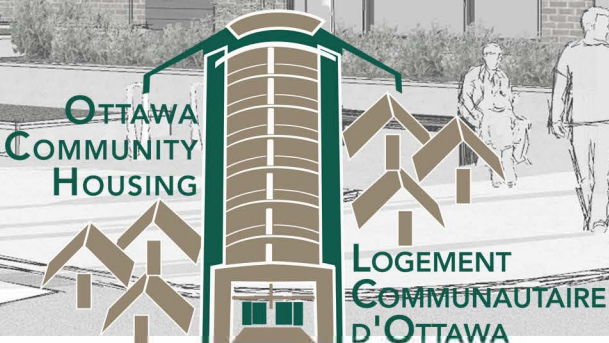


# 811 GLADSTONE

COMMUNITY HOUSING DEVELOPMENT  
6 STOREY PASSIVE HOUSE & STACKED TOWNS

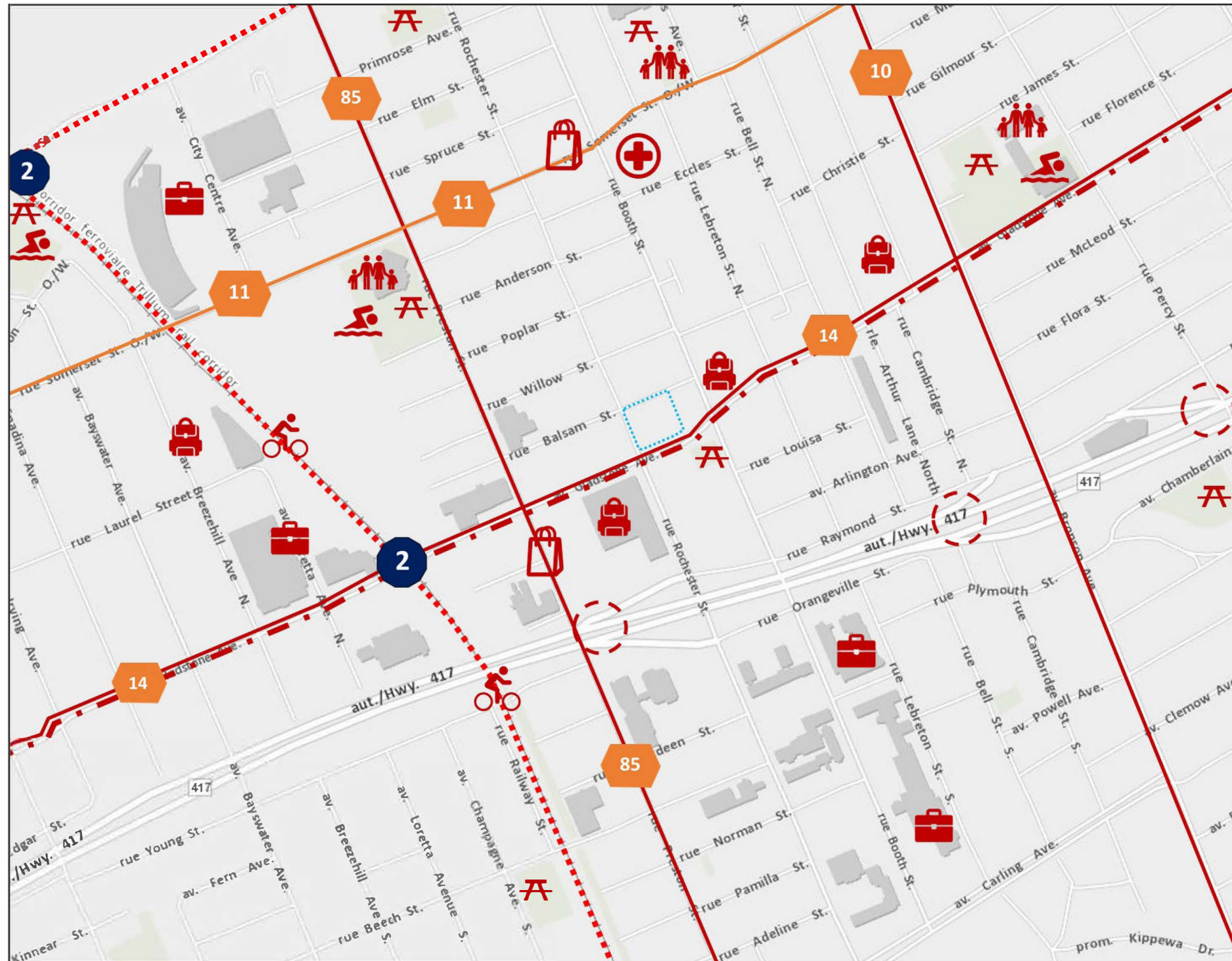


**FOTENN**  
Planning + Design





## 1.1 SITE INVENTORY & ANALYSIS

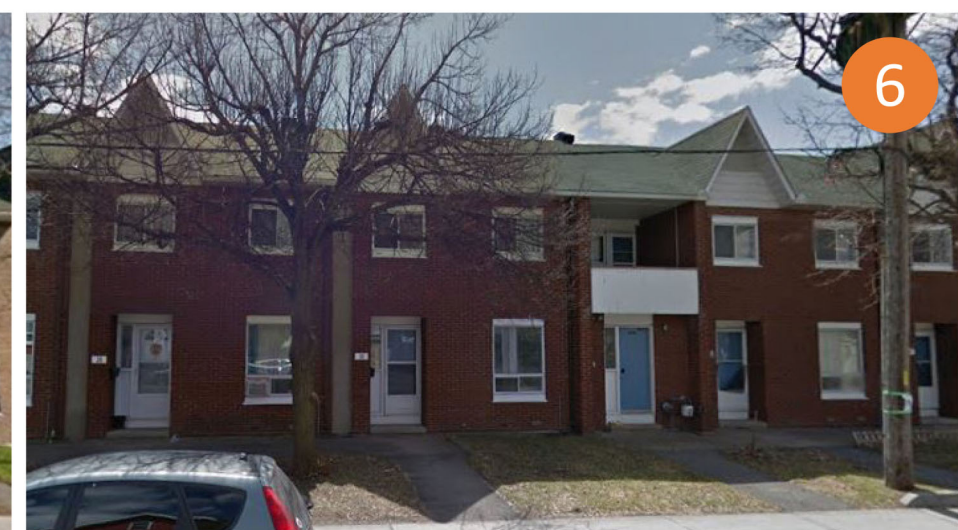
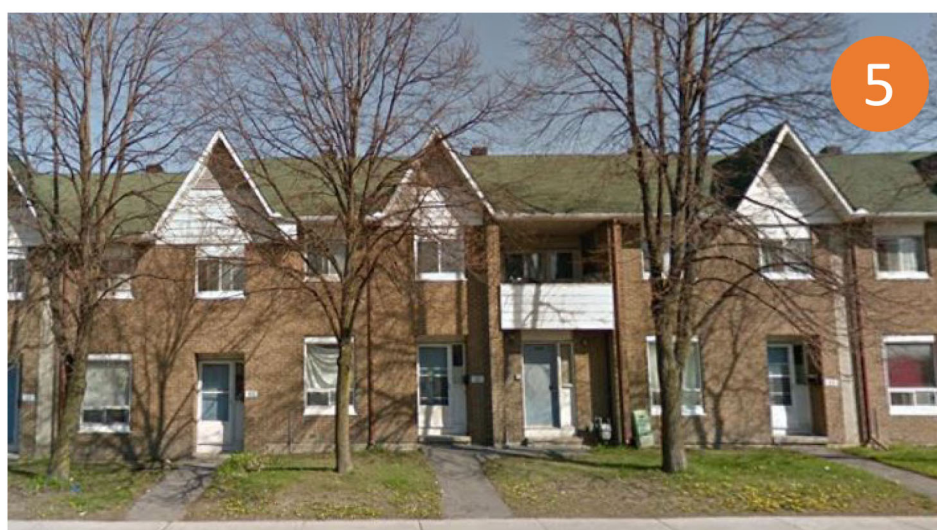
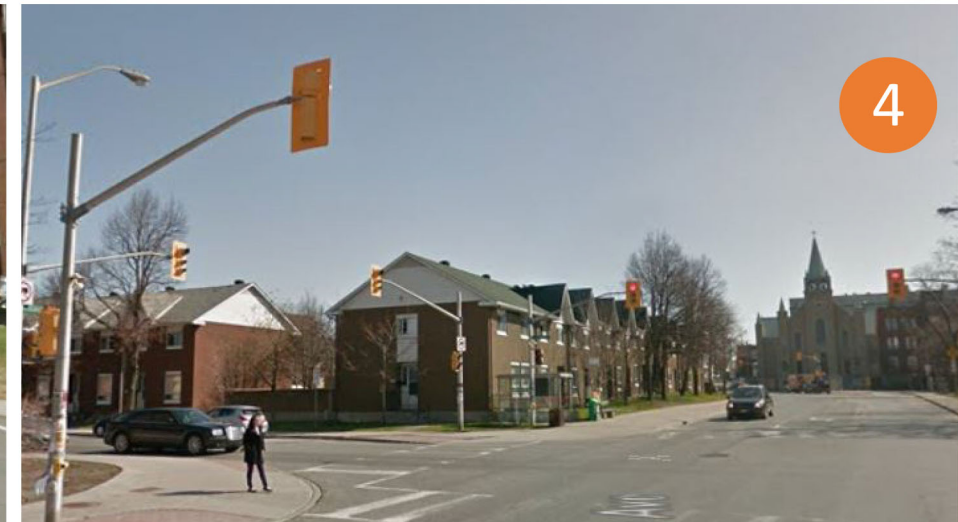
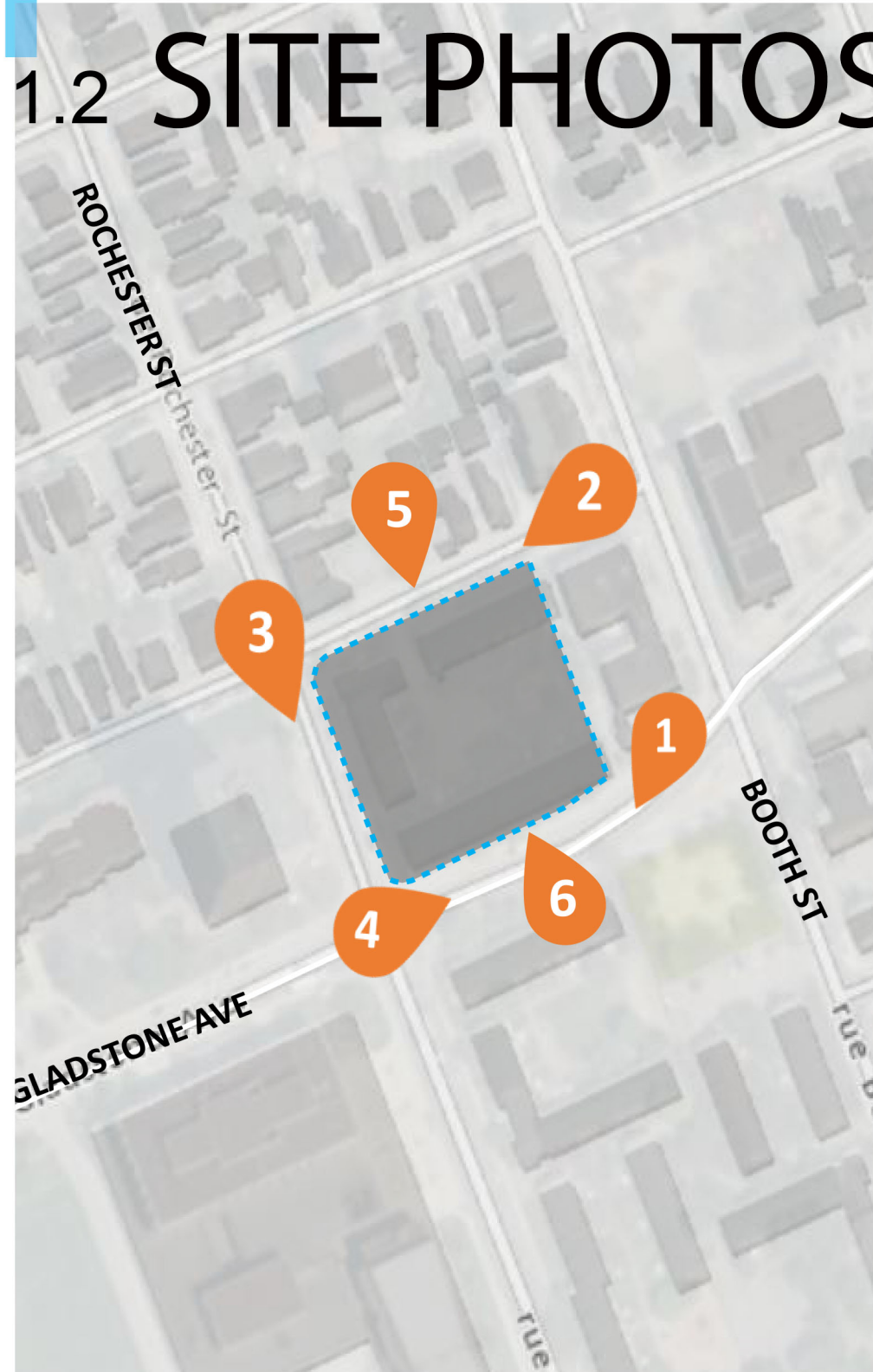


### LEGEND

- Highway Access/Egress
- Community Centre
- Recreation Facility
- School
- Health Centre
- Multi-Use Pathway
- Grocery Store
- Commercial Area
- Employment Area
- City Park
- LRT Station
- Transit Route
- Rapid Transit Route
- Transit Priority Corridor
- Subject Lands



## 1.2 SITE PHOTOS





# URBAN CONTEXT

## 1.3 POLICY CONTEXT

CITY OF OTTAWA OFFICIAL PLAN (2003, as amended)  
OFFICIAL PLAN AMENDMENT 150

/ The property is designated as Traditional Mainstreet in the Official Plan.

/ A broad range of uses is permitted on Traditional Mainstreets, including retail, office, residential and institutional uses.

/ The OP contains criteria to ensure development is of an appropriate scale, is pedestrian friendly, provides appropriate landscaping and minimizes undesirable sun shadow and wind impacts.

/ The OP recognizes that concentrating residential growth to specific areas is required to support a high-quality transit service and to make better use of municipal infrastructure.

/ The property is located on a designated Transit Priority Corridor on Schedule D in the Official Plan.

/ The property is designated as a Design Priority Area in the Official Plan.

### URBAN DESIGN GUIDELINES FOR DEVELOPMENT ALONG TRADITIONAL MAINSTREETS

/ The purpose of these guidelines is to provide urban design guidance at the planning application stage in order to assess, promote and achieve appropriate development along Traditional Mainstreets.

/ Relevant guidelines include fostering compatible development that locates building frontage along the streets, allows logical movement throughout the site, provides streetscape elements such as trees and benches,

and contributes to the planned character of the streets while achieving high-quality built form with a sense of identity and human scale.

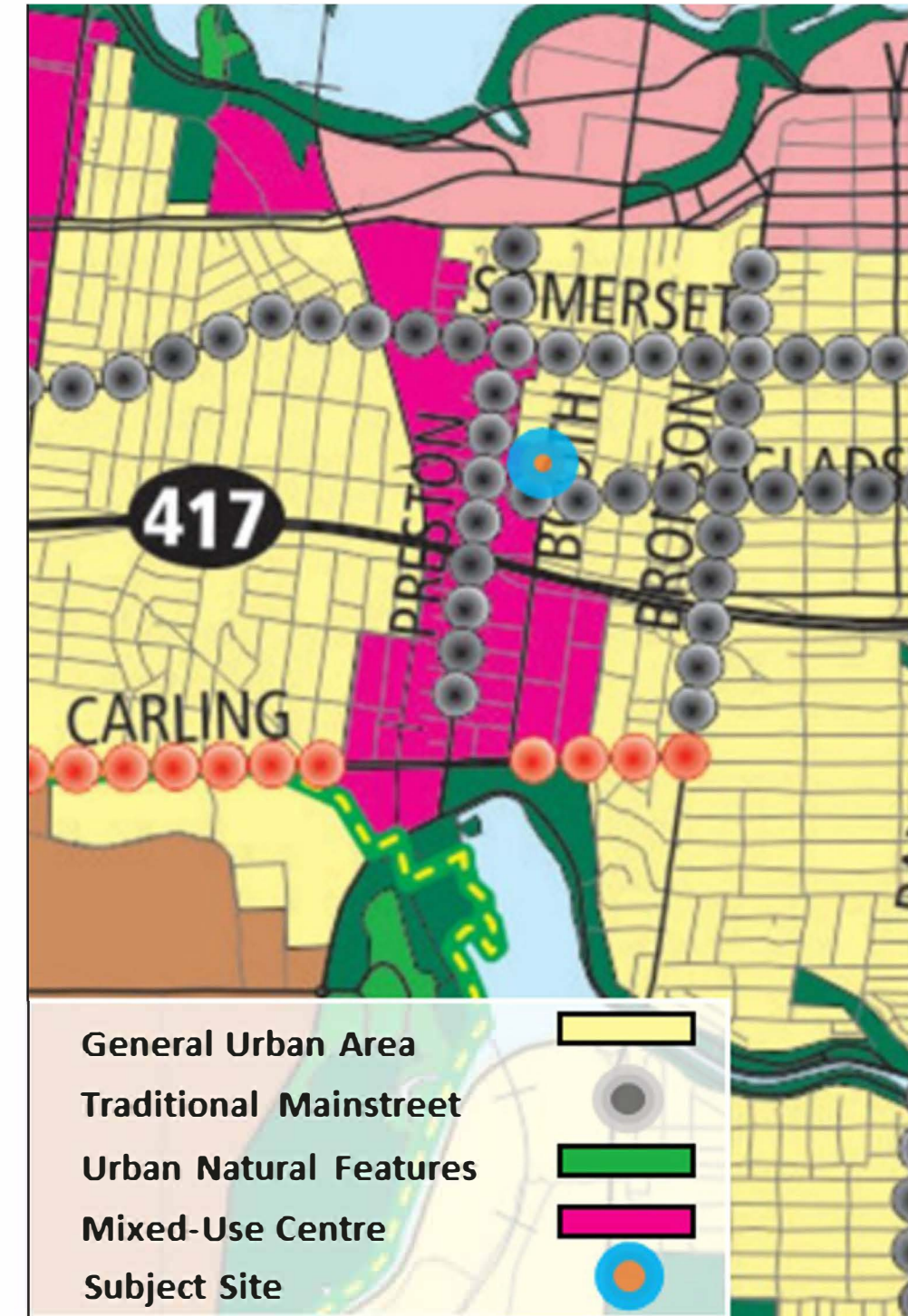
### CITY OF OTTAWA ZONING BY-LAW 2008-250

/ The property is zoned both Traditional Mainstreet (TM) along Gladstone Avenue and Rochester Street and Residential Fourth Density, Subzone A (R4A) on the northern portion along Balsam Street.

/ The intent of the TM zone is to accommodate a broad range of uses including retail, service commercial, office, residential and institutional uses, including mixed-use buildings but excluding auto-related uses and foster and promote compact, mixed-use, pedestrian-oriented development that provide for access by foot, cycle, transit and automobile.

/ The intent of the R4A Zone is to allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings and to regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced.

/ The Property is within Area Y of Schedule 1A which establishes a minimum 61 Vehicle Parking Spaces and 70 Bicycle Spaces Required.





2.1 EXISTING CONTEXT





# 2.2 OCH HOLDINGS





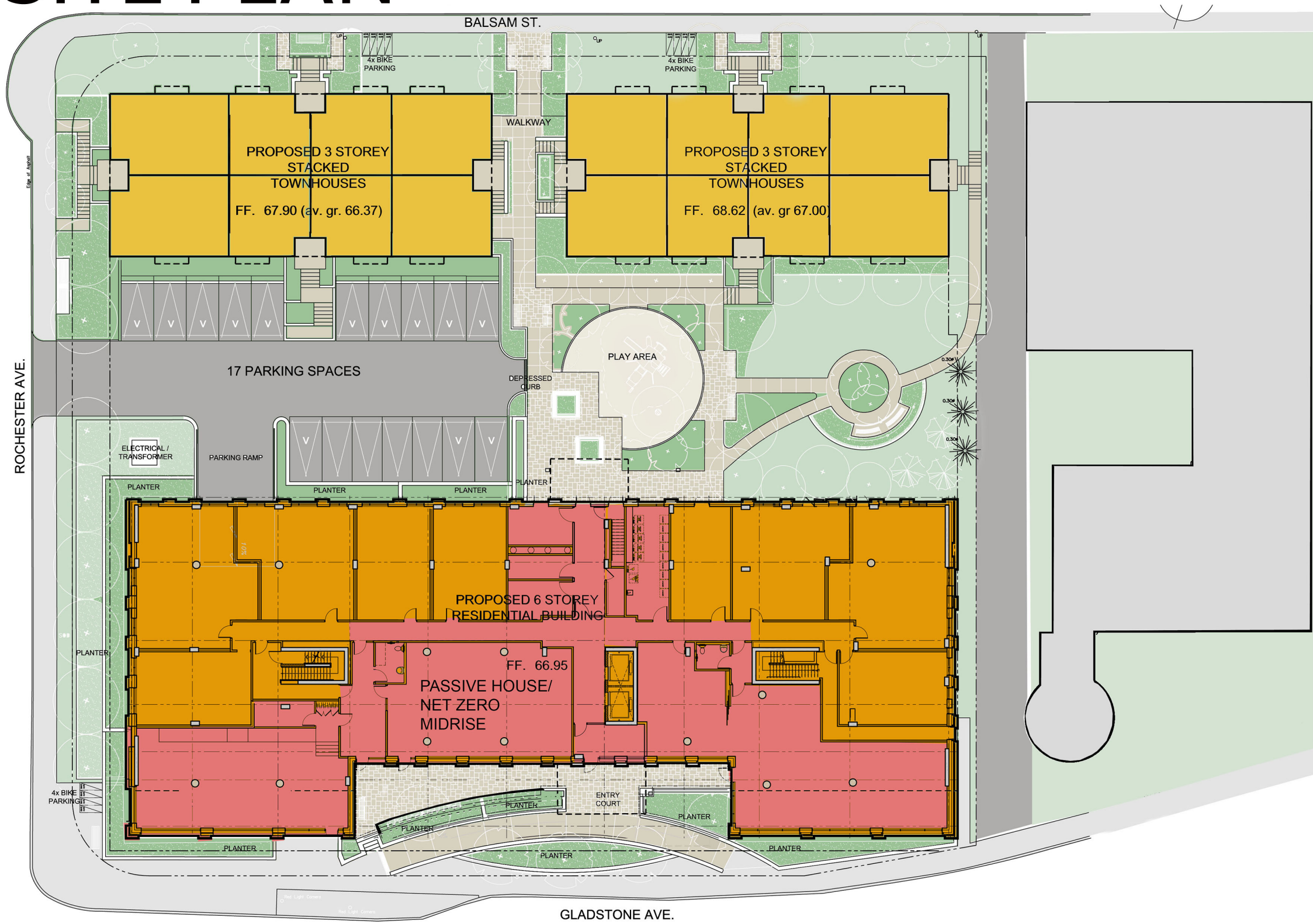
# 2.3 PLANNED DEVELOPMENT





# 3 DEVELOPMENT PLAN

## 3.1 SITE PLAN



- OTTAWA COMMUNITY HOUSING**
- 6 STOREY PASSIVE HOUSE**  
108 Units  
Bachelor (15)  
1 Bedroom (59)  
2 Bedroom (22)  
3 Bedroom (12)
- STACKED BACK TO BACK TOWNS**  
32 Units  
2 Bedroom (16)  
3 Bedroom (8)  
4 Bedroom (8)
- TOTAL 140 Units**  
522 msq Shared Amenity  
Shared outdoor Amenity
- LEGEND**
- Passive House
  - Stacked Towns
  - Shared Amenity/ Service



# 4 ARCHITECTURAL RESPONSE TO CHANGING CONTEXT

## 4.1 SCALE

08





# 4 ARCHITECTURAL RESPONSE TO CHANGING CONTEXT

## 4.1 SCALE

09



CONTEMPORARY EXPRESSION OF  
EXISTING FORMS

6m HIGH PODIUM BASE

BREAKING UP MASS

STEPPING OF FACADE



# 4 ARCHITECTURAL RESPONSE TO CHANGING CONTEXT

10

## 4.2 MATERIALITY



BRICK AT GRADE  
CLAP BOARD FIELD  
LIGHT METAL FORMS  
COLOURFUL ACCENTS  
WOOD TRELLIS ACCENTS





## 4.3 THE SPACE BETWEEN



GLADSTONE ENTRANCE COURT



## 4.3 THE SPACE BETWEEN



SHARED INTERIOR COURTYARD GARDEN AND PLAY YARD



## 4.3 THE SPACE BETWEEN



INTERIOR PEDESTRIAN LANEWAY



## 4.4 GROUND FLOOR ANIMATION

GLADSTONE FRONTAGE





## 4.4 GROUND FLOOR ANIMATION



GLADSTONE FRONTAGE

AMENITY SPACES FRONTING ON GLADSTONE  
DESIGNED TO BE ADAPTABLE TO OTHER USES



# 4 ARCHITECTURAL RESPONSE TO CHANGING CONTEXT

16

## 4.4 GROUND FLOOR ANIMATION



BALSAM FRONTAGE  
EYES ON THE STREET

CSW





## INTEGRATION OF PASSIVE HOUSE OBJECTIVES

## 5.1 PASSIVE HOUSE &amp; NET ZERO

DESIGNED TO PASSIVE HOUSE  
AND NET ZERO CERTIFICATION  
WITHOUT COMPROMISING URBAN  
DESIGN PRICIPLES





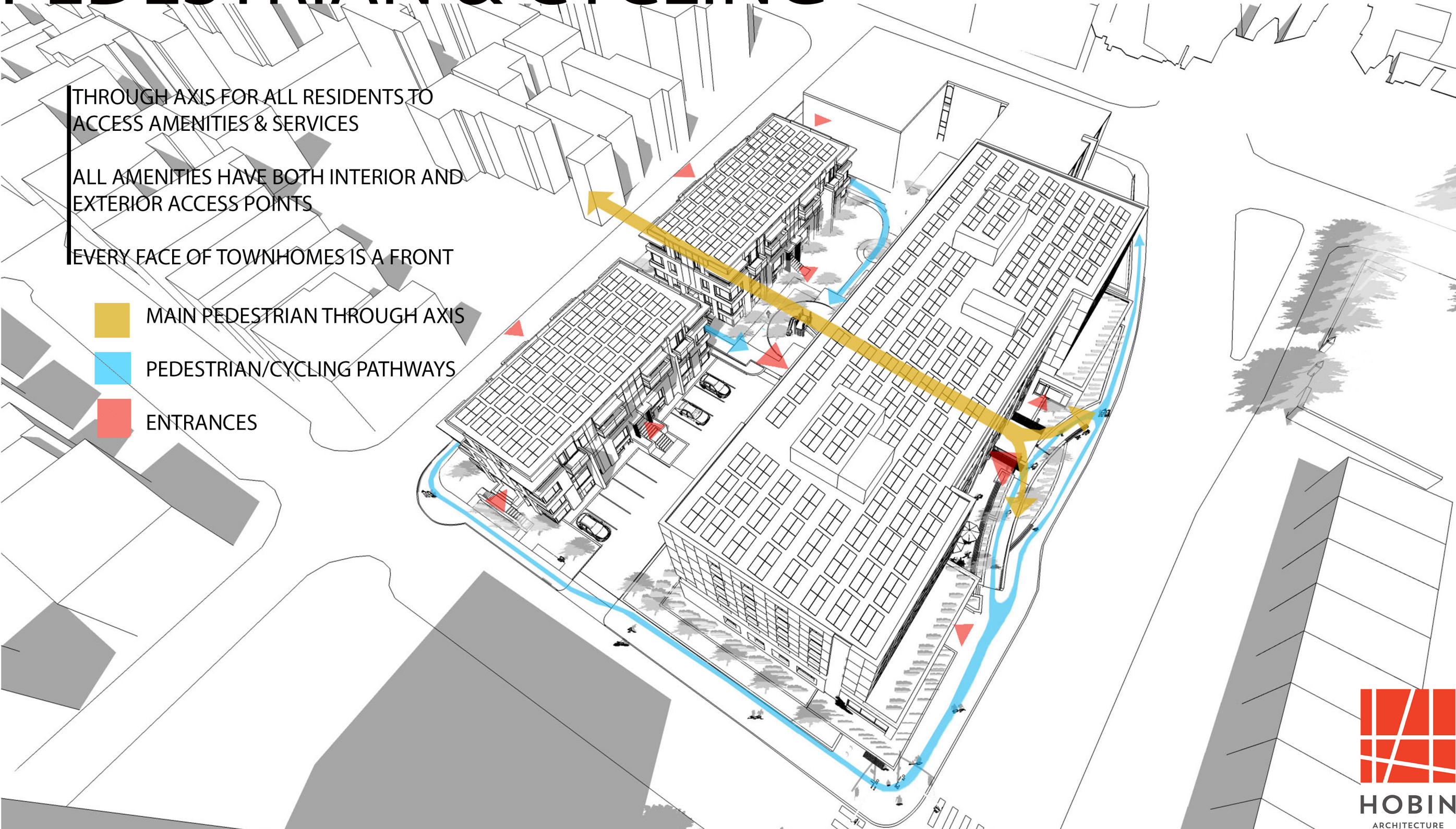
## 6.1 PEDESTRIAN &amp; CYCLING

THROUGH AXIS FOR ALL RESIDENTS TO  
ACCESS AMENITIES & SERVICES

ALL AMENITIES HAVE BOTH INTERIOR AND  
EXTERIOR ACCESS POINTS

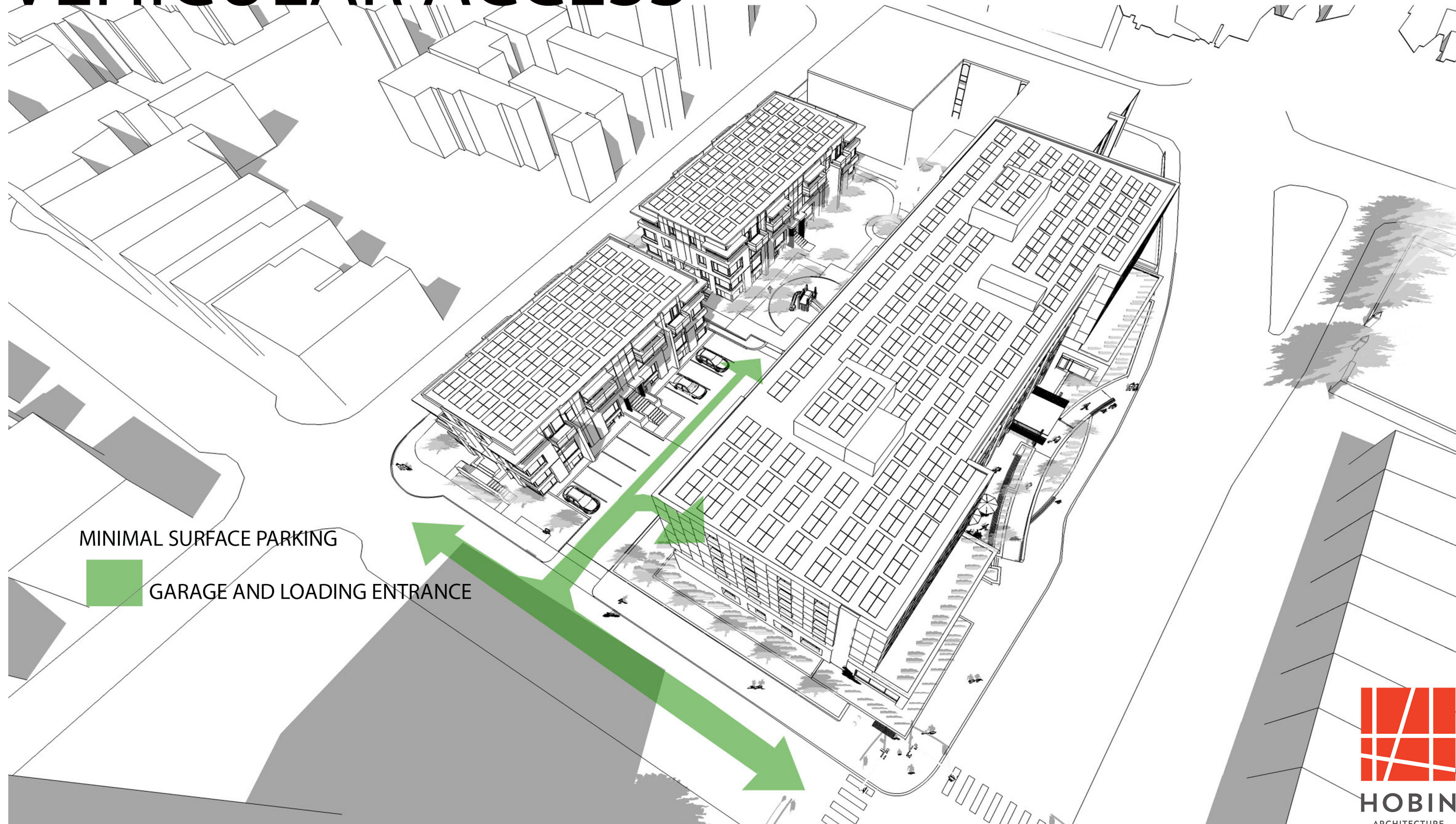
EVERY FACE OF TOWNHOMES IS A FRONT

- MAIN PEDESTRIAN THROUGH AXIS
- PEDESTRIAN/CYCLING PATHWAYS
- ENTRANCES






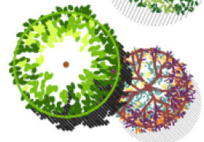


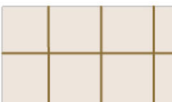
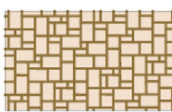



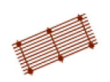
## 6.2 VEHICULAR ACCESS






# 7.1 LANDSCAPE PLAN

**LEGEND/LÉGENDE**

-  EXISTING TREE / ARBRES EXISTANT
-  DECIDUOUS TREE PLANTING / ARBRES À FEUILLES CADUQUES PROPOSÉS
-  CONIFEROUS TREE PLANTING / CONIFÈRES PROPOSÉS
-  SHRUB PLANTING / BUISSONS PROPOSÉS
-  CONCRETE PAVING / REVÊTEMENT DE BÉTON
-  UNIT PAVING / REVÊTEMENT DE PÂVES EN BÉTON
-  BENCHES / BANCS
-  BICYCLE PARKING / SUPPORT À VÉLO
-  WALLS / BANCS
-  TRELLIS / TREILLIS






## 7.2 LANDSCAPE VISION



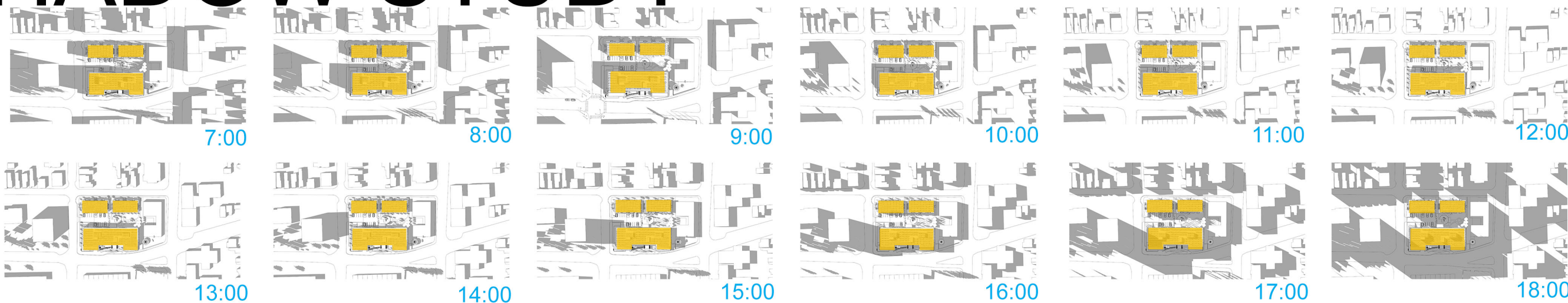
### Landscape Vision: Connecting the Community through Open Spaces

- Encourage street level social interaction
- Curved seating walls and benches along Gladstone
- Bench seating along Rochester and Balsam
- Retain residential character by retaining street trees where possible and introduce new avenue street tree planting
- Variety of seating / social spaces throughout the site
- Children's play area with adjacent seating and shade canopy
- Open lawn area for informal gathering
- Opportunity for community gardens

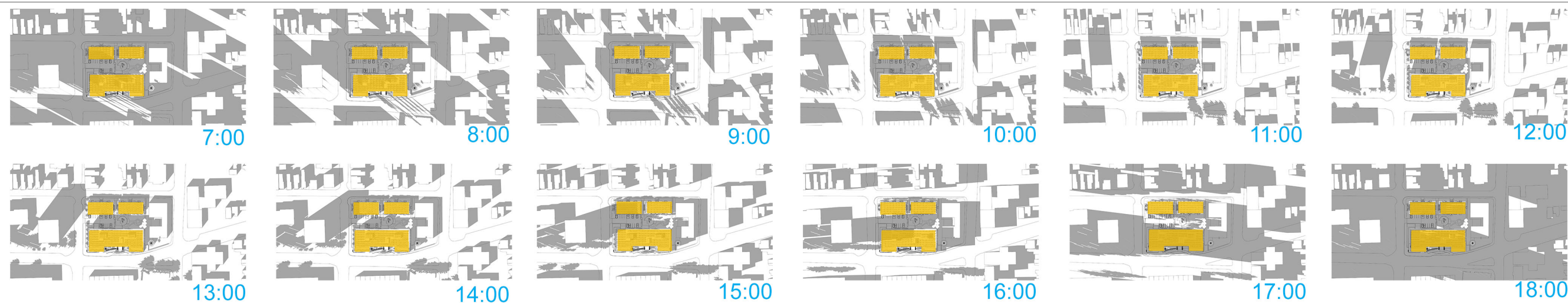


# 8.1 SHADOW STUDY

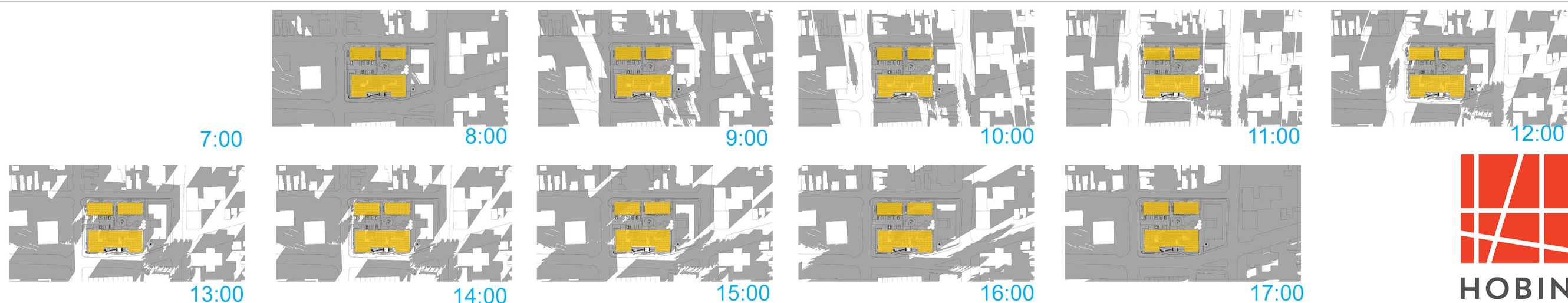
JUNE 21



MAR. 21



DEC. 21





9.1 ELEVATIONS



BM-1	BRICK MASONRY - TYPE 1
MP-1	METAL PANEL - TYPE 1
MP-2	METAL PANEL - TYPE 2
CB-1	CEMENT BOARD SIDING - TYPE 1
CB-2	CEMENT BOARD SIDING - TYPE 2
CON	CONCRETE
PV	PHOTOVOLTALC
CAN	CANOPY STEEL AND WOOD
GS	GLASS GUARD
WDS	WOOD SCREEN

SOUTH ELEVATION - PASSIVE HOUSE

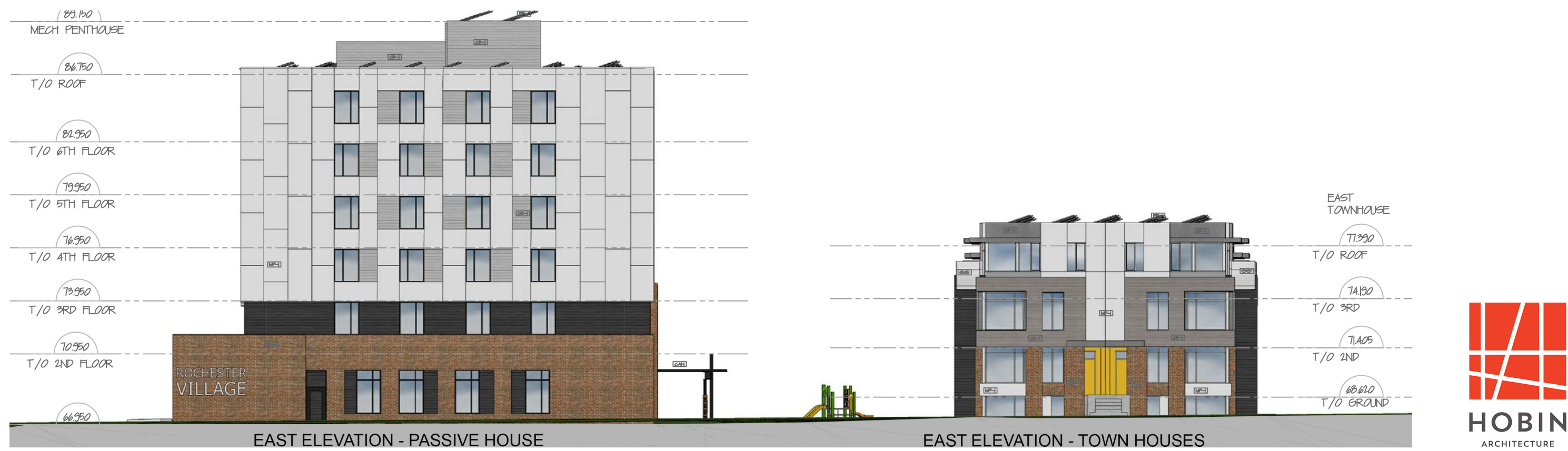


NORTH ELEVATION - PASSIVE HOUSE



# 9 DRAWINGS

## 9.1 ELEVATIONS





# 9 DRAWINGS

## 9.1 ELEVATIONS

BM-1	BRICK MASONRY - TYPE 1
MP-1	METAL PANEL - TYPE 1
MP-2	METAL PANEL - TYPE 2
CB-1	CEMENT BOARD SIDING - TYPE 1
CB-2	CEMENT BOARD SIDING - TYPE 2
CON	CONCRETE
PV	PHOTOVOLTALIC
CAN	CANOPY STEEL AND WOOD
GS	GLASS GUARD
WDS	WOOD SCREEN



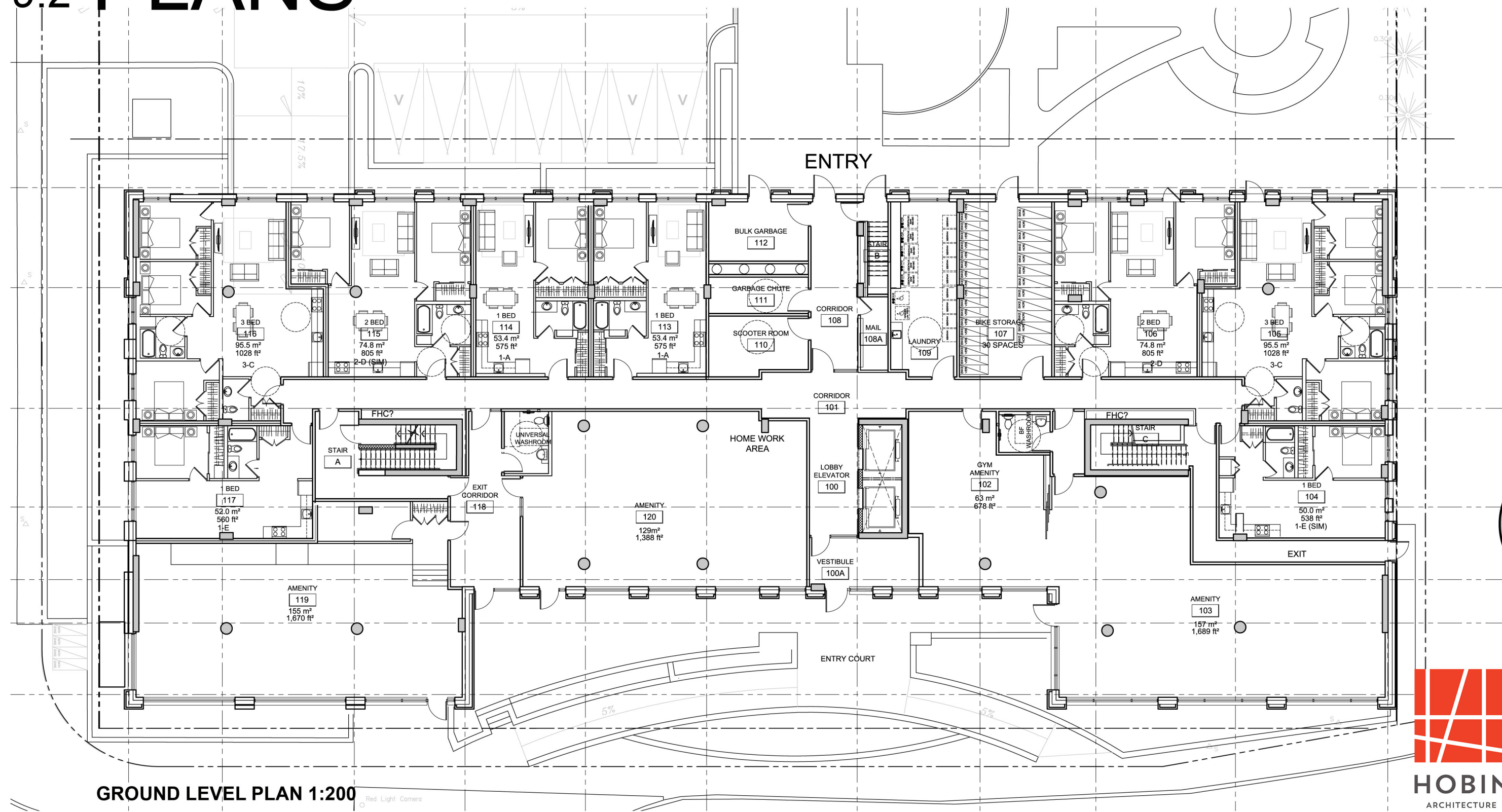






# DRAWINGS

## 9.2 PLANS

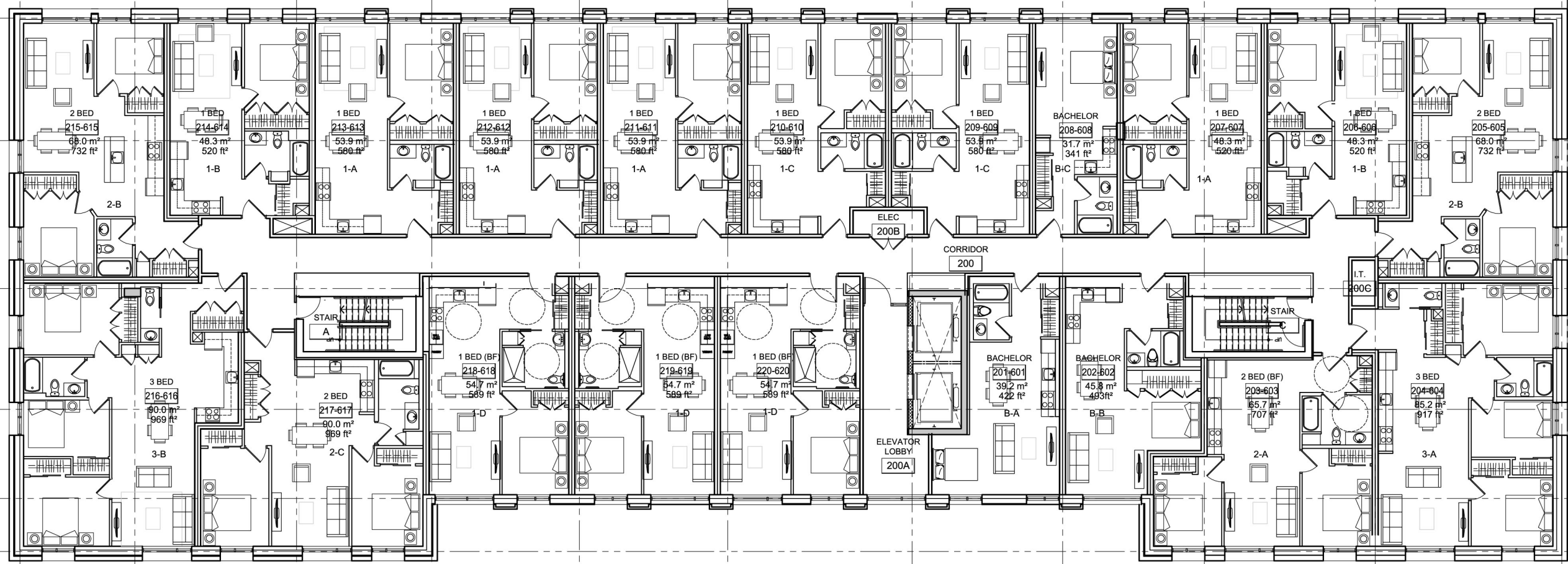


GROUND LEVEL PLAN 1:200



# DRAWINGS

## 9.2 PLANS



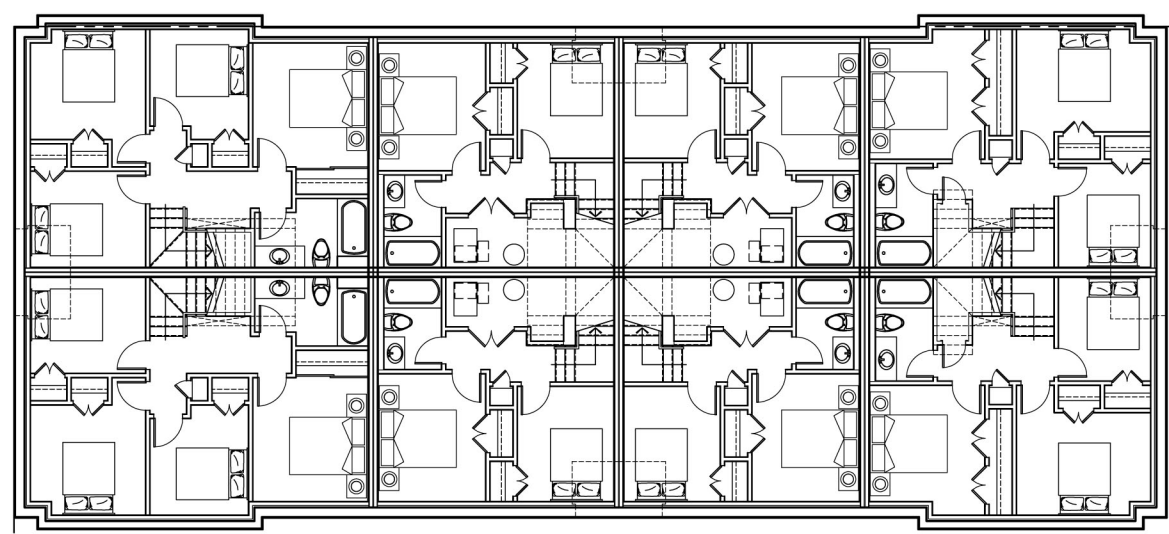
TYPICAL FLOOR PLAN 1:200



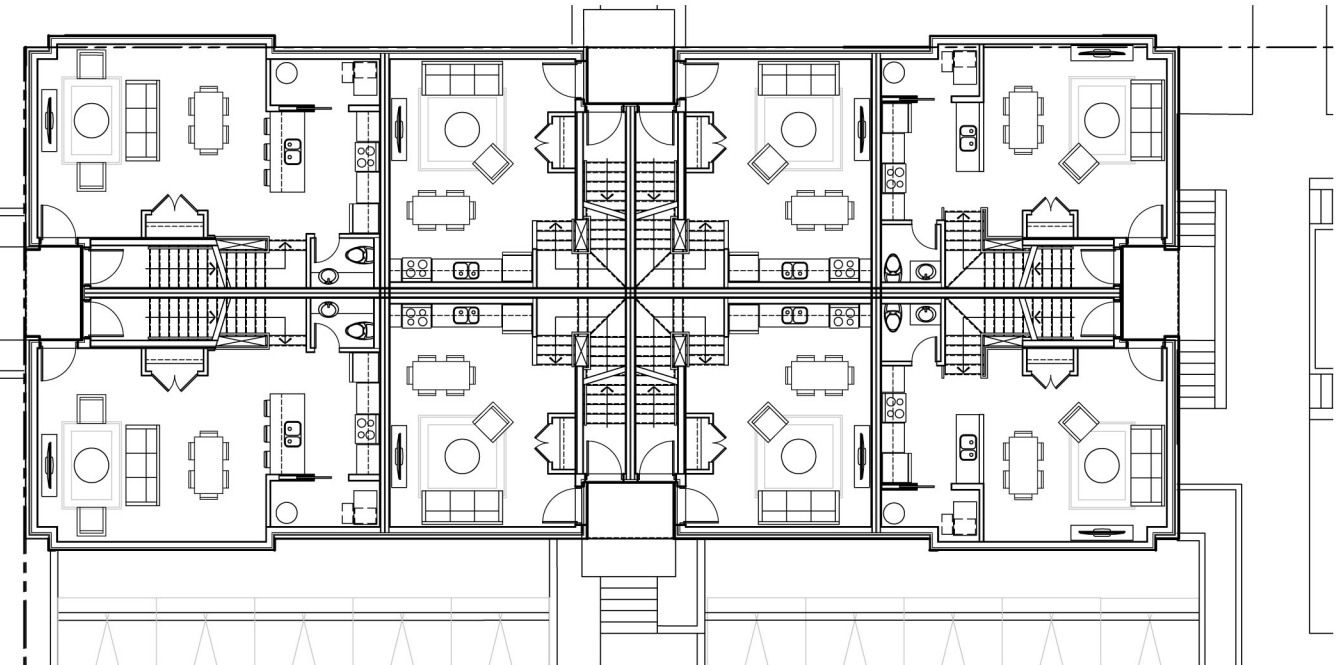
# 9

## DRAWINGS

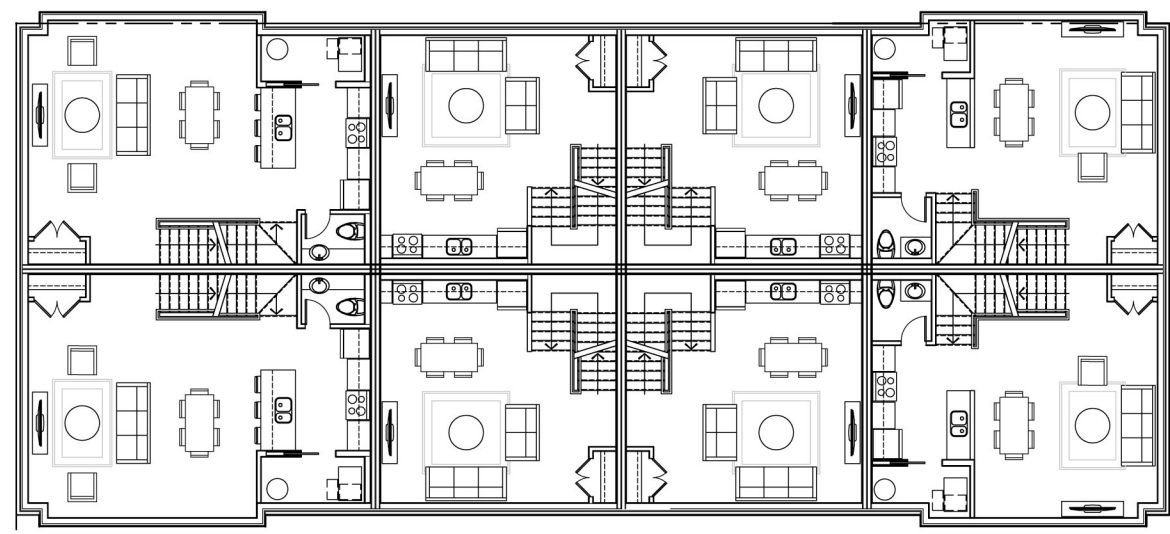
### 9.2 PLANS



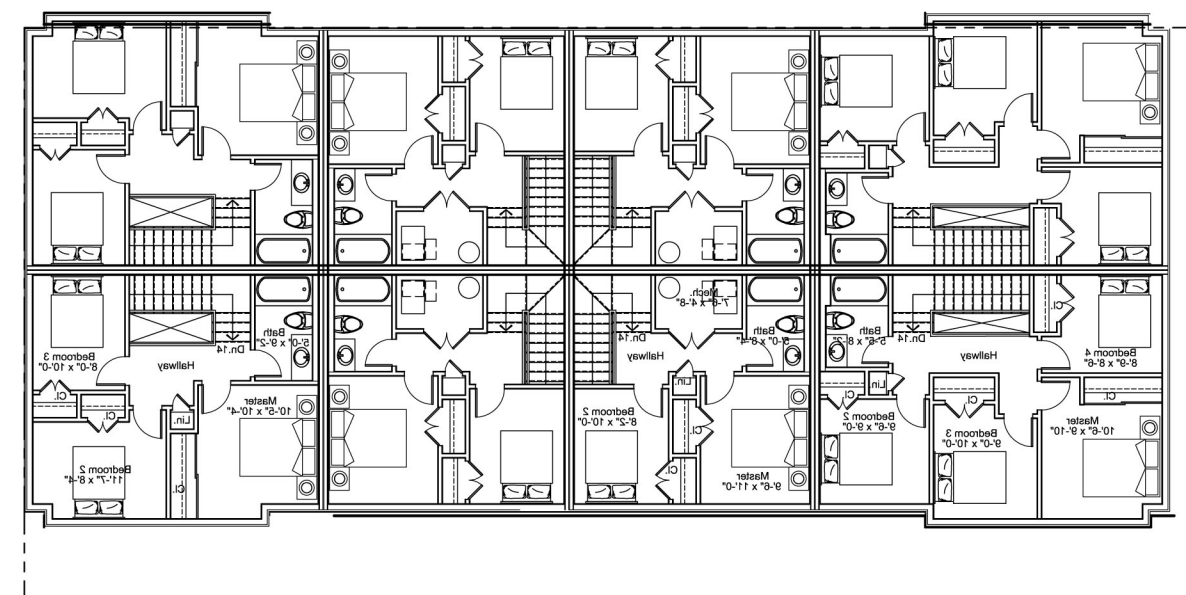
LOWER UNIT LOWER LEVEL (BASEMENT FLOOR) 1:200



LOWER UNIT MAIN LEVEL (GROUND FLOOR) 1:200



UPPER UNIT MAIN LEVEL (2nd FLOOR) 1:200



UPPER UNIT UPPER LEVEL (3rd FLOOR) 1:200