 8	2	7	2	2			11
LEVEL 9	2	7	2	2			11
TOTAL	18	63	14	18	0	0	99

Gross Building Area - per OBC Definition
 Total area of all floors above grade taken to the exterior face of the exterior wall.
 Excluding: Exits, vertical service spaces and their enclosing assemblies.

Level 1: 507 sq.m.
 Level 2-9: 4050 sq.m.
 Roof Top: 51.4 sq.m.
 Total: 4614.4 sq.m.

GFA - per City Definition:
 Gross floor area means total area of each floor, above and below grade, measure to interior of exterior walls. Including floor area occupied by interior walls.
 Excluding: Mechanical, electrical, common hallways, corridors, stairwells, shafts, voids, bike parking, car parking, common laundry, storage, common washrooms, amenity or play areas and living quarters for a caretaker of the building.

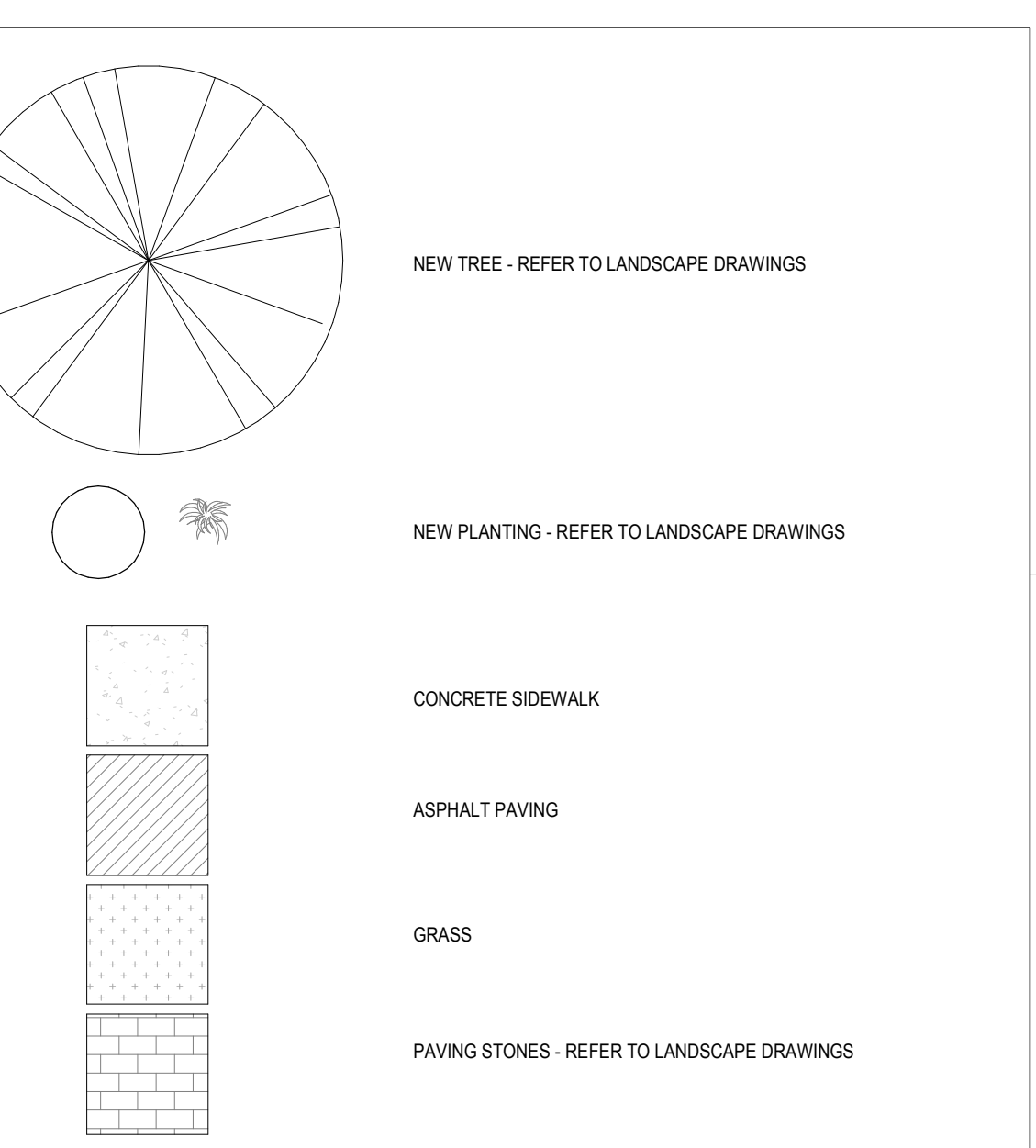
Basement Level 1: 0 sq.m.
 Groundfloor: 0 sq.m.
 Level 1: 428.5 sq.m.
 Level 2-9: 3438 sq.m.
 Roof Top: 0 sq.m.
 Total: 3865.5 sq.m.

Overall GFA
 Overall Gross floor area means total area of each floor, above and below grade, measure to outside face of exterior walls.

Basement Level 1: 288 sq.m.
 Groundfloor: 288 sq.m.
 Level 1: 549.8 sq.m.
 Level 2-9: 4284.4 sq.m.
 Roof Top: 83.7 sq.m.
 Total: 5614.9 sq.m.

Building Foot Print
 The area on a project site that is used by the building structure and is defined by the perimeter of the building plan.
 Total: 701.2 sq.m.

LEGEND



1 SITE PLAN
 SCALE: 1:75

191118 Re-issued for Site Plan Application
 190923 Re-issued for Site Plan Application
 190906 Issued for Site Plan Application

no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all applicable codes and regulations.

This drawing may not be used for construction, until signed.

Copyright reserved.

Hobin Architecture Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S 3K7
 T: 613-238-7200
 F: 613-235-2655
 E: mail@hobinarc.com
 hobinarc.com

250 BESSERER STREET

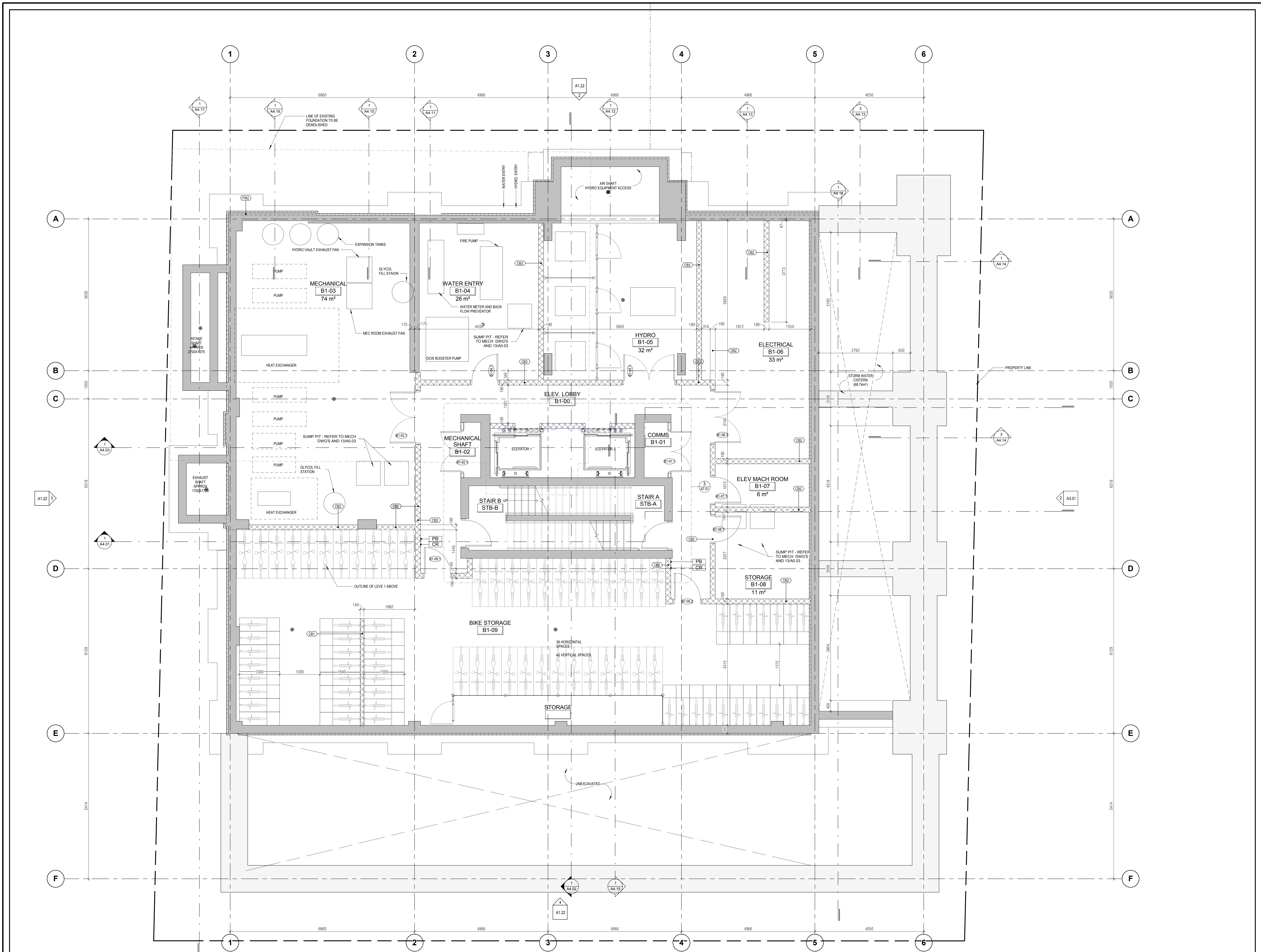
250 BESSERER STREET

SITE PLAN

TOWN	SITE	SCALE
Author	24/XX/XXXX	As Indicated

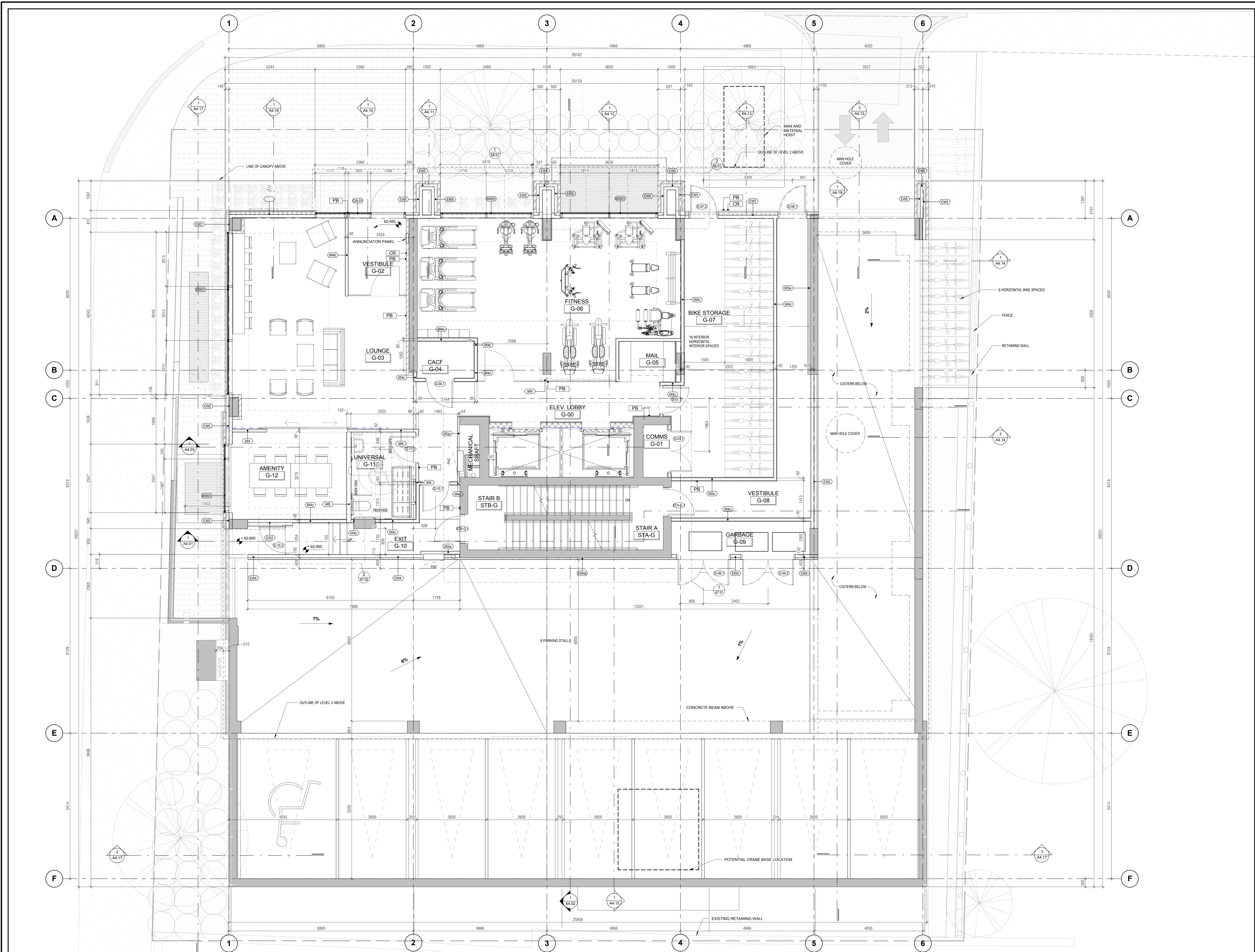
PROJECT: 1917
 DRAWING NO.: A1.00
 REVISION NO. C

ONTARIO ASSOCIATION OF ARCHITECTS
 ARCHITECT



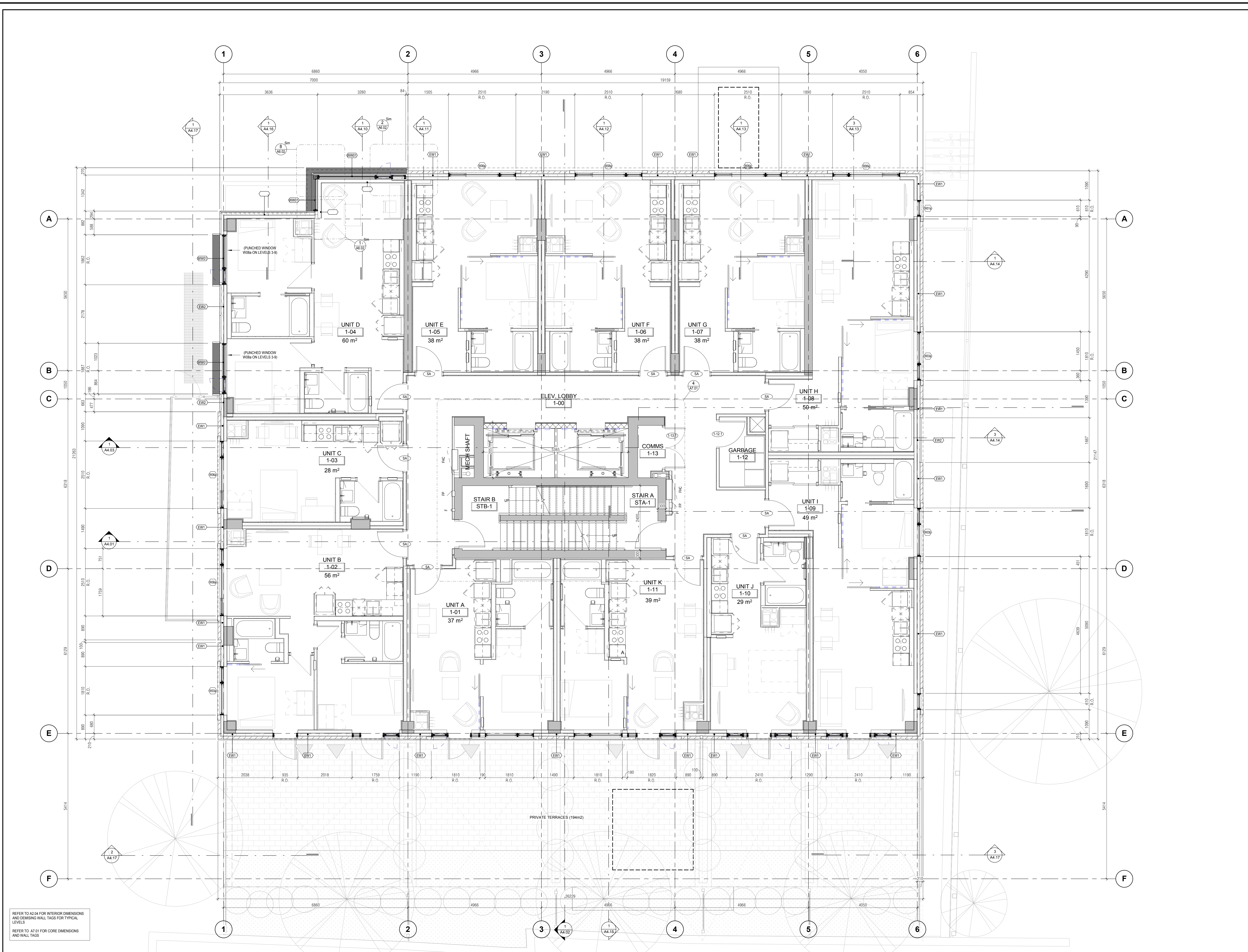
1 0.1-LEVEL B1 - BASEMENT FLOOR PLAN
 A2.01 SCALE: 1 : 50

<p>191.118 Re-issued for Site Plan Application 1908.23 Re-issued for Site Plan Application 1907.06 Re-issued for Site Plan Application</p>		
no.	date	revision
<p>It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer. All contractors must comply with all Do not scale drawings. This drawing may not be used for construction until signed. Copyright reserved.</p>		
<p>Hobin Architecture Incorporated 63 Pamela Street Ottawa, Ontario Canada K1S 3K7 T: 613-238-7200 F: 613-235-2665 E: mail@hobinarc.com hobinarc.com</p>		
<p>HOBIN ARCHITECTURE</p>		
<p>PROJECT: 250 BESSERER STREET 250 BESSERER STREET</p>		
<p>DRAWING TITLE: BASEMENT FLOORPLAN</p>		
TOWN:	DATE:	SCALE:
Author:	04/XX/XXXX	1 : 50
<p>PROJECT: 1917</p>		<p>DRAWING NO. A2.01</p>
<p>REVISION NO. C</p>		<p>1902</p>



1 LEVEL G - GROUND FLOOR PLAN
SCALE: 1 : 50

<p>191.113 Re-issued for Site Plan Application 1908.23 Re-issued for Site Plan Application 1907.06 Re-issued for Site Plan Application</p>		
no.	date	revision
<p>It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer. All contractors must comply with all. Not scale drawings. This drawing may not be used for construction until signed. Copyright reserved.</p>		
<p>Hobin Architecture Incorporated 63 Pamela Street Ottawa, Ontario Canada K1S 3K7 T: 613-238-7200 F: 613-238-2665 E: mail@hobinarc.com hobinarc.com</p>		
<p>PROJECT: 250 BESSERER STREET 250 BESSERER STREET DRAWING TITLE: GROUND FLOOR PLAN</p>		
TOWN:	DATE:	SCALE:
REV:	84/XX/XXXX	1 : 50
		PROJECT: 1917 DRAWING NO. A2.02 REVISION NO. C



REFER TO A2.04 FOR INTERIOR DIMENSIONS AND DEMISING WALL TAGS FOR TYPICAL LEVELS.
REFER TO A7.01 FOR CORE DIMENSIONS AND WALL TAGS

1
A2.03 01-LEVEL 1 FLOOR PLAN
SCALE: 1 : 50

191113	Re-issued for Site Plan Application	
190823	Re-issued for Site Plan Application	
190006	Issued for Site Plan Application	
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all Do not scale drawings. This drawing may not be used for construction until signed. Copyright reserved.

Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-235-2655
E: mail@hobinarc.com
hobinarc.com



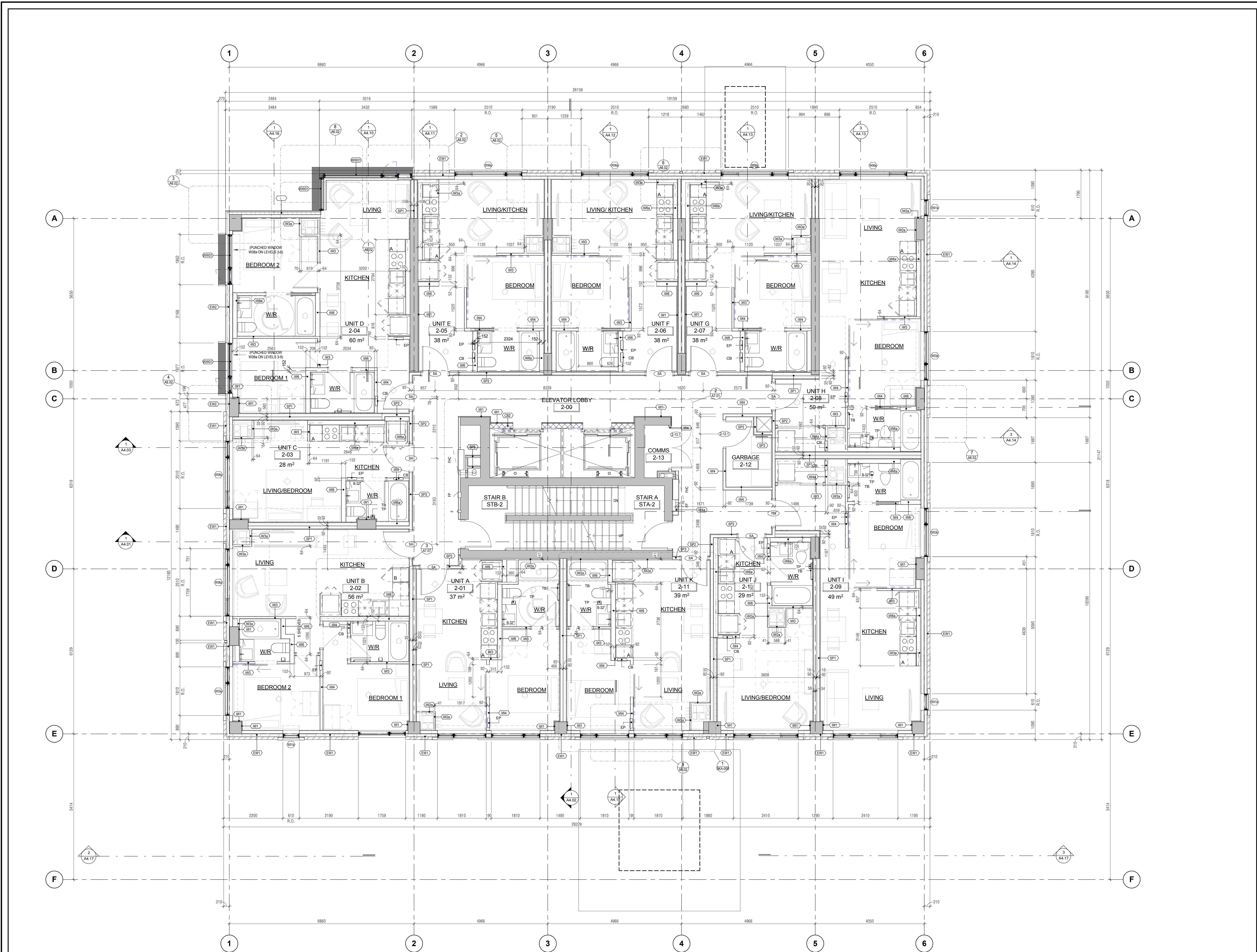
HOBIN
ARCHITECTURE

250 BESSERER STREET
250 BESSERER STREET
DRAWING TITLE
LEVEL 1 FLOOR PLAN

TOWN	DATE	SCALE
Author	04/XX/XXXX	1 : 50

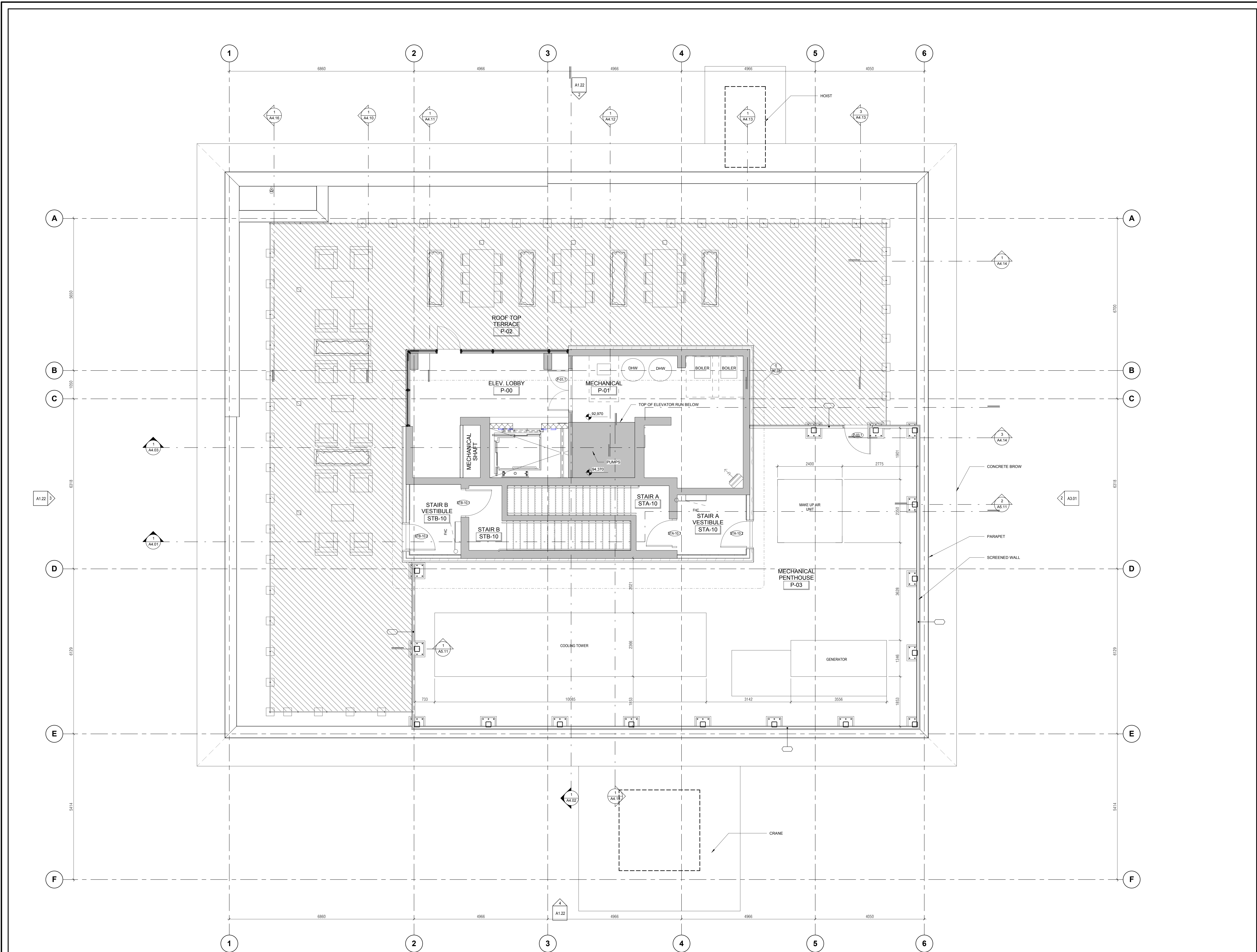
ONTARIO ASSOCIATION OF ARCHITECTS
1917
DRAWING NO.
A2.03
REVISION NO. C





1 02-LEVEL 2 FLOOR PLAN - TYPICAL FOR LEVELS 2-9
A2.04 SCALE: 1:50

191.118 Re-issued for Site Plan Application 1908.23 Re-issued for Site Plan Application 1907.06 Re-issued for Site Plan Application		
no.	date	revision
It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer. All contractors must comply with all Do not scale drawings. This drawing may not be used for construction until signed. Copyright reserved.		
Hobin Architecture Incorporated 63 Pamela Street Ottawa, Ontario Canada K1S 3K7 T: 613-238-7200 F: 613-235-2655 E: mail@hobinarc.com hobinarc.com		
250 BESSERER STREET 250 BESSERER STREET		
DRAWING TITLE LEVEL 2 - FLOOR PLAN (TYPICAL UNIT PLAN LEVELS 2-9)		
TOWN	DATE	SCALE
Author	04/16/19	1:50
		PROJECT 1917 DRAWING NO. A2.04 REVISION NO. C

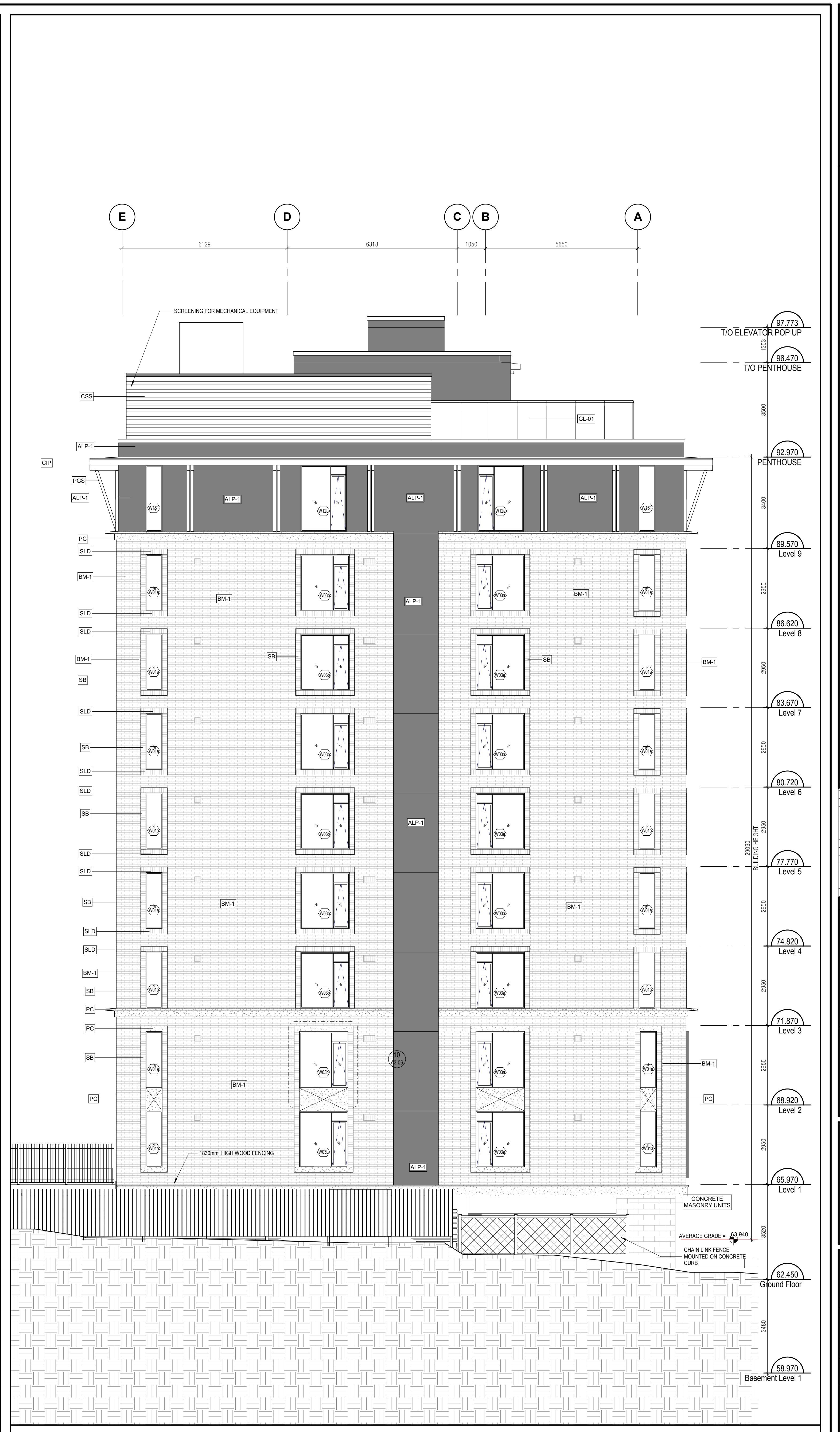


1 10-LEVEL 10 PENTHOUSE
A2.05 SCALE: 1 : 50

191.118 Re-issued for Site Plan Application 1908.23 Re-issued for Site Plan Application 1907.06 Re-issued for Site Plan Application	
no.	revision
It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer. All contractors must comply with all Do not scale drawings. This drawing may not be used for construction until signed. Copyright reserved.	
Hobin Architecture Incorporated 63 Pamela Street Ottawa, Ontario Canada K1S 3K7 T: 613-238-7200 F: 613-235-2655 E: mail@hobinarc.com hobinarc.com	
HOBIN ARCHITECTURE	
SUBJECT 250 BESSERER STREET 250 BESSERER STREET	
DRAWING TITLE LEVEL 10 - PENTHOUSE PLAN	
TOWN	DATE
Author	04/XX/XXXX
SCALE	1 : 50
PROJECT	1017
DRAWING NO.	A2.05
REVISION NO. C	



1 NORTH ELEVATION
A3.01 SCALE: 1:75



2 EAST ELEVATION
A3.01 SCALE: 1:75

MATERIAL TAG LEGEND

- ALP-1 ALUMINUM PANEL - TYPE 1
- BM-1 BRICK MASONRY VENEER - TYPE 1
- CIP CAST-IN-PLACE CONCRETE
- CSS CORRUGATED STEEL SIDING
- GL-1 GLASS - REFER TO SPECS
- LV ALUMINUM LOUVER (PREFINISHED)
- PC PRECAST CONCRETE - REFER TO SECTIONS FOR PROFILE
- PCP PRECAST CONCRETE PANEL
- PGS PAINTED GALV. STEEL
- SB STACK BOND BRICK MASONRY VENEER
- SLD SOLIDER COURSE BRICK MASONRY VENEER
- SP-1 SPANDREL GLASS - REFER TO SPEC FINISH

191118 Re-issued for Site Plan Application
 190823 Re-issued for Site Plan Application
 190706 Issued for Site Plan Application

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.
 All contractors must comply with all
 Do not scale drawings.
 This drawing may not be used for construction until signed.
 Copyright reserved.

Hobin Architecture Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S 3K7
 T: 613-238-7200
 F: 613-235-2665
 E: mail@hobinarc.com
 hobinarc.com



250 BESSERER STREET

250 BESSERER STREET

ELEVATIONS

TOWN: DATE: SCALE:
 Author: 24/XX/XXXX As Indicated

PROJECT: 1917
 DRAWING NO. A3.01

REVISION NO. C



MATERIAL TAG LEGEND

- ALP-1 ALUMINUM PANEL - TYPE 1
- BM-1 BRICK MASONRY VENEER - TYPE 1
- CIP CAST-IN-PLACE CONCRETE
- CSS CORRUGATED STEEL SIDING
- GL-1 GLASS - REFER TO SPECS
- LV ALUMINUM LOUVER (PREFINISHED)
- PC PRECAST CONCRETE - REFER TO SECTIONS FOR PROFILE
- PCP PRECAST CONCRETE PANEL
- PGS PAINTED GALV. STEEL
- SB STACK BOND BRICK MASONRY VENEER
- SLD SOLDER COURSE BRICK MASONRY VENEER
- SP-1 SPANDREL GLASS - REFER TO SPEC FINISH

191118 Re-issued for Site Plan Application
 190823 Re-issued for Site Plan Application
 190706 Issued for Site Plan Application

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.
 All contractors must comply with all
 Do not scale drawings.
 This drawing may not be used for construction until signed.
 Copyright reserved.

Hobin Architecture Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S 3K7
 T: 613-238-7200
 F: 613-238-2955
 E: mail@hobinarc.com
 hobinarc.com



250 BESSERER STREET

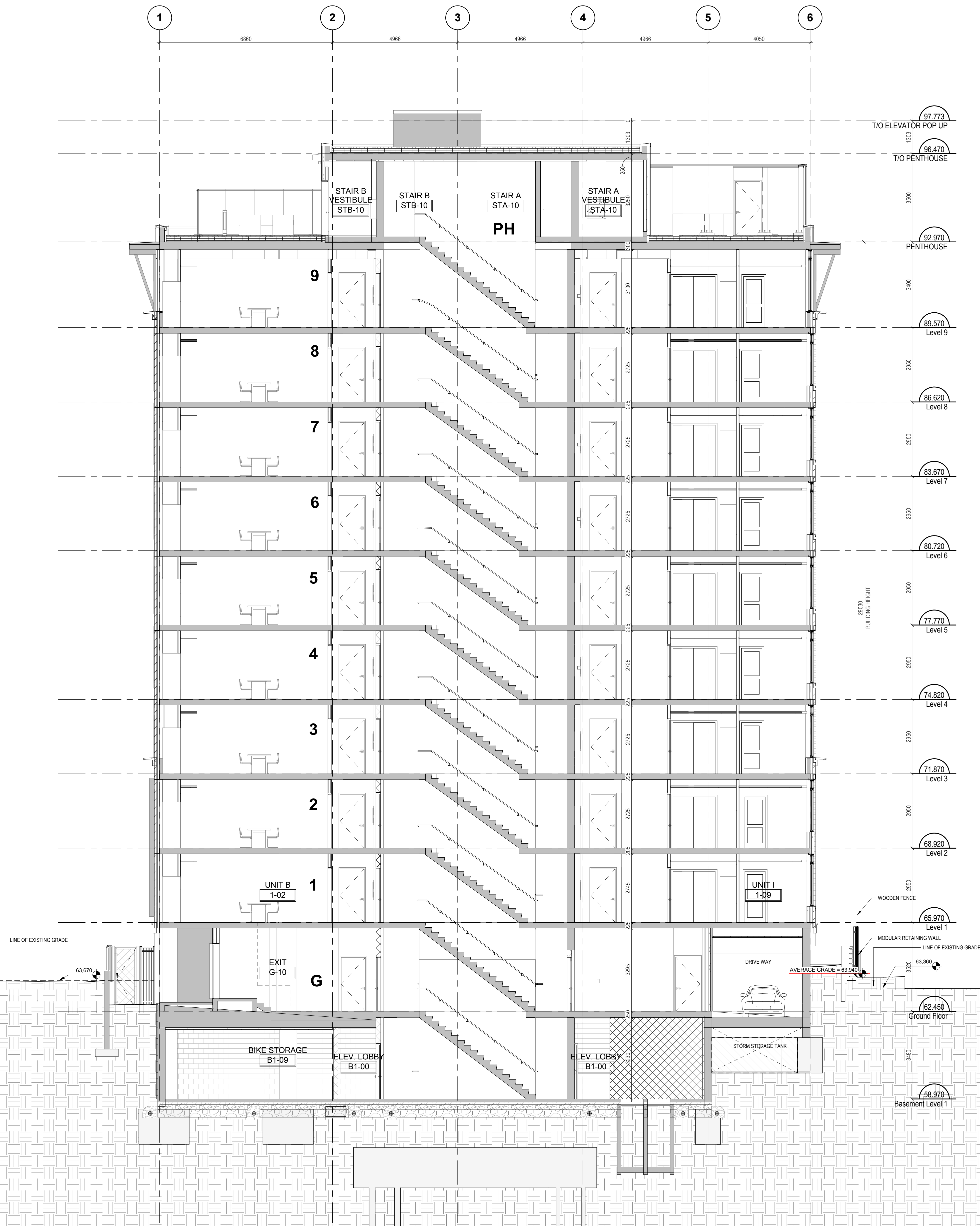
ELEVATIONS

TOWN: Author DATE: 04/XX/XXXX SCALE: As Indicated PROJECT: 1917

A3.02
 DRAWING NO. REVISION NO. C

1 SOUTH ELEVATION
 SCALE: 1 : 75

2 WEST ELEVATION
 SCALE: 1 : 75



1 BUILDING SECTION - CROSS SECTION
A4.01 SCALE: 1:75

191118	Re-issued for Site Plan Application
190823	Re-issued for Site Plan Application
190706	Issued for Site Plan Application

no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S 3K7
 T: 613-238-7200
 F: 613-238-2665
 E: mail@hobinarc.com
 hobinarc.com



250 BESSERER STREET

250 BESSERER STREET

BUILDING SECTION

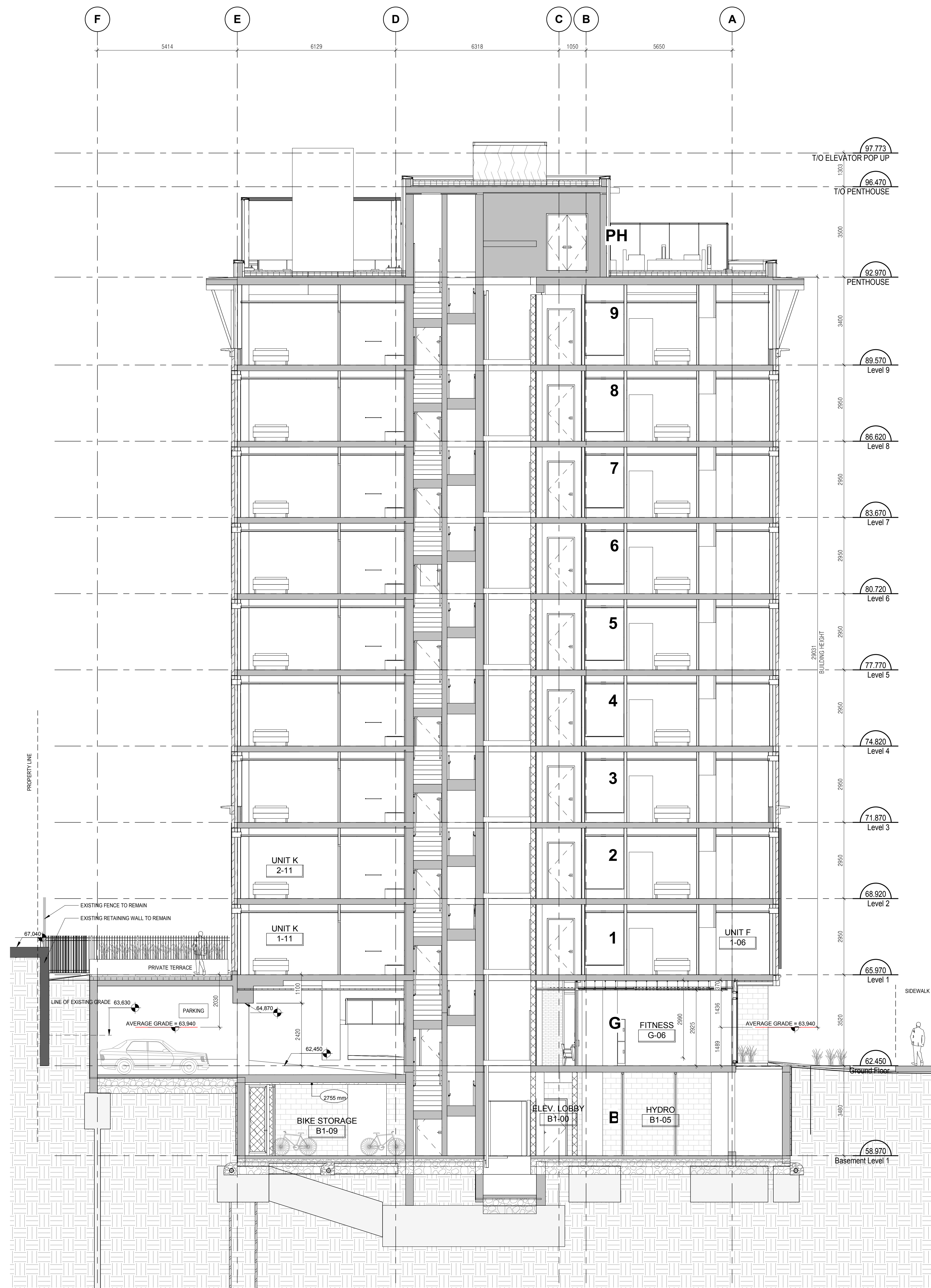
TOWN: DATE: SCALE: 1:75

Author: 04/XX/XXXX PROJECT: 1917

DRAWING NO. A4.01

REVISION NO. C

1982



1 BUILDING SECTION - LONGITUDINAL SECTION
A4.02 SCALE: 1 : 75

191.118	Re-issued for Site Plan Application
190.823	Re-issued for Site Plan Application
190.006	Issued for Site Plan Application

no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the engineer.

All contractors must comply with all

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S 3K7
 T: 613-238-7200
 F: 613-235-2655
 E: mail@hobinarc.com
 hobinarc.com



HOBIN
ARCHITECTURE

PROJECT: 250 BESSERER STREET

250 BESSERER STREET

DRAWING TITLE: BUILDING SECTION

TOWN:	DATE:	SCALE:
Author:	04/XX/XXXX	1 : 75

PROJECT:	1917
DRAWING NO.:	A4.02



ONTARIO ASSOCIATION OF ARCHITECTS

REVISION NO. C