



Quadrangle Architects Limited
901 King Street West, Suite 701Toronto, ON M5V 3H5
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2070 Scott Street

Ottawa, ON

for
Azure Urban Developments Inc.

Project No. 19023
Date October 03, 2019
Issued for Rezoning and Site Plan Approval

ARCHITECTURAL DRAWINGS

- A000.S Cover Page
- A001.S Statistics
- A002.S Survey Plan

- A101.S Site Plan
- A102.S Below Grade Floor Plans

- A201.S Ground Floor Plan
- A202.S Floor Plans
- A203.S Floor Plans

- A401.S Building Elevations
- A402.S Building Elevations

PLANNER

STANTEC
400 - 1331 Clyde Avenue
Ottawa ON K2C 3G4

SITE SERVICING - CIVIL

STANTEC
400 - 1331 Clyde Avenue
Ottawa ON K2C 3G4

URBAN DESIGN & LANDSCAPE ARCHITECT

STANTEC
400 - 1331 Clyde Avenue
Ottawa ON K2C 3G4

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PROJECT STATISTICS SUMMARY			
Municipal Address:		2070 Scott Street, Ottawa, Ontario	
Lot Area		1868.5	sm
Zoning By-Law 2008-326			
Average Grade:		64.35	m
Building Height (Storeys): (excl. Mech Penthouse)		23	
Building Height above Average Grade: (excl. Mech Penthouse)		72.45	m
GBA - Residential Uses	16,237	sm	174,773 sf
GBA - Non-Residential Uses	516	sm	5,554 sf
Total GFA	16,753	sm	216,613 sf
Floor Space Index (FSI)		9.0	
Number of Residential Suites		241	
Min. Residential Amenity Space Required	1,446	sm	15,565 sf
Total Residential Interior Amenity Space Provided	431	sm	4,639 sf
Total Residential Outdoor Amenity Space Provided	1,015	sm	10,471 sf
Total Residential Amenity Space Provided	1,446	sm	12,215 sf
Vehicular Parking Total Required		144	
Vehicular Parking Total Provided		144	
Bicycle Parking Total Required		123	
Bicycle Parking Total Provided		123	

							By-Law 2008-326											
	Floor	GBA/Typ. Floor (sm)	No. Floors	GBA Gross Building Area (no exclusions)		2008-326 GFA Exempt	GFA Residential		Indoor Amenity [Private]		Indoor Amenity [Common]		Outdoor Amenity [Private]		Outdoor Amenity [Public Landscape]		Retail	
				sm	sf		sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf
PODIUM / TOWER	Mech.Ph	423	1	423	4,553	372	51	545	156	1,679			311	3,348				
	Upper Typ. Tower	757	1	757	8,148	99	658	7,079										
	Typ. 16 - 23	757	8	6,056	65,186	795	5,261	56,631										
	Lower Typ. Tower	757	1	757	8,148	99	658	7,079	190	2,045			401	4,316				
	Typ. 7 - 15	757	9	6,813	73,335	894	5,919	63,710										
	6	757	1	757	8,148	286	471	5,066										
	Typ. Podium	1,145	1	1,145	12,325	120	1,025	11,029										
	Typ. 3-5	1,145	3	3,435	36,974	361	3,074	33,088										
	2	1,145	1	1,145	12,325	130	1,015	10,922					77	827	42	450		
	TH Level 2	168	1	168	1,808	0	168	1,808										
Ground Floor	1,327	1	1,327	14,284	532	279	3,003			85	915			184	1,981	516	5,554	
TOTALS																		
			23	20,124	216,613		16,237	174,773	346	3,724	85	915	831	8,491	184	1,981	516	5,554
AREAS TOTALS & FSI								Total Amenity [Indoor + outdoor]										
								1,446 sm 12,215 sf										
								6.0 sm/unit										
								1,446 required [6sm/unit]										

PARKING			Required	Provided
	Residential -			
	minimum residential	0.5 / unit	115	115
	minimum visitor	0.1 / unit	23	23
	maximum *	1.75 / unit	401	
	* combined resident + visitor			
	Retail			6
	minimum 1.25/100 sm		6	
Total				144
		minimum	144	
		maximum	419	

BICYCLE PARKING			Required	Provided
	Residential			
	0.5/ suite		121	121
	Retail		2	2
	1/250 sm			
TOTAL			123	123

Suite Breakdown							
1 Bdrm	1 Bdrm + D	2 Bdrm	2 Bdrm + D	3 Bdrm	Studio	Townhouse	Total Suites
0	0	0	4	3	0	0	7
0	0	0	32	24	0	0	56
7	1	1	0	0	3	0	12
63	9	9	0	0	27	0	108
5	0	1	0	1	0	0	7
4	2	3	6	0	2	0	17
12	6	9	18	0	6	0	51
6	1	4	3	1	1	0	16
0	0	0	0	0	0	0	0
0	0	0	0	0	0	3	3
86	16	23	53	26	34	3	241
36%	7%	10%	22%	11%	14%	1%	
570 - 620 sf	675 - 725 sm	700 - 750 sf	750 - 800 sf	1050 - 1100 sf	472 - 500 sf	1250 - 1300 sf	

% Suite Type
Average Suite Area



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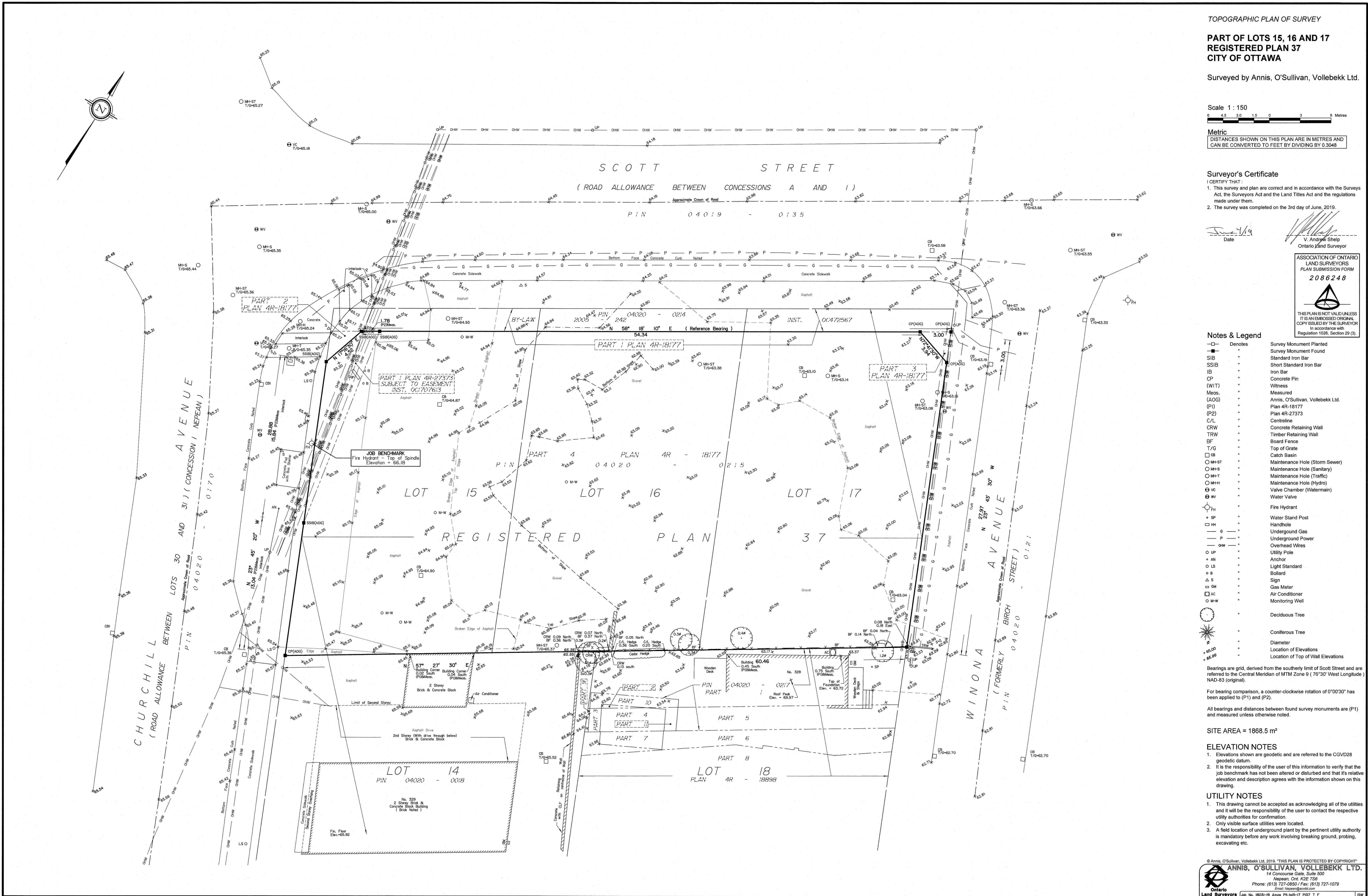
19023 PROJECT SCALE
DLC LS
DRAWN REVIEWED

Statistics

A001.S

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Survey Plan

A002.S

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1
A101.S

SITE PLAN
SCALE: 1:150

SITE PLAN LEGEND:

	PROPERTY LINE		FIRE HYDRANT		EXISTING ELEVATION
	LINE OF UNDER GROUND GARAGE BELOW		SIAMESE CONNECTION		PROPOSED ELEVATION
	MAIN BUILDING ENTRANCE		MANHOLE COVER		TOP OF ROOF
	RETAIL ENTRANCE		AREA DRAIN		BUILDING ENVELOPE
	EXIT		CATCH BASIN		
	VEHICLE ENTRANCE / EXIT		EXISTING LIGHT		
		F.F.E.	FINISH FLOOR ELEVATION		

CHURCHILL AVENUE

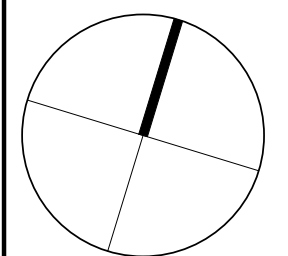
SCOTT STREET

WINONA AVENUE

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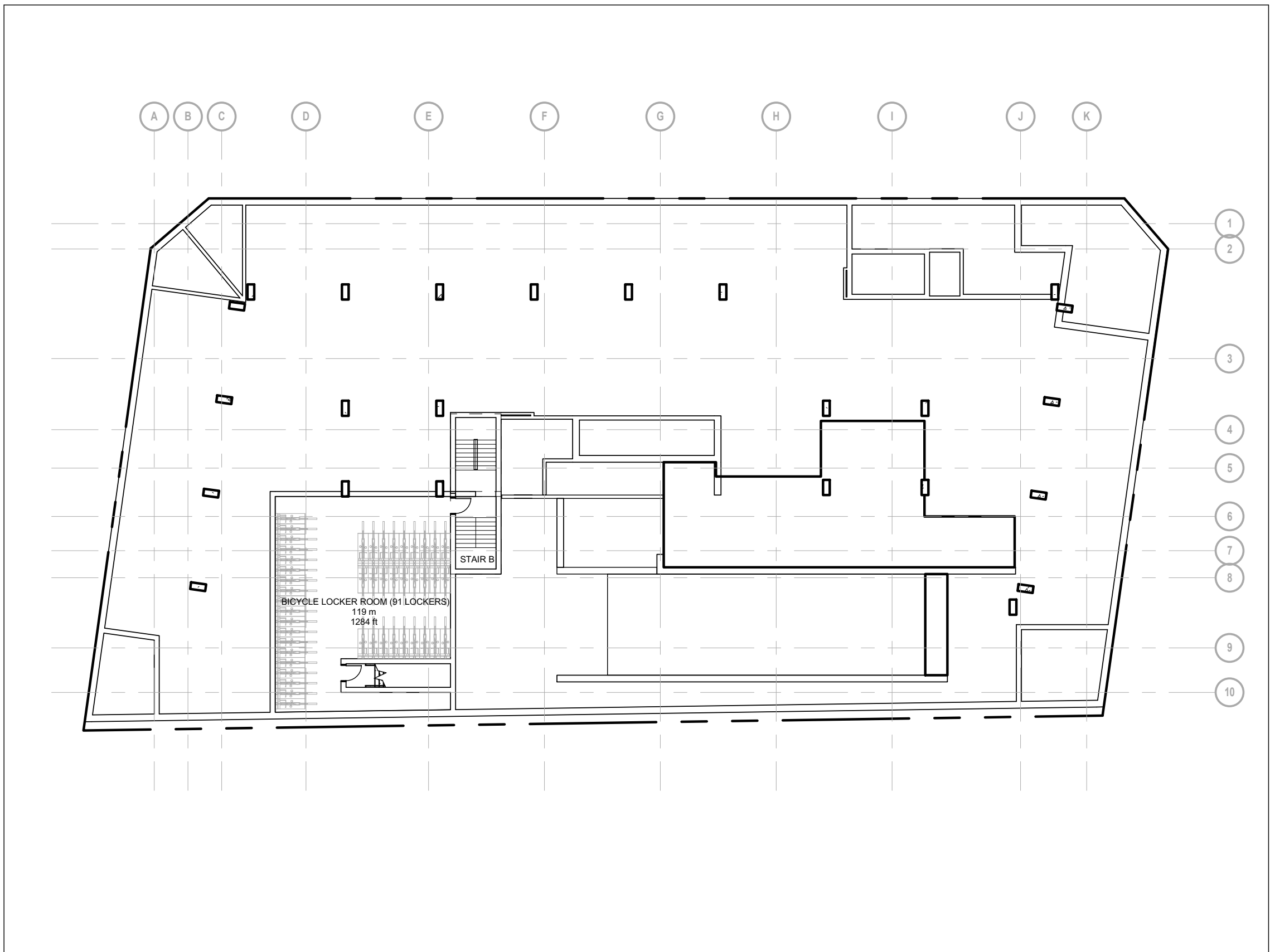
19023 As indicated DLC LS
PROJECT SCALE DRAWN REVIEWED

Site Plan

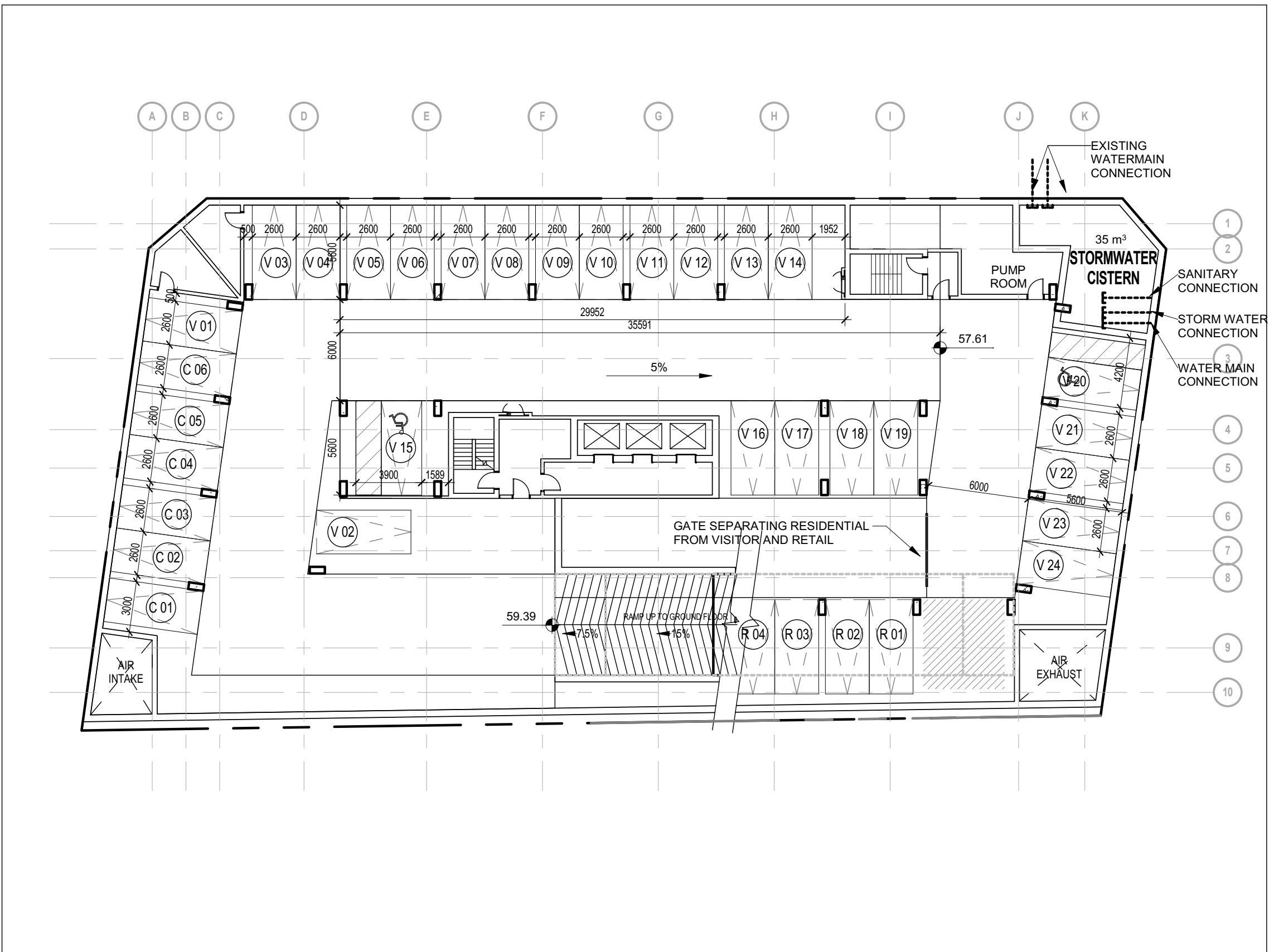
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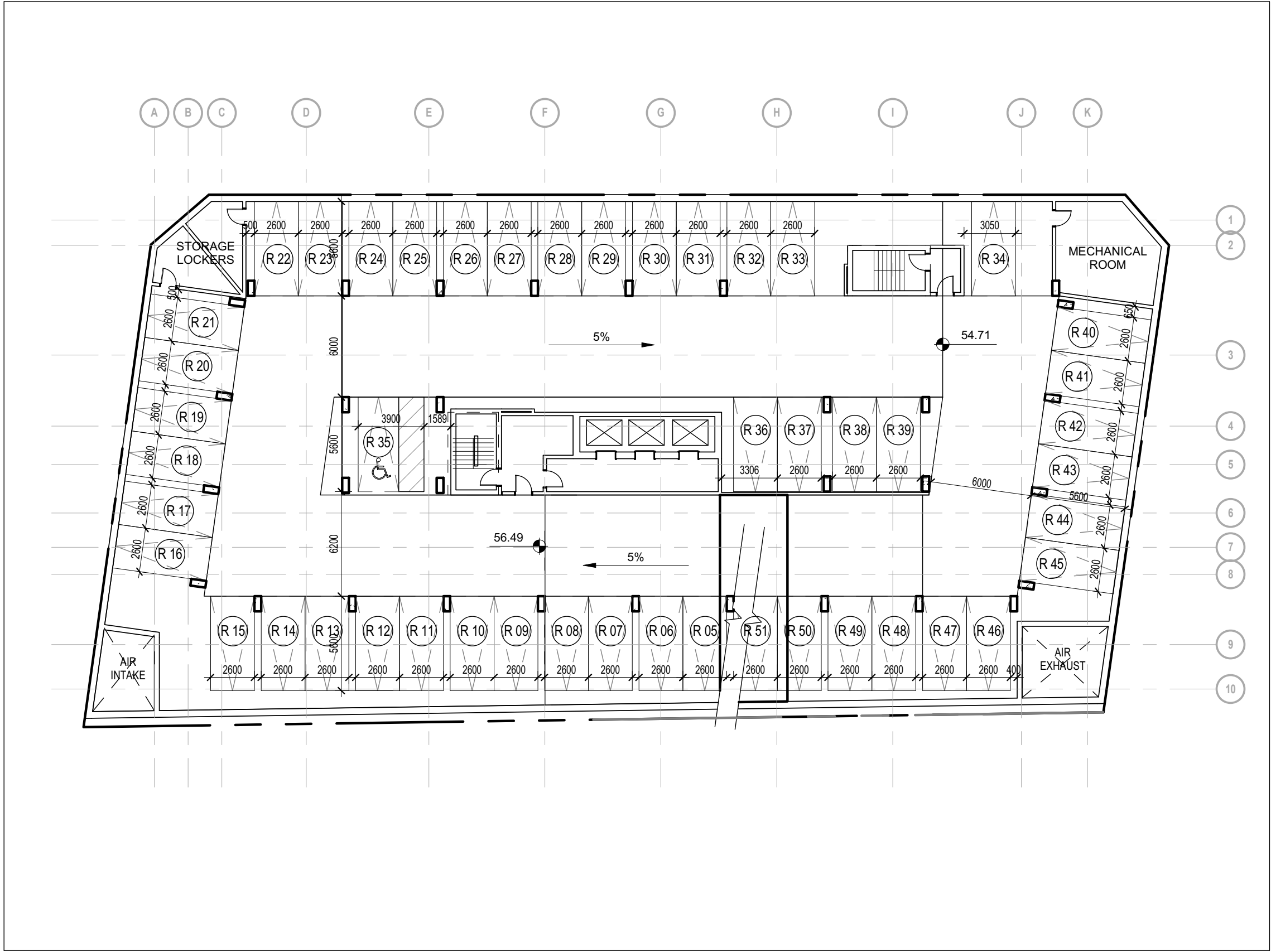
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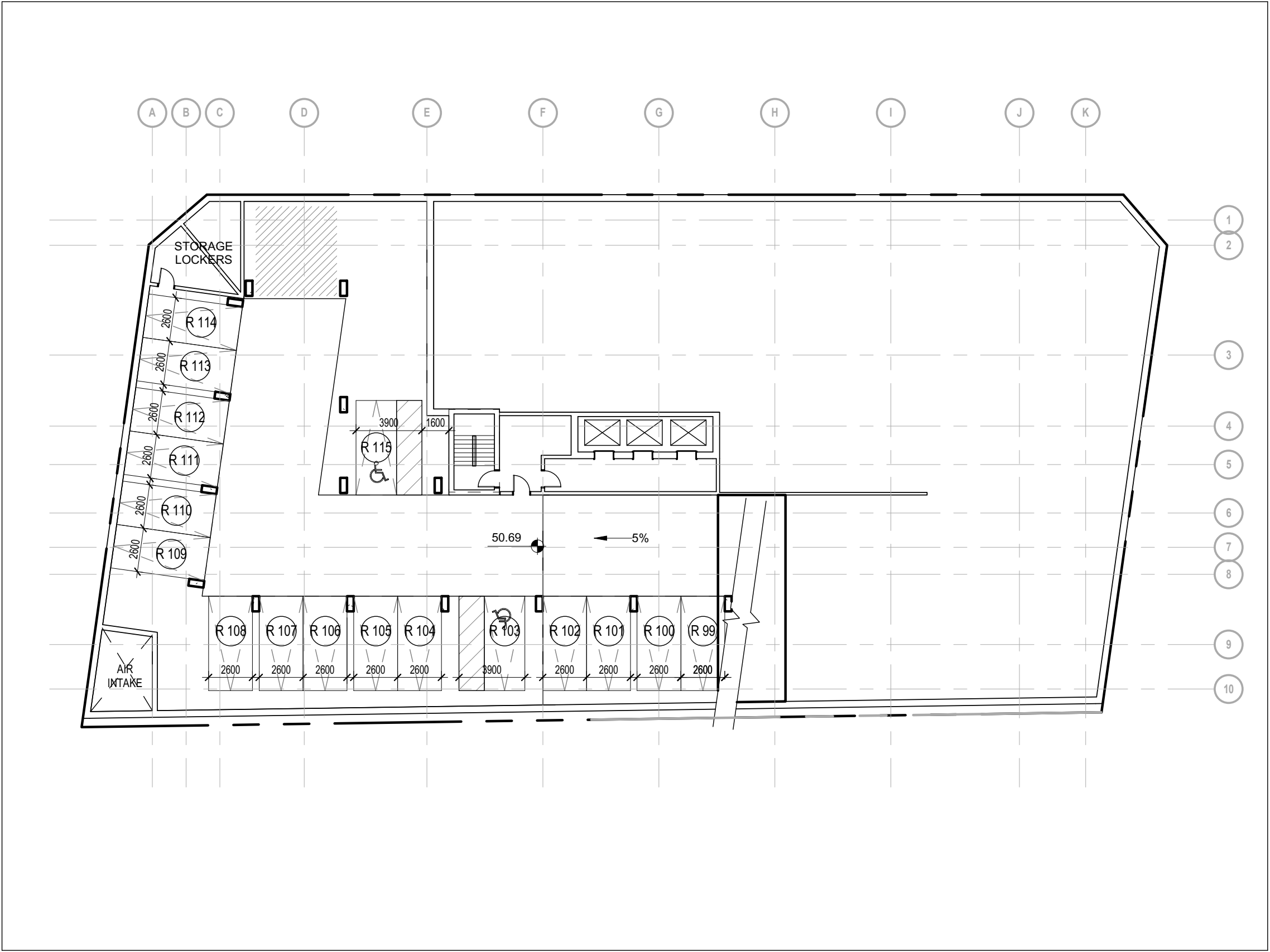
3
A102.S
MEZZANINE



1
A102.S
P1 Underground Parking Garage Plan



2
A102.S
P2 - P3 Underground Parking Garage Plan



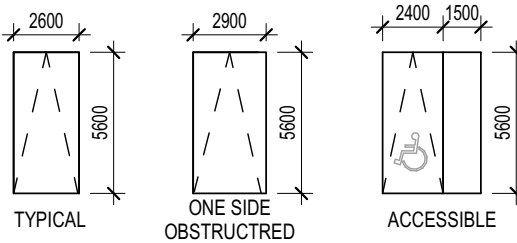
4
A102.S
P4 Underground Parking Garage Plan

PARKING NOTES:

1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
2500mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED)
2900mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
3200mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED)
2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

PARKING LEGEND:

- Ⓒ PARKING SPACE
C=COMMERCIAL PARKING
R=RESIDENTIAL PARKING
V=VISITOR PARKING

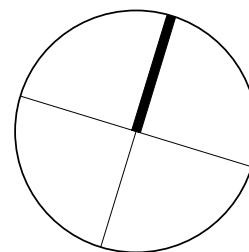


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Below Grade Floor Plans

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CHURCHILL AVENUE

SCOTT STREET

WINONA AVENUE

GROUND FLOOR LEGEND

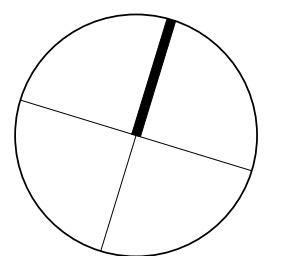
- AMENITY 1
- BICYCLE
- GARBAGE
- RAMP
- RESIDENTIAL COMMON AREAS
- RESIDENTIAL SUITES
- RETAIL

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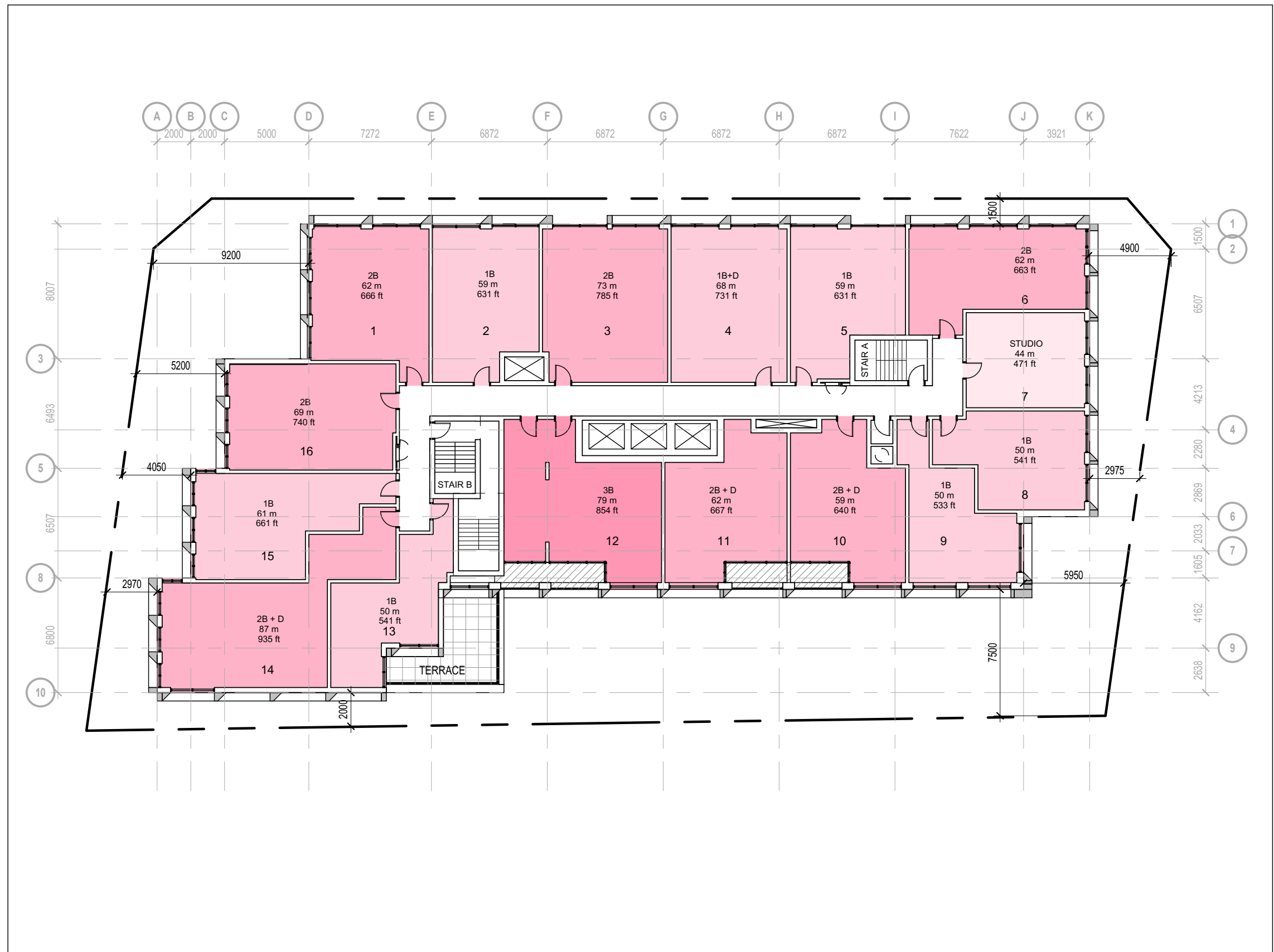
19023	1 : 150	DLC	LS
PROJECT	SCALE	DRAWN	REVIEWED

Ground Floor Plan

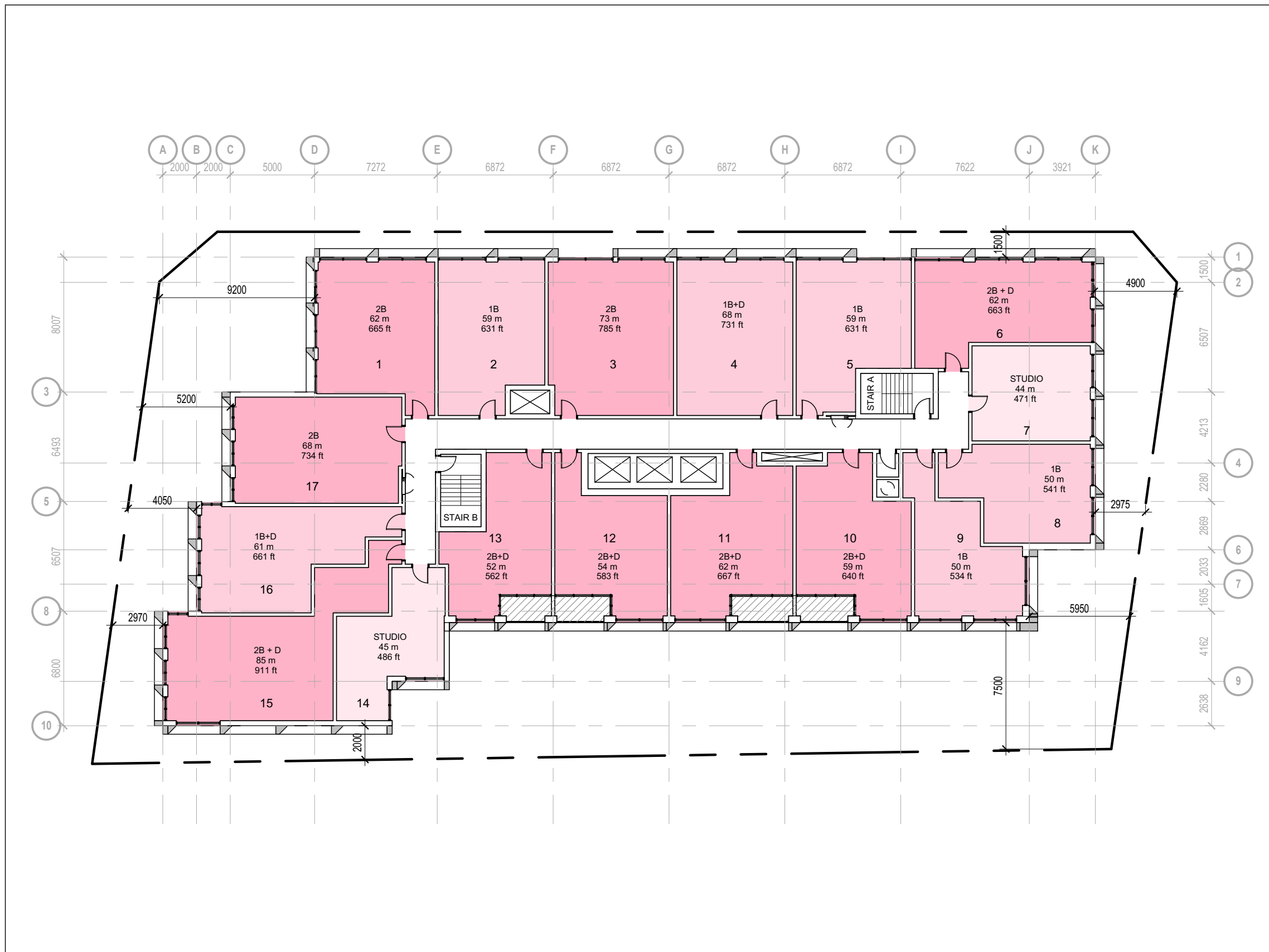
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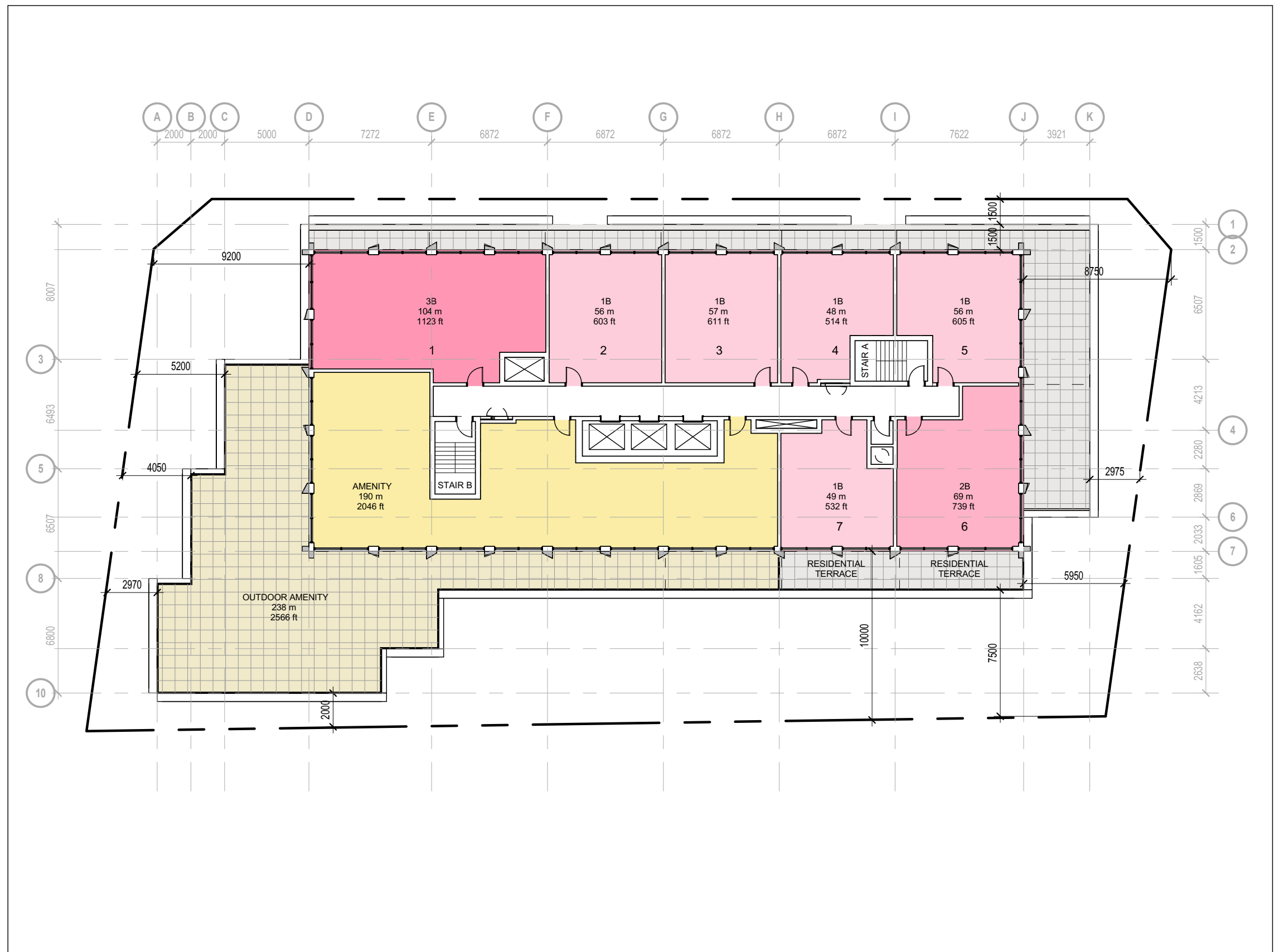
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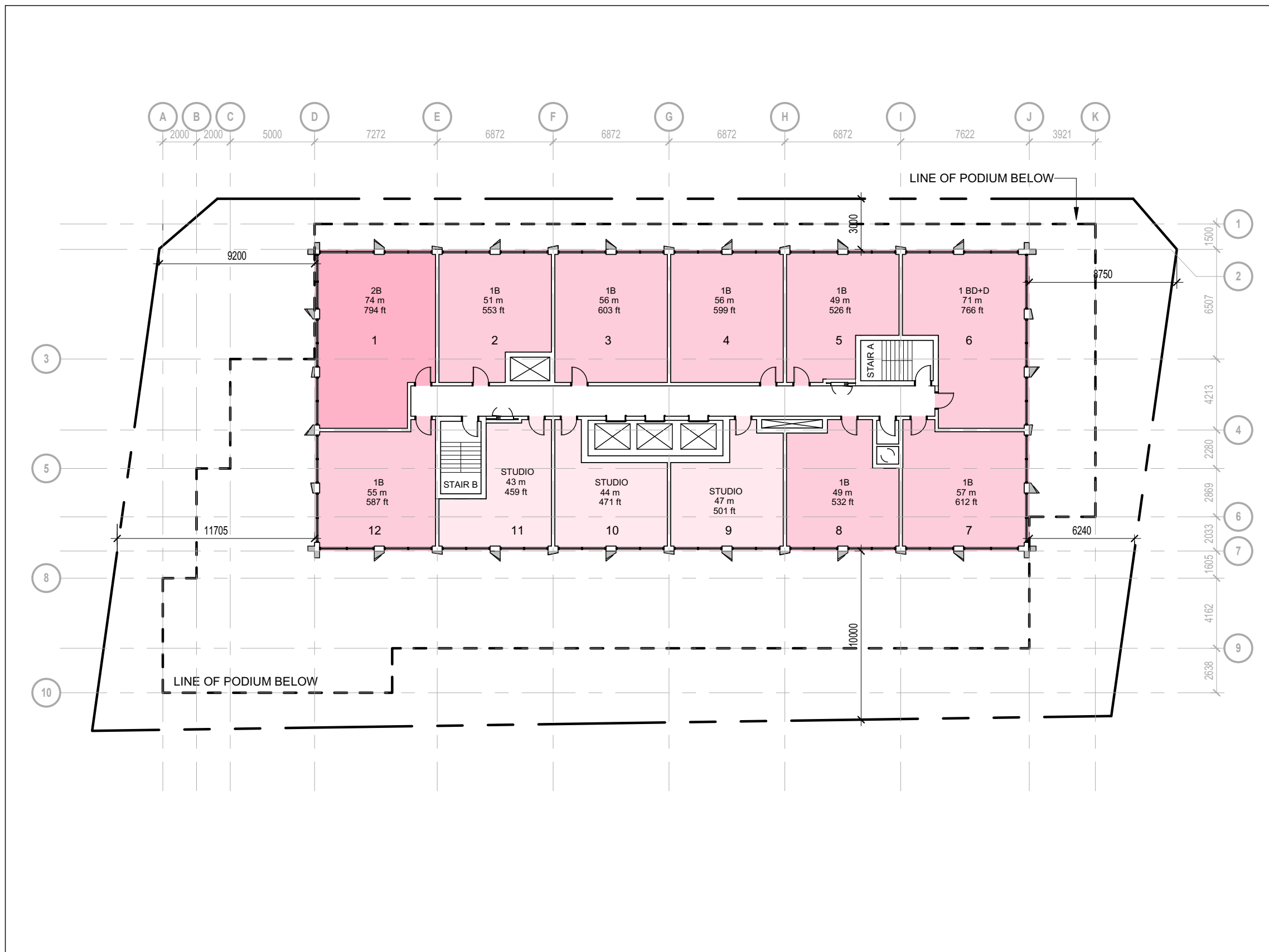
1 LEVEL 2 FLOOR PLAN
A202.S



6 TYPICAL PODIUM FLOOR PLAN (LEVEL 3-5)
A202.S



2 LEVEL 6 FLOOR PLAN - AMENITY
A202.S

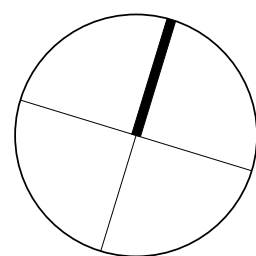


3 LOWER TYPICAL TOWER FLOOR PLAN (LEVEL 7-15)
A202.S

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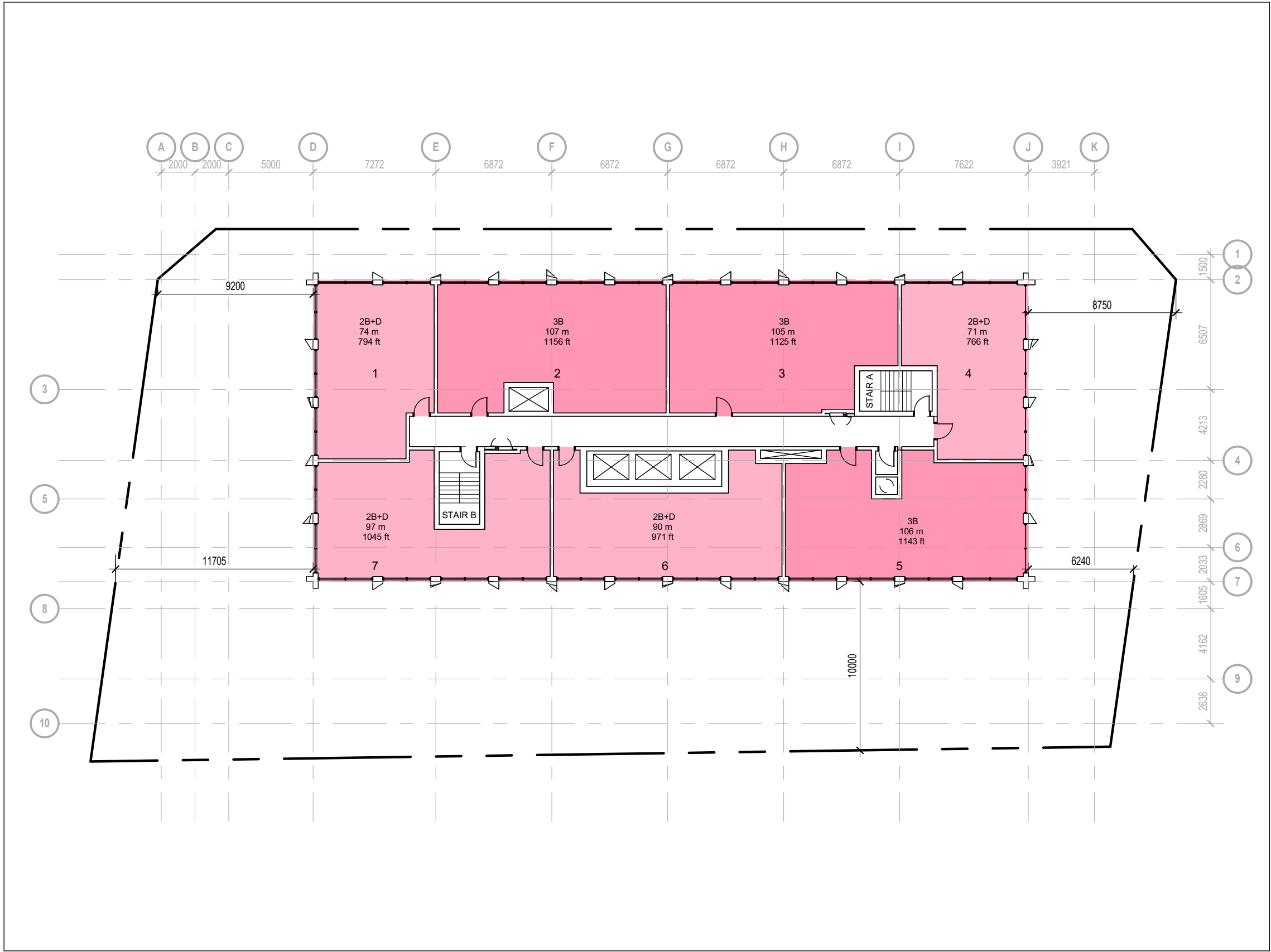
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19023 1 : 250 PROJECT SCALE
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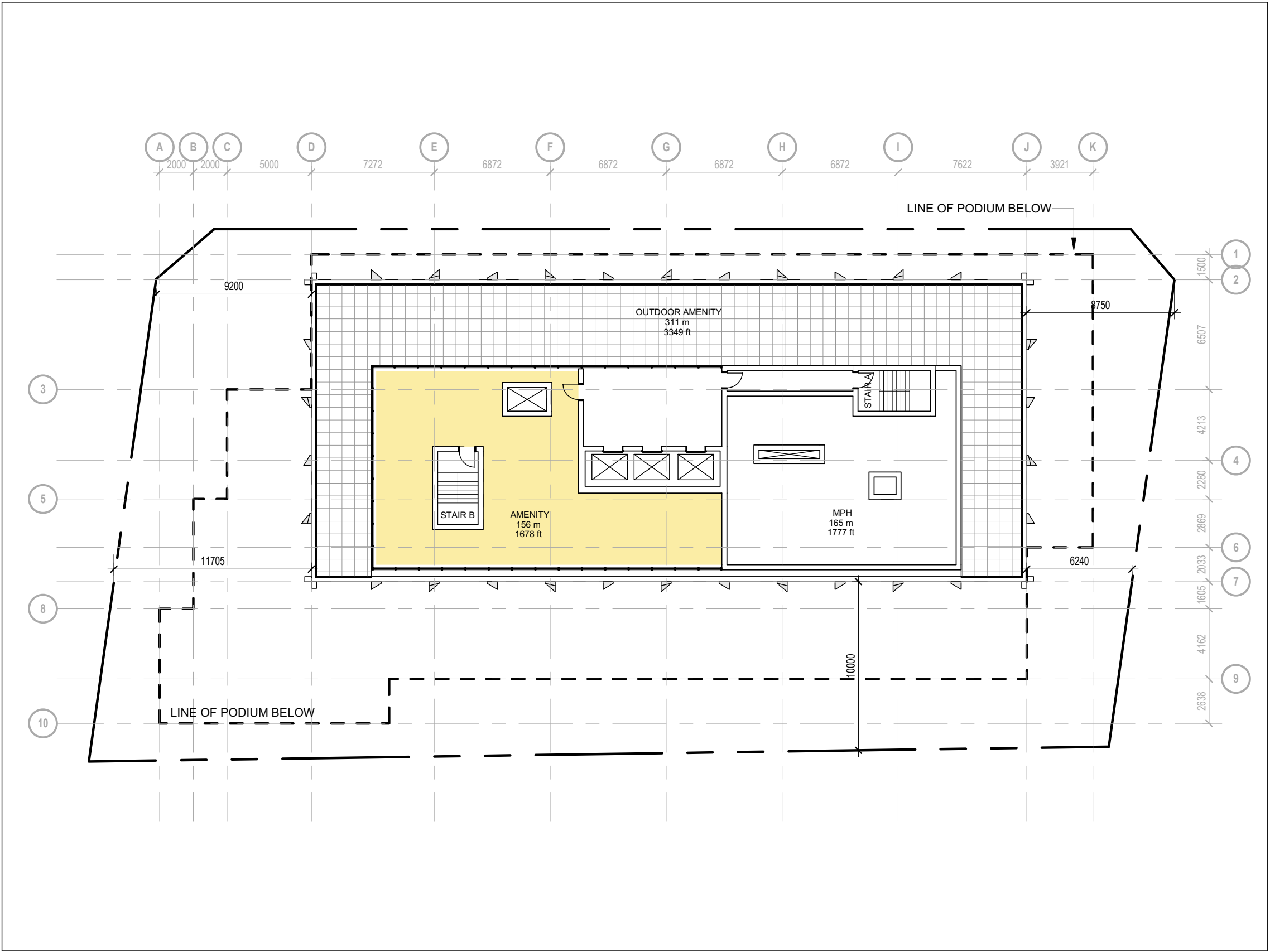
Floor Plans

A202.S

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2 UPPER TYPICAL TOWER FLOOR PLAN (LEVEL16-23)
A203.S

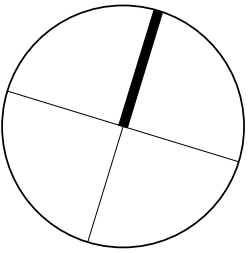


1 AMENITY AND MECHANICAL PENTHOUSE
A203.S

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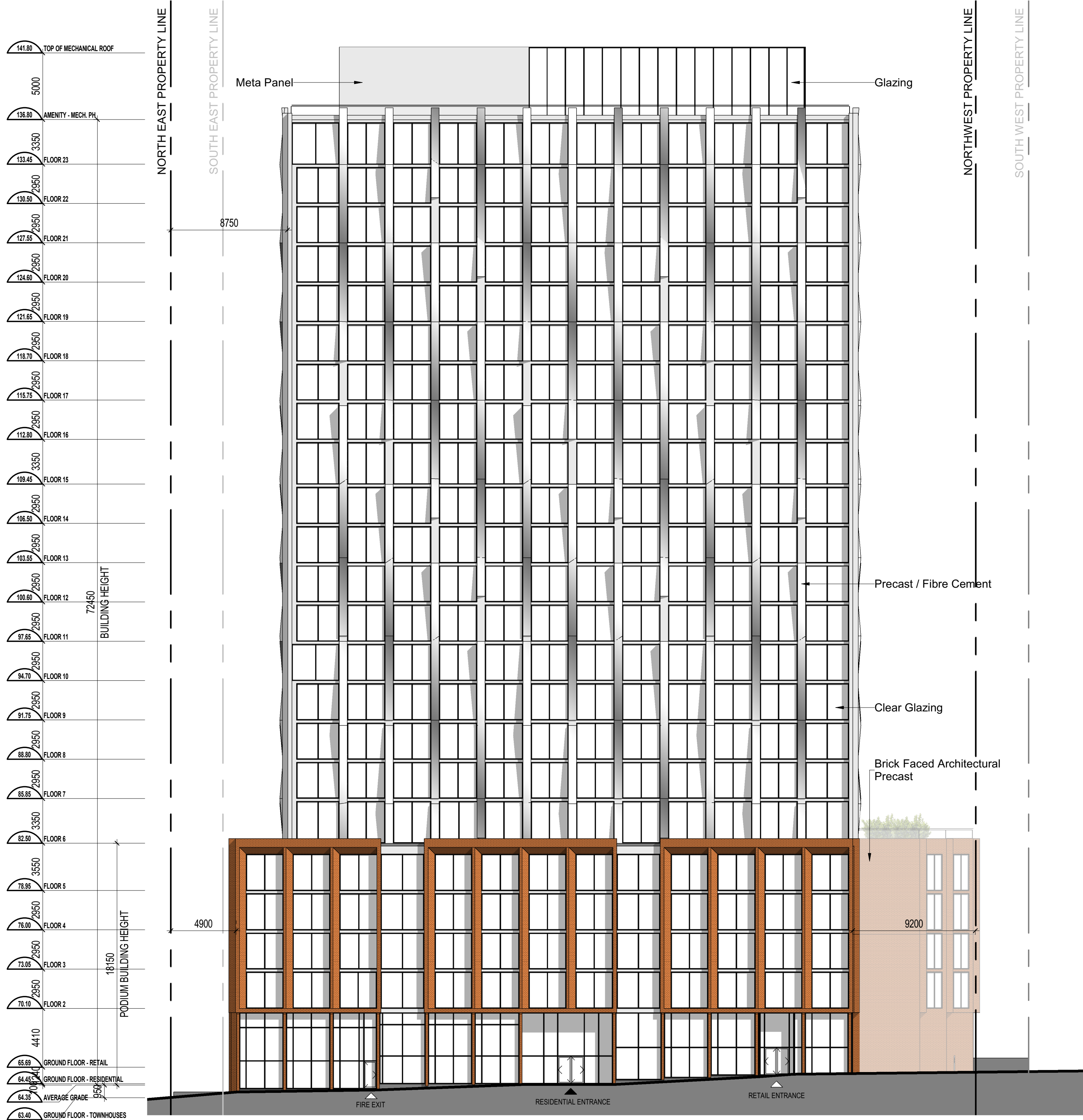
19023 1 : 250	DLC LS
PROJECT SCALE	DRAWN REVIEWED

Floor Plans

A203.S

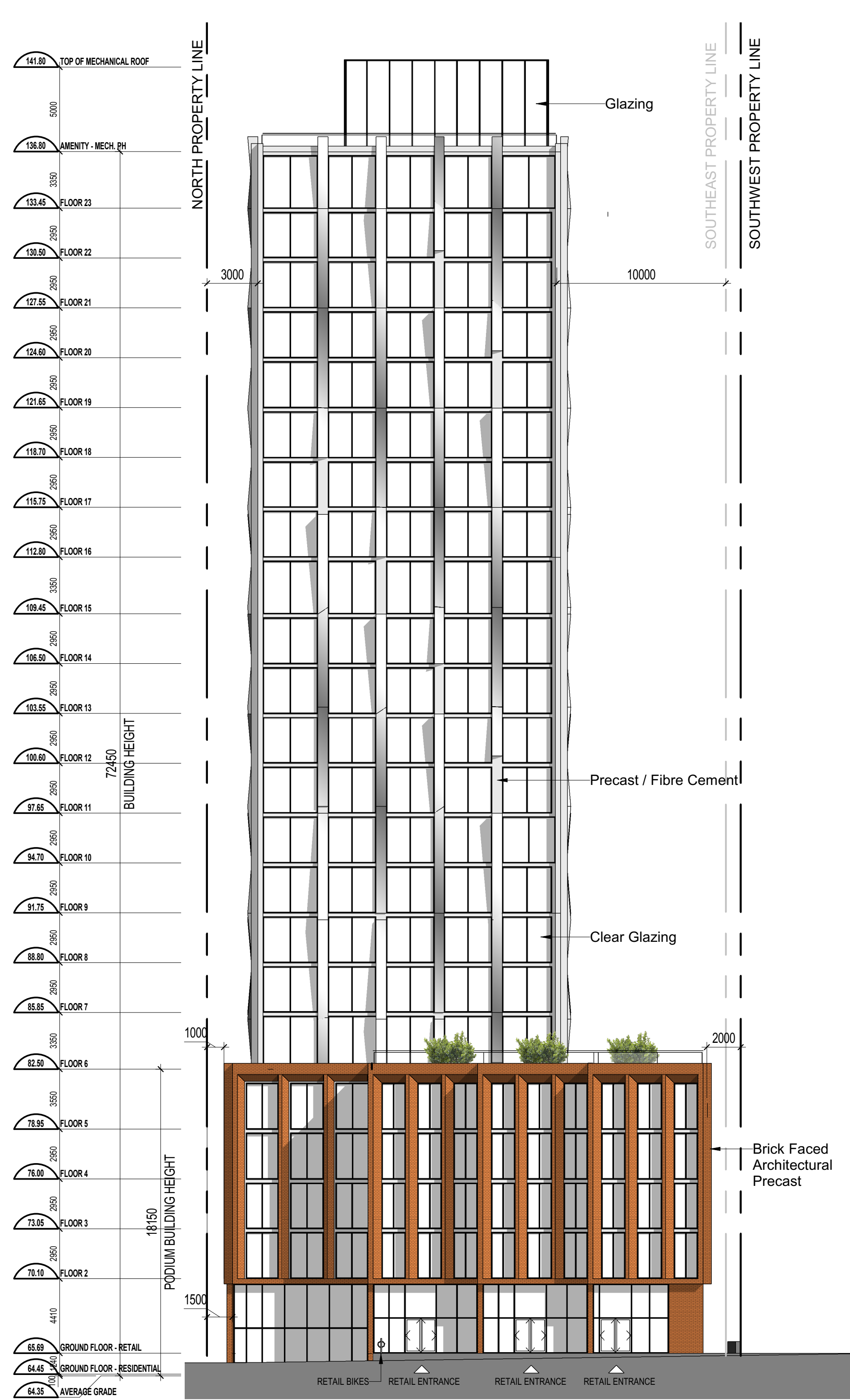
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1
A401.S

NORTH ELEVATION



2
A401.S

WEST ELEVATION

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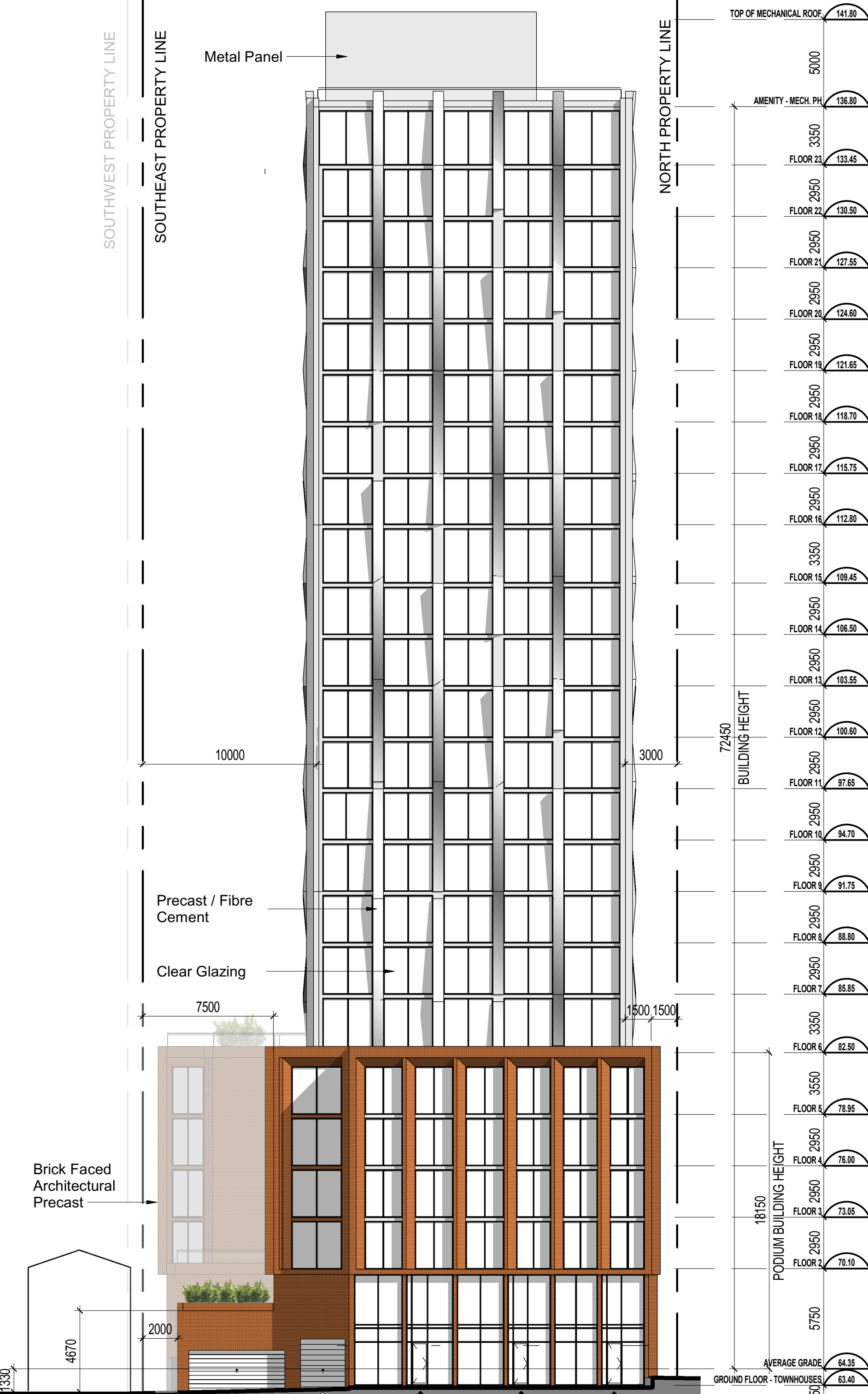
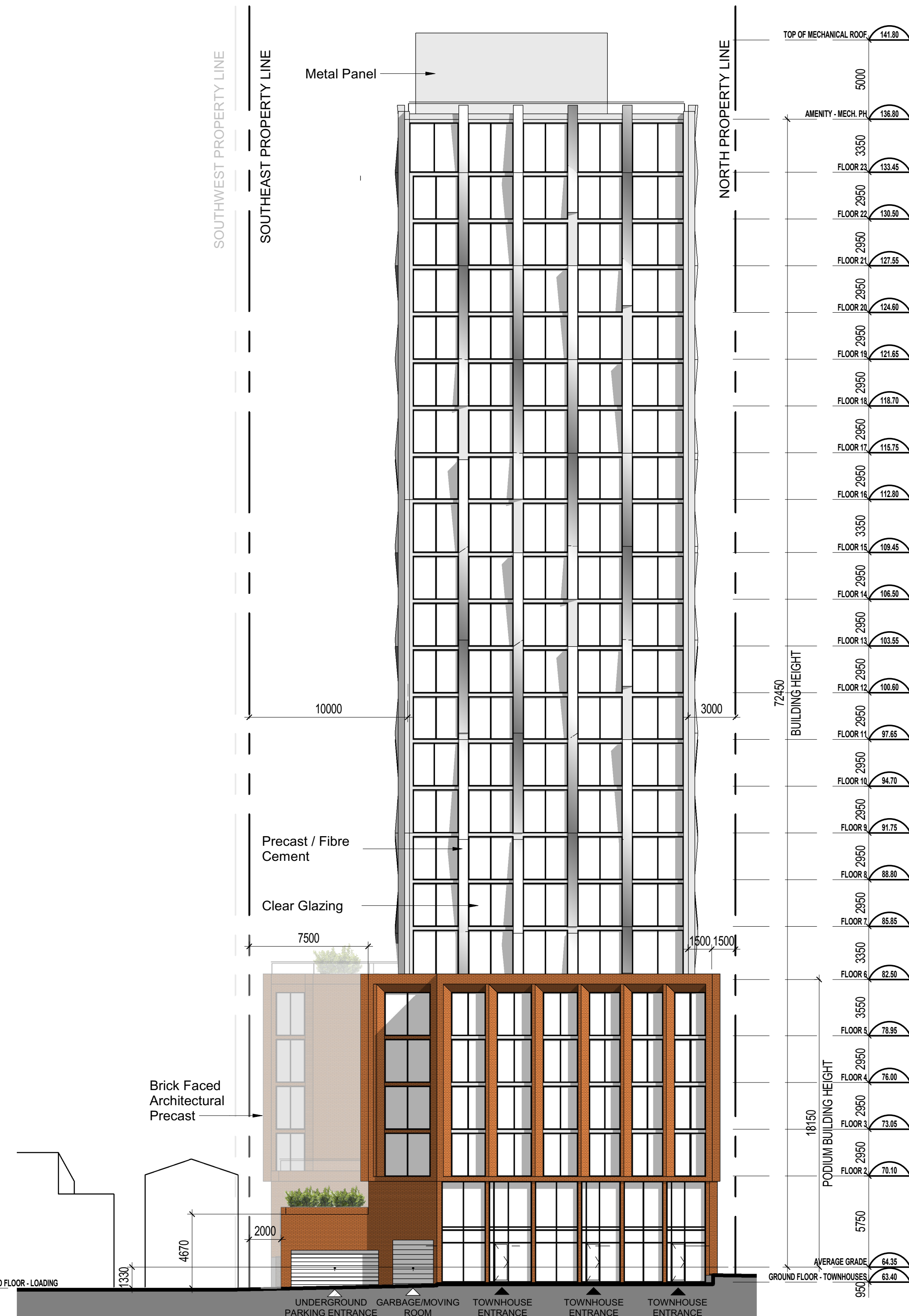
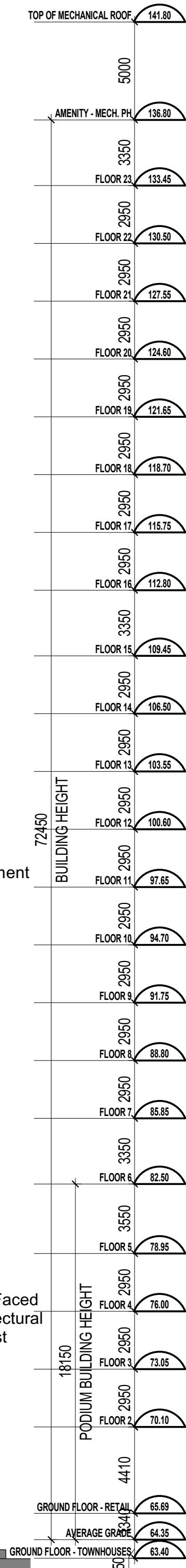
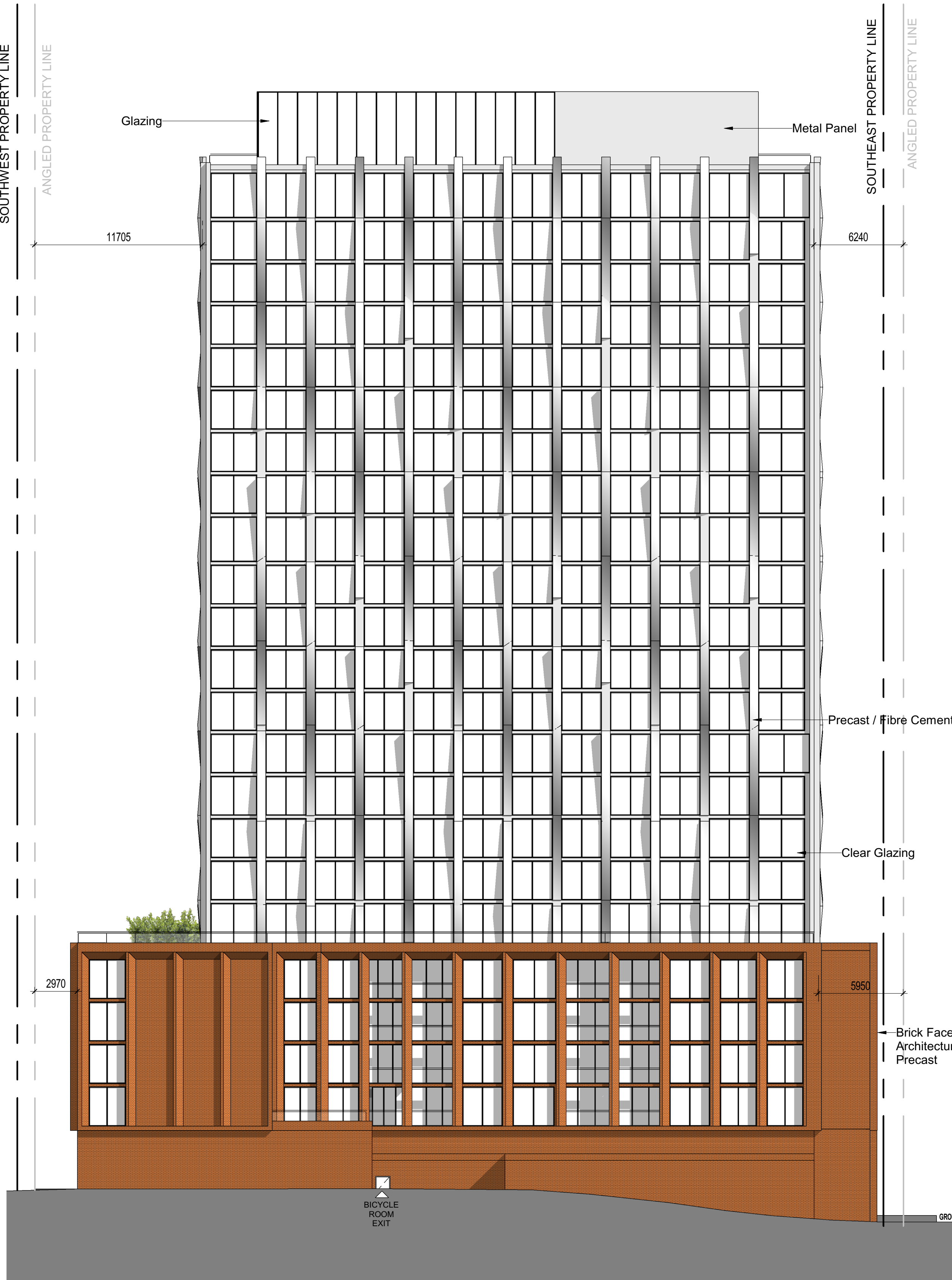
Building Elevations

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19023 1 : 200 PROJECT SCALE
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Building Elevations

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