

OTTAWA STUDENT RESIDENCE

2140 Baseline Rd, Nepean
(Ottawa) ON, K2G 6E2



2
00 VIEW @ BASELINE & CONSTELLATION



1
00 VIEW ALONG BASELINE



4
00 VIEW ALONG CONSTELLATION DRIVE



5
00 VIEW TO GEMINI ENTRY



3
00 AERIAL VIEW FROM GEMINI

LIST OF CONSULTANTS:

ARCHITECT



1282 Cornwall Road,
Oakville ON, L6J 7W5
P: 905-337-7249

DEVELOPMENT CONSULTANT



API DEVELOPMENT CONSULTANTS INC.
1282 Cornwall Road,
Oakville ON, L6J 7W5
P: 905-337-7249

CIVIL

EXP
2650 Queensview Dr., Ottawa
ON K2B 8H6

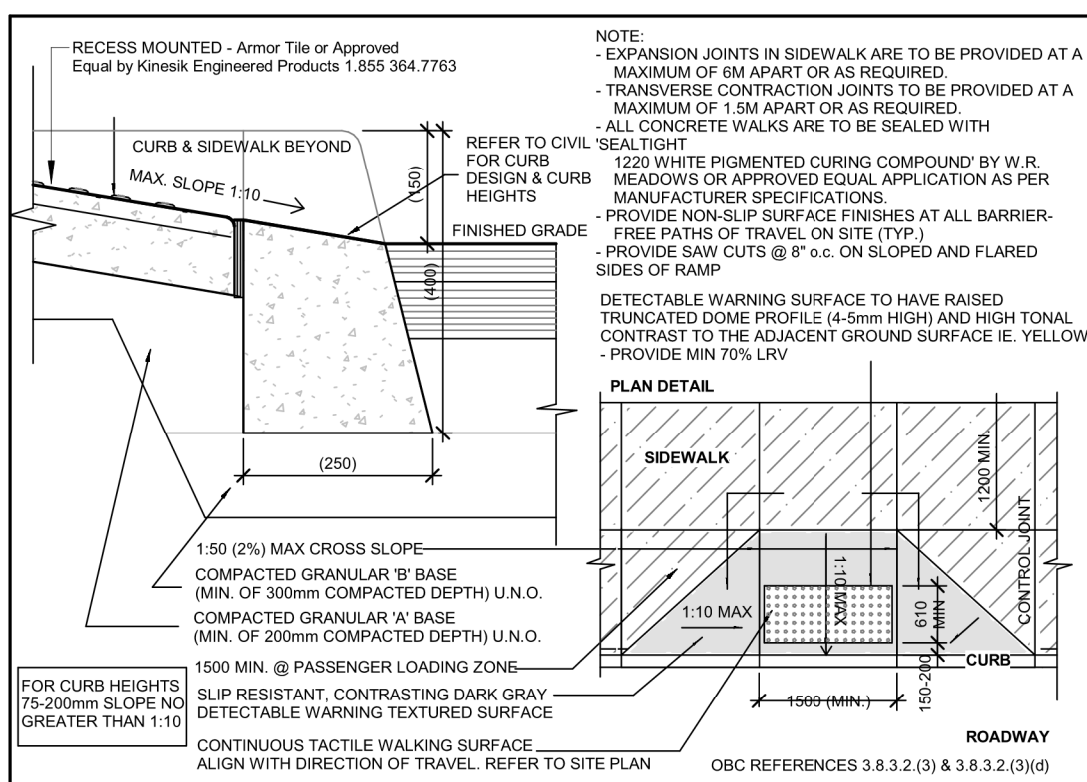
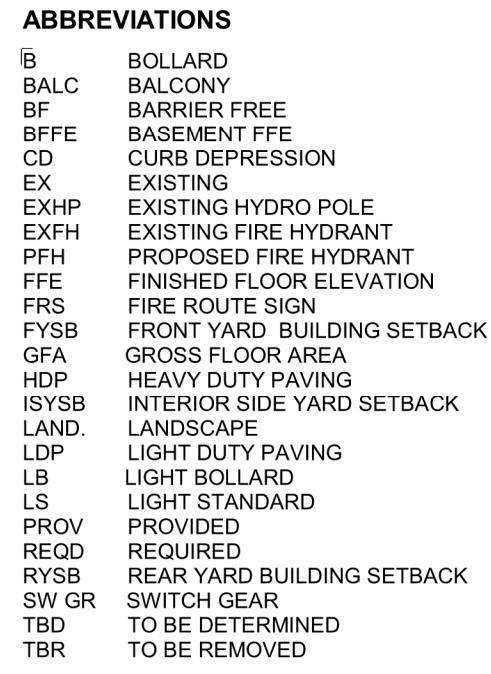
LANDSCAPE

GINO J. AIELLO
50 Camelot Drive
Nepean ON, K2G 5X8
P: 613-852-1343

STRUCTURAL

GOODEVE STRUCTURAL INC.
77 Auriga Dr.,
Ottawa
P: 613-297-6649

MECHANICAL & ELECTRICAL



DRAWING LEGEND

	PROPERTY LINE
	FIRE ROUTE PATH
	SIAMESE CONNECTION
	LOCATION OF BLDG PRINCIPAL ENTRANCE FOR PUBLIC, FIRE FIGHTERS AND BF USE
	SERVICE EXITS / ENTRANCE POINTS
	OVERHEAD DOORS
	TRAFFIC FLOW
	PAINTED ISLAND - NO PARKING
	PARKING STALL COUNT PER ROW
	DESIGNATED ACCESSIBLE PARKING SPACE. REFER TO CITY STANDARD FOR PAINTED SYMBOL
	FREE-STANDING SIGN
	LIGHT STANDARD
	EXISTING ELEMENTS

CREDIT NOTES:

THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH FILES TOPOGRAPHIC PLAN PREPARED BY FARLEY, SMITH & DENIS SURVEYING LTD. 2018 DATED MARCH 2nd, 2018. FABIAN ARCHITECT LTD. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.

LEGAL LAND DESCRIPTION:

PART OF BLOCKS 41 AND 42 REGISTERED PLAN 4M-623 AND PART OF LOT 35
CONCESSION 2 (RIDEAU FRONT)
PIN:
04692-1308
04692-1310
04692-1317
04692-1312
04692-0454
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

SURVEYOR'S INFO:
FARLEY, SMITH & DENIS SURVEYING LTD. 2018
190 Colonnade Road Phone: (613) 727-8226
Ottawa, Ontario K1H 8P5

APPROVED REFUSED

THIS ____ DAY OF _____, 20 ____

DERRICK MOODIE
MANAGER, DEVELOPMENT REVIEW - WEST
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

DEVELOPMENT STATISTICS - 2140 Baseline Rd, Ottawa				
	SM	SF	ACRES	%
GROSS SITE AREA	3,049.3	32,822	0.753	-
BLDG FOOTPRINT	1,564.0	16,835	0.386	51.3%
1ST FLOOR- RETAIL	1,200.0	12,917		
2nd - 10th FLOOR (TYPICAL)	1,176.0	12,658		
11th FLOOR- AMENITIES	0.0	0		
GROSS FLOOR AREA (GFA PER BYLAW)	11,784.0	126,842		

PARKING REQUIRED (By-law No. ____)			
Table 101: MIN PARKING SPACE RATES - R22			
ZONING REQUIREMENT (AREA B)	REQUIRED	PROVIDED	
	SPACES	SPACES	COMPLY
RETAIL (MIXED USE) (0 REQ'D <1500m²)	0	0	YES
RESIDENCE APMT (0.5 PER DWELL. UNIT)	72	59	NO
VISITOR PARK'G (0(0-12)+0.1/UNIT (12-144)	13	10	NO
SURFACE PARKING	-	8	
U/G PARKING	-	61	
TOTAL SPACES	85	69	*INCLUDES ACCESSIBLE SPACES
SURPLUS / DEFICIT	-16	81%	NO
RATE ACHIEVED (PER UNIT)		0.41	
*ACCESSIBLE SPACES			
2(1-30) +2(31-60) +2(61-100)+2(PER 30)	6	6	YES
SMALL CARS	MAX		PROVIDED
SMALL CAR (2.4x4.6) 40% MAX	40%	25%	YES
	34	17	YES
BICYCLE PARKING - TABLE 111A			
1.0 PER DWELLING UNIT	144	144	YES

ZONING INFORMATION - ZONING BY-LAW _____			
Official Plan _____			
Permitted Use:		Yes	NO
MIXED USE		YES	
Part 10 - Mixed Use / Commercial Zones (Sections 185-198)		REQUIRED	PROVIDED
		# / M ² / M	M ² / M
COMPLY			
0.10	Lot Area	N/A	YES
0.11	Floor Space Index	2.0	NO
0.12	Lot Frontage (Min)	53.8	YES
0.13	Lot Coverage (Max)(Combined)	N/A	YES
0.14	Building Height (Max) - Sect 9	34m	NO
0.15	Bldg Height # of Storeys (Max)	N/A	YES
0.16	Front Yard Setback (Min)	N/A	YES
0.16a	Hydro Line Setback	5m	YES
0.17	Side Yard Setback (Min)	N/A	YES
0.18	Rear Yard Setback (Min)	N/A	YES
0.19	Lot Depth (Min)	-	YES
0.20	Landscaped Area Width (Min)	N/A	YES
PARKING STANDARDS (SECTION 6.18)			
PARKING STALLS - STANDARD		2.6 x 5.2	YES
PARKING STALLS - SMALL SPACE		2.4 x (5.2 or 4.6)	YES
ACC. PARKING - AODA TYPE A&B		2.4 / 3.4 x 5.2 (+1.5) x 2.75(h)	YES
DRIVE AISLE - TWO WAY AT GRADE		6.7m	YES
DRIVE AISLE - TWO WAY PARK. GARAGE		6.0m	YES
LOADING SPACE - STANDARD		3.5 x 9.0 x 4.2(h)	YES
LOADING SPACE - OVERSIZED		4.3 x 13.0 x 4.2(h)	YES
BICYCLE PARKG, HORIZ - Table 111B		0.60 x 1.8	YES
AREAS OF PLAN THAT DO NOT COMPLY WITH ZONING BYLAW			

FLOOR STATISTICS - STUDENT RESIDENCE													
FLOOR	HT (ft) FLR-FLR	HT (m) FLR-FLR	HT (ft) U/LAB	SUITES COUNTS	STUDIO 1 BD	DOUBLE 2 RM 2 BD	TRIPLE 3 RM 3 BD	QUAD 4 RM 4 BD	FLOOR TOTALS RMS BEDS	GFA (ft²)	GFA (m²)		
1-Retail	14' 9"	4.50	14' 1"	0	0	0	0	0	0	14,488	1,346.0		
2	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
3	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
4	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
5	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
6	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
7	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
8	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
9	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
10	9' 2"	2.80	8' 6"	16	1	3	1	11	54	14,488	1,346.0		
11-Amenity	14' 9"	4.50	14' 1"	0	0	0	0	0	0	14,488	1,346.0		
Subtotal	112' 2"	34.20	-	144	9	27	9	99	486	159,370	14,806.1		
Total	114' 8"	34.75	-	RMS BEDS	9	54	54	27	18	396	396	423	414
(MAX HT)	111' 7"	34.00	-	SUITE AREA (ft²)	280	590	900	1000					
DELTA	3' 1"	0.95	-	SDBRM AREA (ft²)	100	100	100	100					

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No.	BY	DESCRIPTION	DDMMYY
Revision / Issue Schedule			

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1282 CORNWALL RD.
OAKVILLE, ONTARIO L6J 7W4



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PLANNING INITIATIVES

ARCHITECT:

 1282 CORNWALL RD.
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CLIENT:
Baseline Constellation Partnership Inc.

Theberge Homes
904 Lady Ellen Place
Ottawa, ON K1Z 5L5

Mastercraft Starwood
115 Champagne Avenue South
Ottawa, Ontario K1S 5V5 Canada



MASTERCRAFT STARWOOD
BUILDERS SINCE 1965



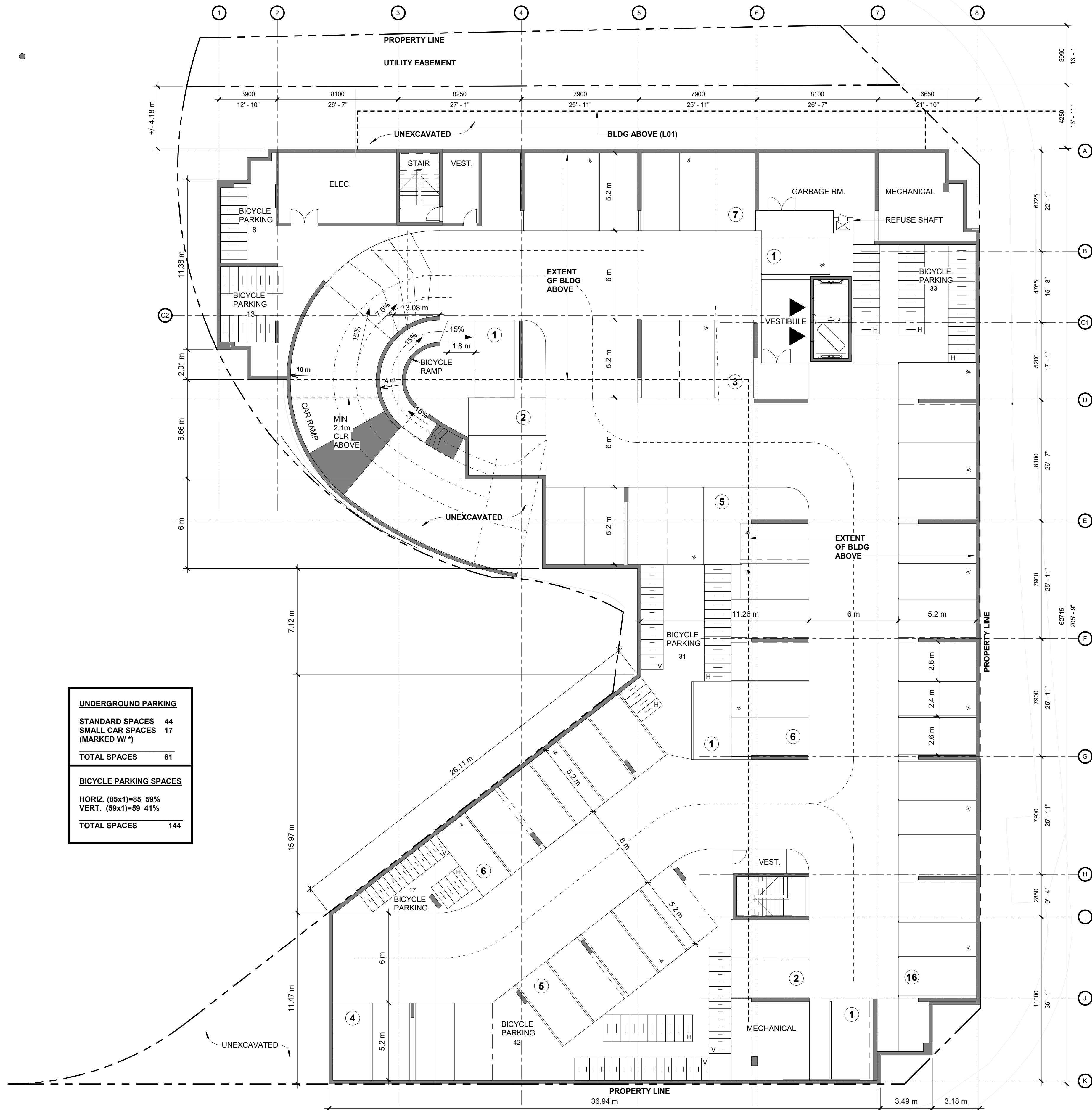
PROFESSIONAL CERTIFICATION

PROJECT

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RESIDENCE**

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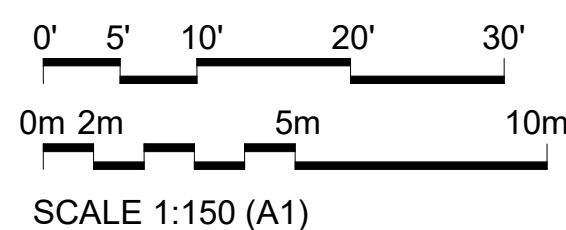
DRAWING TITLE		
SITE PLAN		
BY ML	CHECK FF	ISSUED FOR SITE PLAN APPROVAL
PROJECT NO.: 18-012		1 SHEET REVISION
SCALE: As indicated		
ISSUE DATE: 25MAY18		
ASP100		



UNDERGROUND PARKING	
STANDARD SPACES	44
SMALL CAR SPACES	17
(MARKED W/ *)	
TOTAL SPACES	61

BICYCLE PARKING SPACES	
HORIZ. (85x1)=85	59%
VERT. (59x1)=59	41%
TOTAL SPACES	144

1 U/G LEVEL OVERALL PLAN
A200 1 : 150



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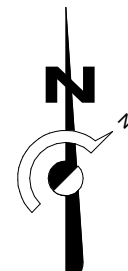
ARCHITECT:
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THEBERGE
HOMES


MASTERCRAFT STARWOOD
BUILDERS SINCE 1985


PROFESSIONAL CERTIFICATION

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**OTTAWA STUDENT
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2140 Baseline Rd, Nepean
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DRAWING TITLE
**LEVEL P1 PARKING
OVERALL PLAN**

BY: MLZK/FF
PROJECT NO.: 18-012
SCALE: As indicated
ISSUE DATE: 25MAY18

ISSUED FOR:
SITE PLAN APPROVAL
SHEET NO.:
A200

1
SHEET
REVISION

PLOT DATE: 2018-05-25 11:05:04 AM
DRAWING LOCATION: C:\Users\skranov\c\Desktop\18-012 OttawaSR rv18 ML 180525.rvt
#17540

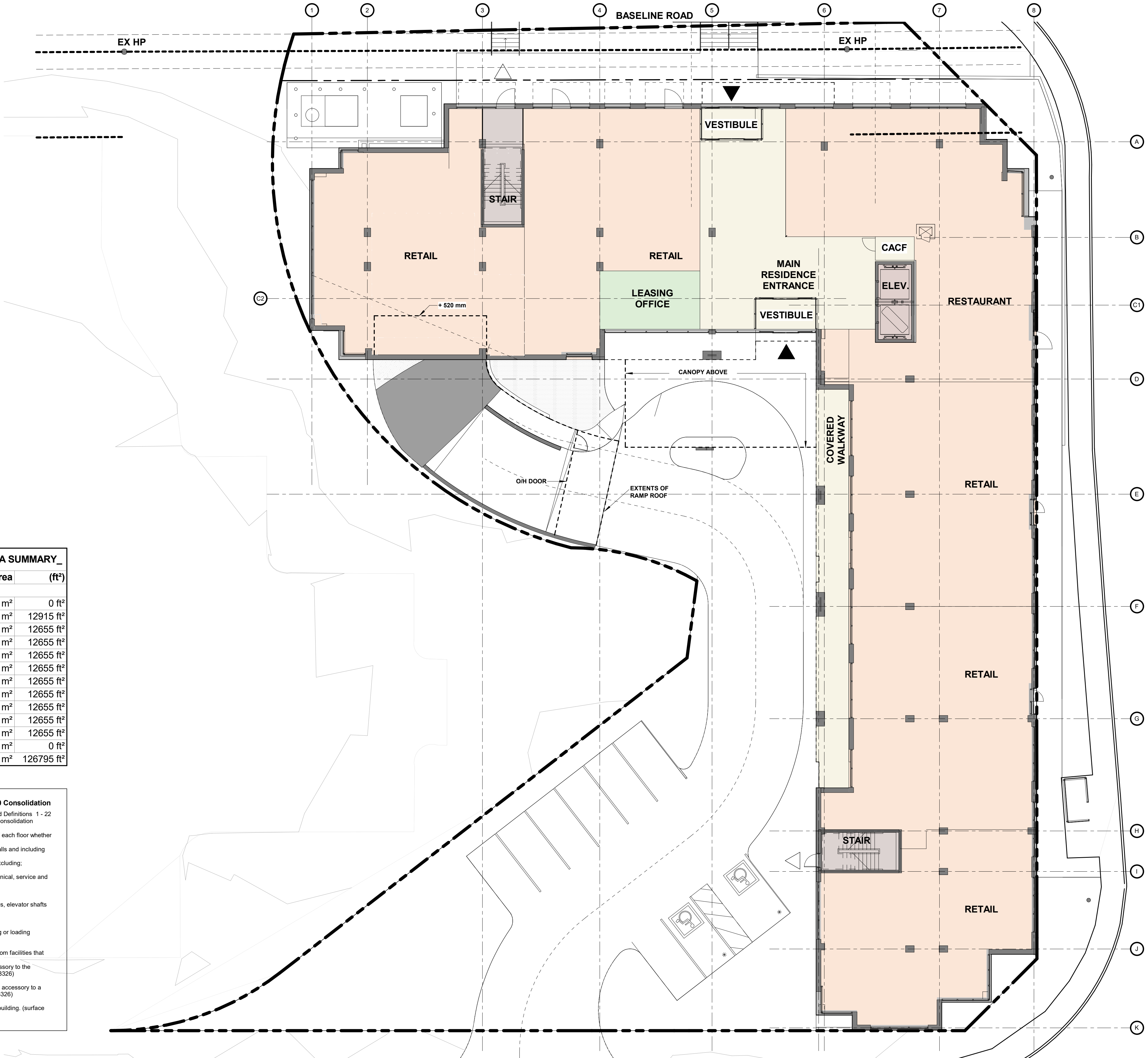
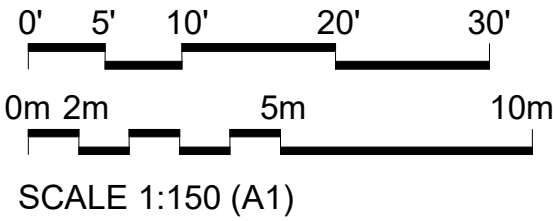
BLDG GROSS FLOOR AREA SUMMARY_		
Level	Area	(ft²)
U/G LEVEL	0 m²	0 ft²
LEVEL 01 GROUND	1200 m²	12915 ft²
LEVEL 02	1176 m²	12655 ft²
LEVEL 03	1176 m²	12655 ft²
LEVEL 04	1176 m²	12655 ft²
LEVEL 05	1176 m²	12655 ft²
LEVEL 06	1176 m²	12655 ft²
LEVEL 07	1176 m²	12655 ft²
LEVEL 08	1176 m²	12655 ft²
LEVEL 09	1176 m²	12655 ft²
LEVEL 10	1176 m²	12655 ft²
LEVEL 11 - AMENITY	0 m²	0 ft²
Grand total	11780 m²	126795 ft²

GFA per Zoning by-Law 2008-250 Consolidation
Part 1 – Administration, Interpretation and Definitions 1 - 22
City of Ottawa Zoning By-law 2008-250 Consolidation

Gross floor area means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:

- (a) floor area occupied by shared mechanical, service and electrical equipment that serve the building; (By-law 2008-326)
- (b) common hallways, corridors, stairwells, elevator shafts and other voids, steps and landings; (By-law 2008-326) (By-law 2017-302)
- (c) bicycle parking, motor vehicle parking or loading facilities;
- (d) common laundry, storage and washroom facilities that serve the building or tenants;
- (e) common storage areas that are accessory to the principal use of the building; (By-law 2008326)
- (f) common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008326)
- (g) living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

1 LEVEL 01 GROUND OVERALL PLAN
A201 1 : 150



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DRAWING TITLE
LEVEL 01 GROUND OVERALL PLAN

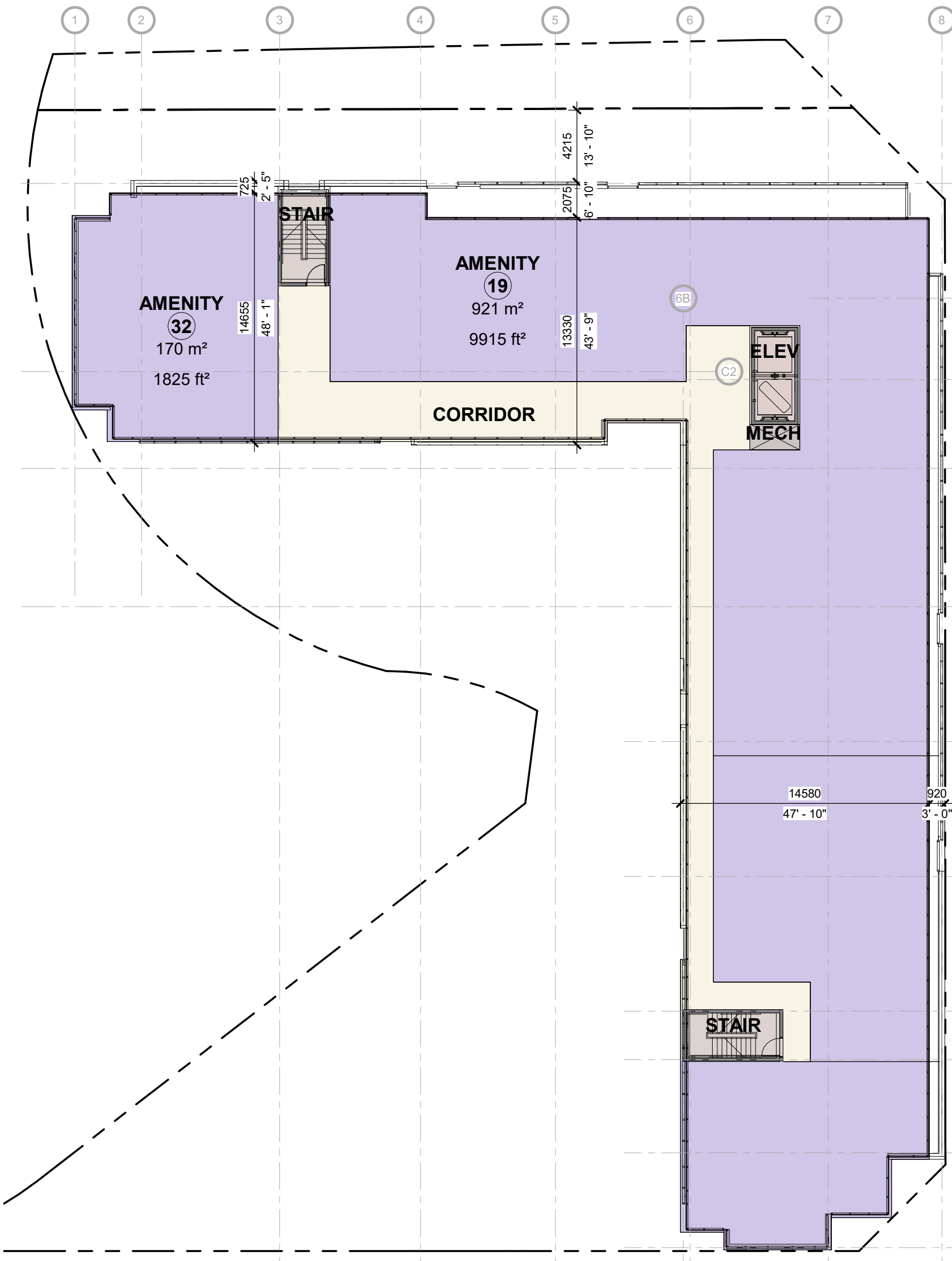
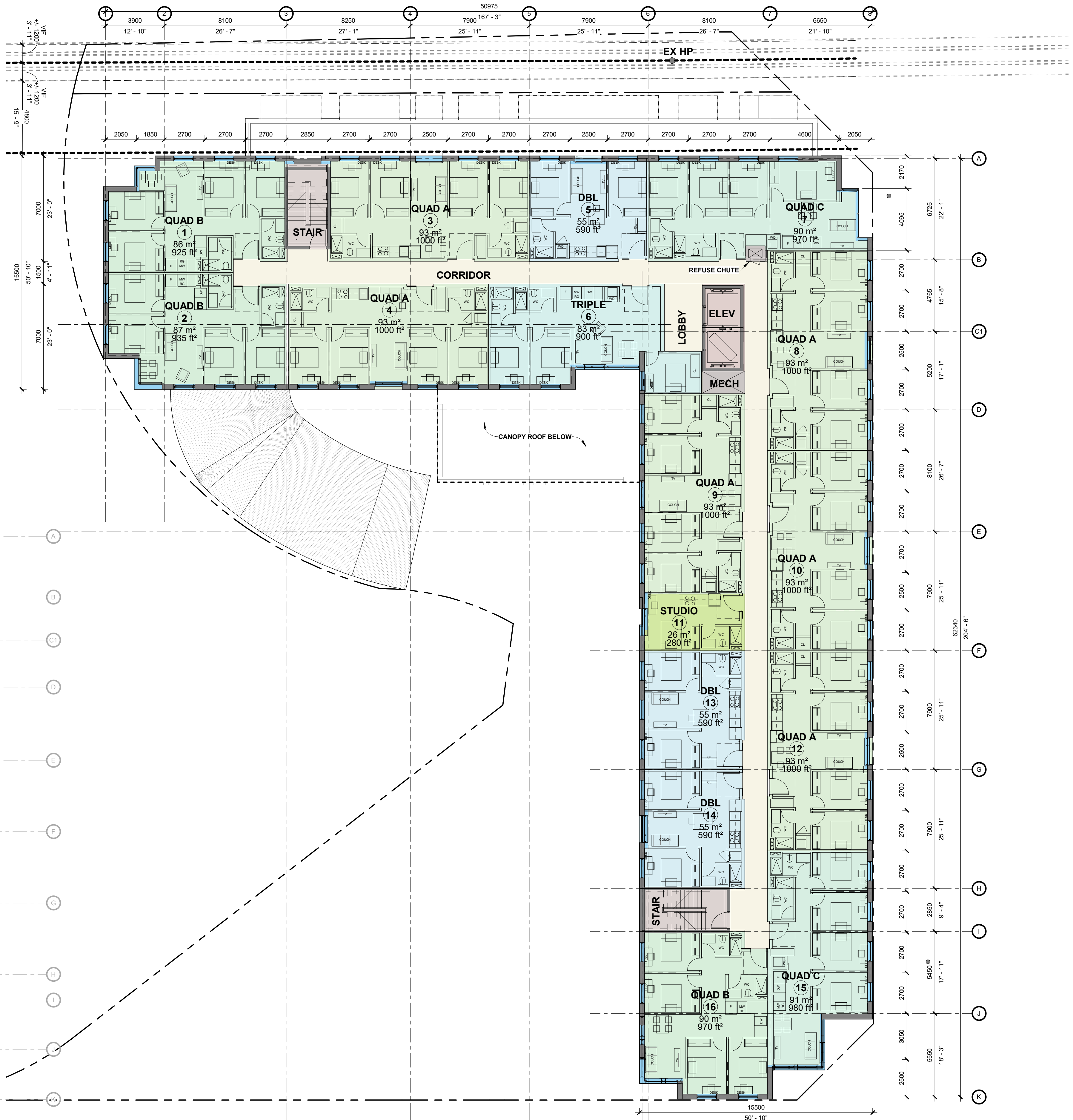
BY MUZK/FF	CHECK FF	ISSUED FOR SITE PLAN APPROVAL
PROJECT NO.: 18-012	SHEET NO.:	
SCALE: As indicated		
ISSUE DATE: 25MAY18		

A201

1
SHEET
REVISION

DRAWING LOCATION: C:\Users\skranov\OneDrive\Desktop\18-012 OttawaSR rv18 ML 180625.rvt
DOT-16-08-2022
#17540

LEVEL L2-L10 SUITE COUNT			
SUITE TYPE	Count	AREA	(ft²)
STUDIO	1	26 m²	280 ft²
	1		
DBL	3	55 m²	590 ft²
	3		
TRIPLE	1	83 m²	900 ft²
	1		
QUAD A	6	93 m²	1000 ft²
QUAD B	1	86 m²	925 ft²
QUAD B	1	87 m²	935 ft²
QUAD B	1	90 m²	970 ft²
QUAD C	1	90 m²	970 ft²
QUAD C	1	91 m²	980 ft²
TOTAL SUITES L02	11		
	16		



2 LEVEL 11 - AMENITY OVERALL PLAN
A202 1 : 250

1 OVERALL FLOOR PLANS L2-L10
A202 1 : 150

0' 5' 10' 20' 30' 50'
0m 2m 5m 10m 15m
SCALE 1:250 (A1)

0' 5' 10' 20' 30'
0m 2m 5m 10m
SCALE 1:150 (A1)

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1	ML	SITE PLAN APPROVAL	25MAY18
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Revision / Issue Schedule			

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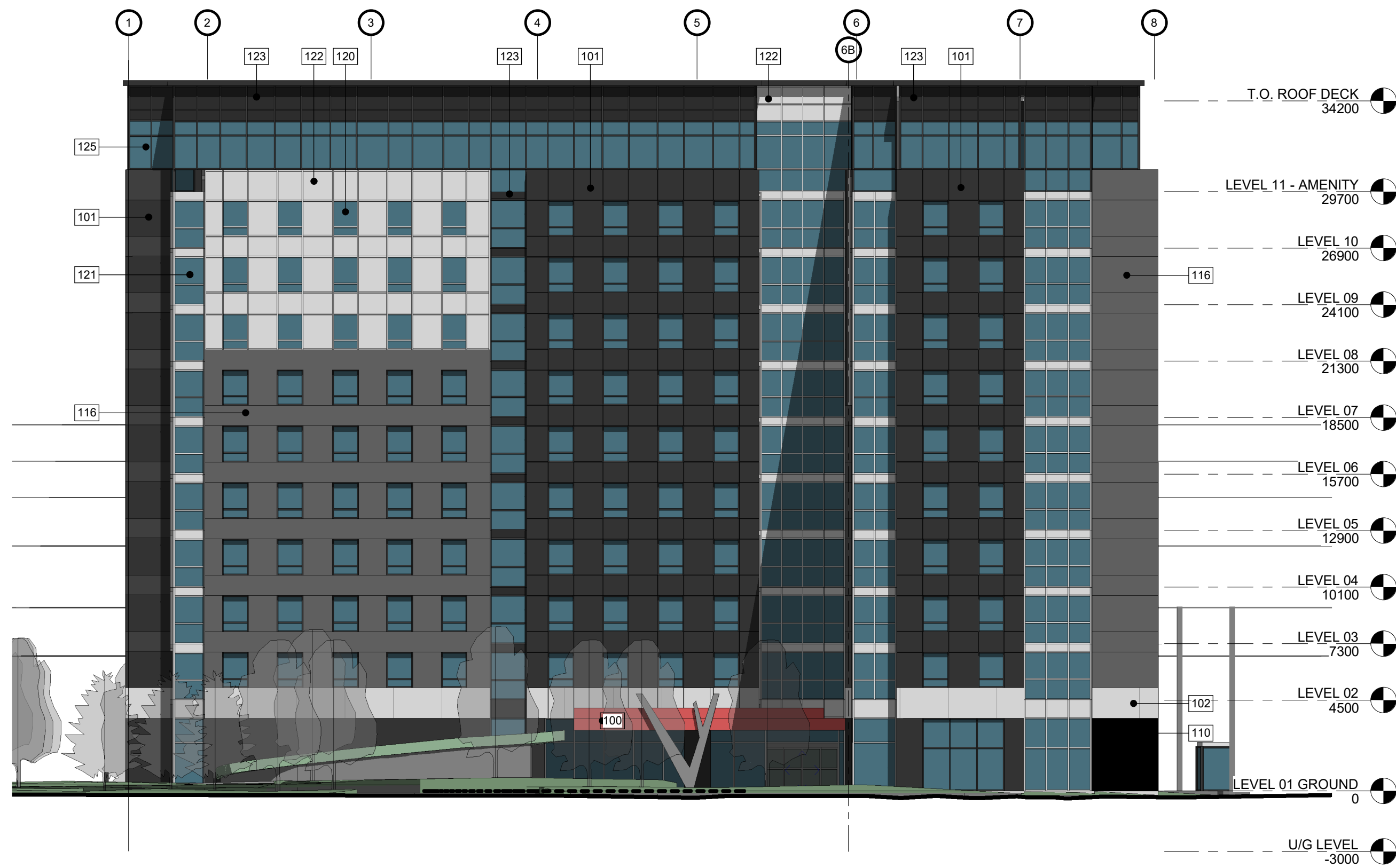
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**OVERALL FLOOR
PLANS L2-L10**

BY MLUZZI/FF	CHECK MLUZZI/FF	ISSUED FOR SITE PLAN APPROVAL
PROJECT NO. 18-012	SHEET NO.	
SCALE: As indicated	ISSUE DATE: 25MAY18	A202
		1 SHEET REVISION

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07-16-022
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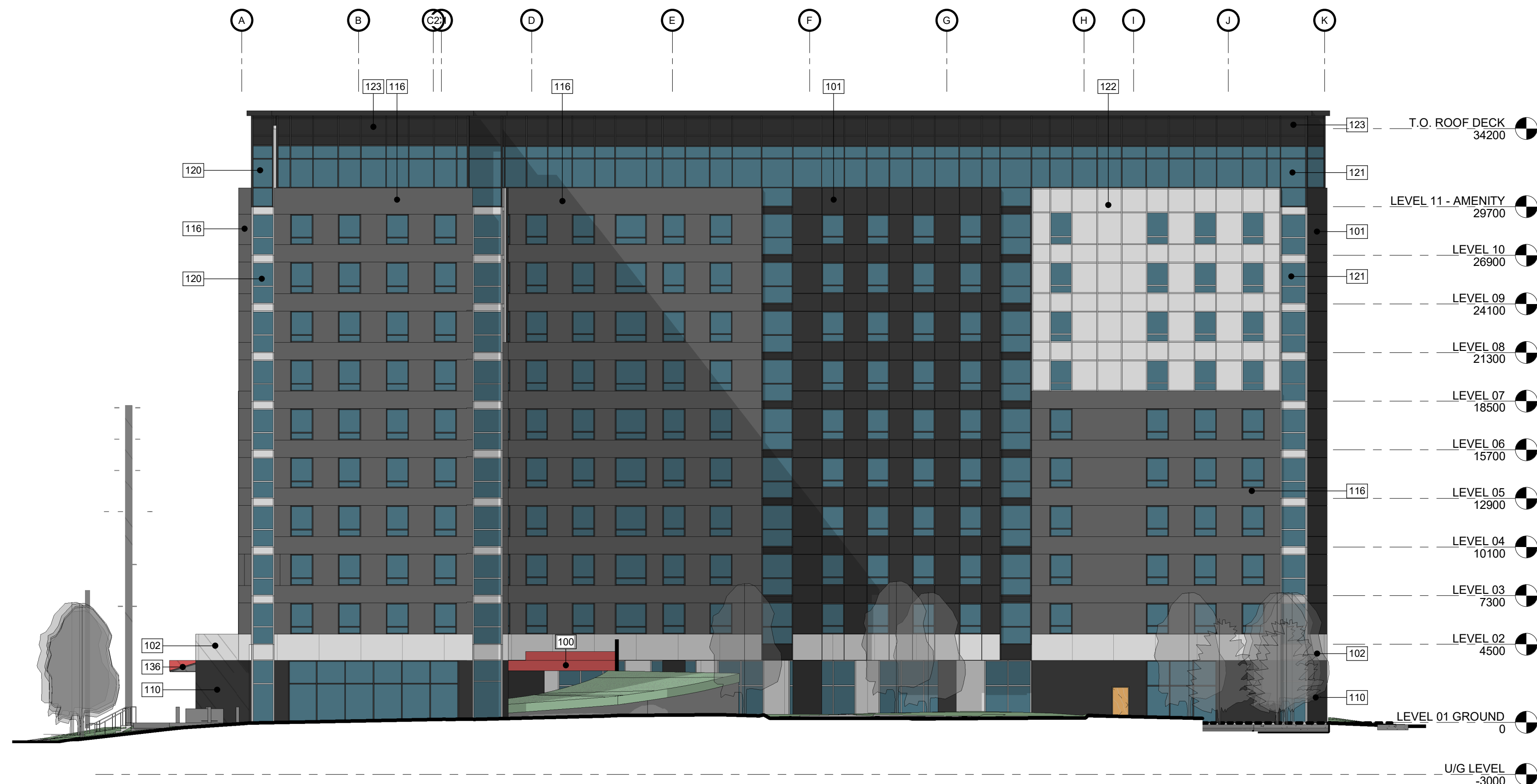
1 SOUTH ELEVATION @ GEMINI WAY
1 : 200

EXTERIOR ELEVATION LEGEND

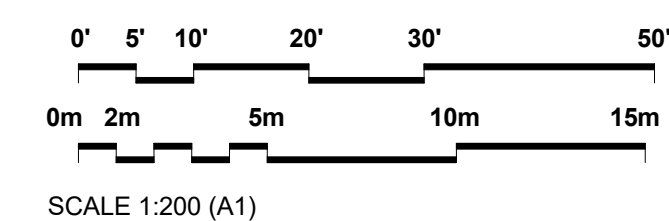
- 100 ALUMINUM PANEL (COLOUR: RED/ORANGE & WOOD GRAIN TEXTURE)
- 101 ALUMINUM PANEL (COLOUR: DARK GREY)
- 102 ALUMINUM PANEL (COLOUR: LIGHT GREY)
- 110 MANGANESE IRONSPOT BRICK (COLOUR: DARK GREY, MATCH EIFS)
- 115 PREFAB. PANELIZED EXTERIOR INSULATED FINISH SYSTEM (EIFS)(COLOUR: DARK GREY)
- 116 PREFAB. PANELIZED EXTERIOR INSULATED FINISH SYSTEM (EIFS)(COLOUR: GREY)
- 120 ALUMINUM WINDOW (COLOUR: CLEAR ANODIZED)
- 121 ALUMINUM WINDOW WALL (COLOUR: CLEAR ANODIZED)
- 122 ALUMINUM WINDOW WALL SPANDREL (COLOUR: LIGHT GREY)
- 123 ALUMINUM WINDOW WALL SPANDREL (COLOUR: DARK GREY)
- 125 GLAZING - VISION GLASS (COLOUR: CLEAR)
- 136 AWNINGS/CANOPY

GLAZING AREAS

CATEGORY	AREAS (m ²)				TOTAL
	N	E	W	S	
WINDOW	163.8	257.4	320.6	196.6	938.4
WINDOW WALL- CLEAR GLAZING	363	488.8	369.4	465.3	1686.5
WINDOW WALL- SPANDREL	287.7	424.3	273	228.5	1213.5
STOREFRONT	107.6	153	136.3	100.2	497.1
TOTAL	922.1	1323.5	1099.3	990.6	4335.5



2 WEST ELEVATION @ INTERIOR YARD
1 : 200



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PROFESSIONAL CERTIFICATION

PROJECT
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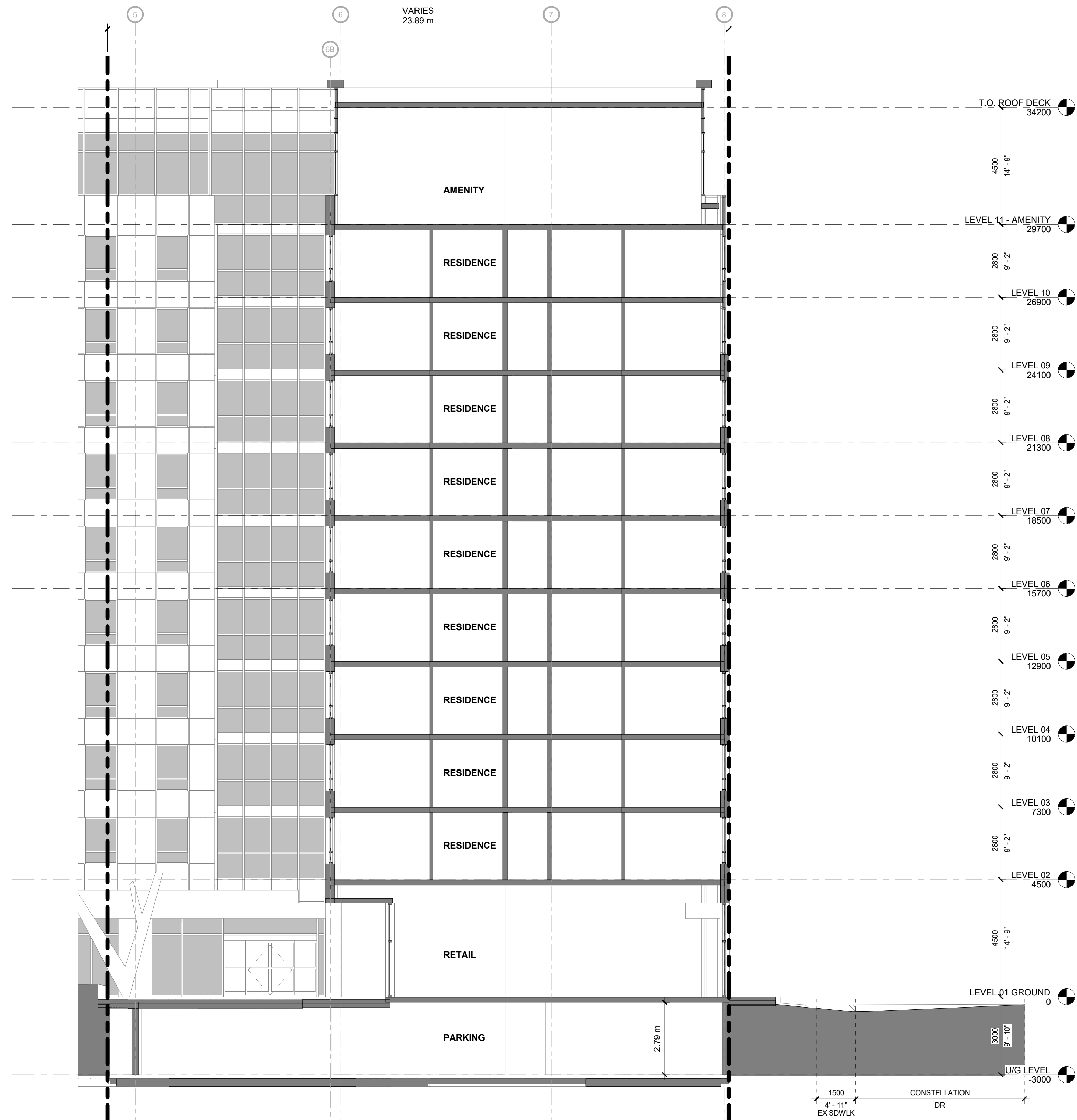
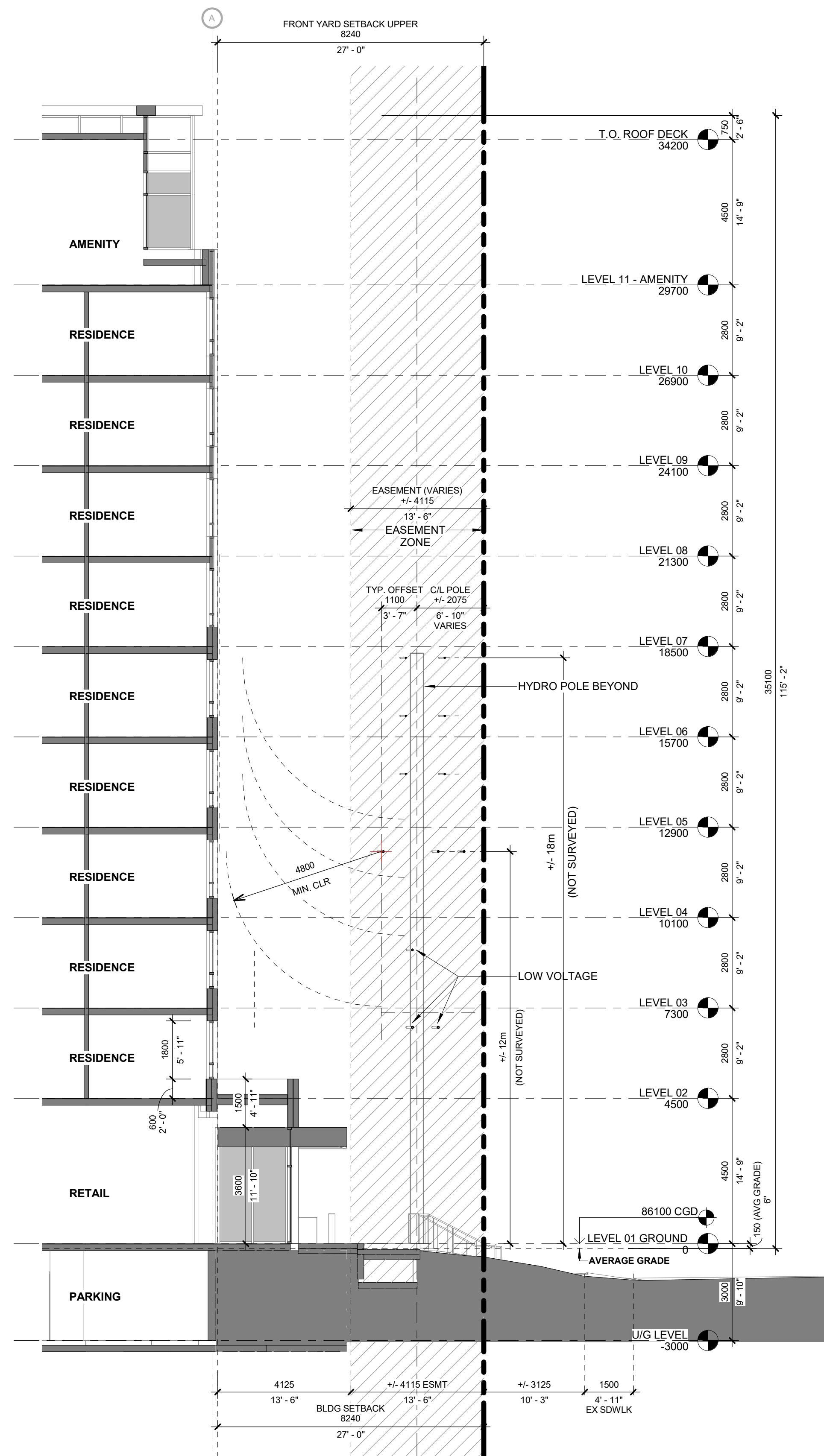
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DRAWING TITLE
EXTERIOR ELEVATIONS

BY MUZK/FF	CHECK FF	ISSUED FOR SITE PLAN APPROVAL
PROJECT NO.: 18-012	SHEET NO.:	
SCALE: As indicated	ISSUE DATE: 25MAY18	A302
		1 SHEET REVISION

#17540

PLOT DATE: 2018-05-25 11:30:16 AM
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ARCHITECT:

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OTTAWA STUDENT RESIDENCE

2140 Baseline Rd, Nepean
(Ottawa) ON, K2G 6E2

DRAWING TITLE

BUILDING SECTIONS

BY MLJZK	CHECK FF	ISSUED FOR SITE PLAN APPROVAL
PROJECT NO.: 18-012		SHEET NO.:
SCALE: As indicated		1 SHEET REVISION
ISSUE DATE: 25MAY18		
A400		

DRAWING LOCATION: C:\Users\zkaranovic\Desktop\S18-012 OttawaSR rv18 ML180525.rvt
PLOT DATE: 2018-05-25 10:37:45 AM

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