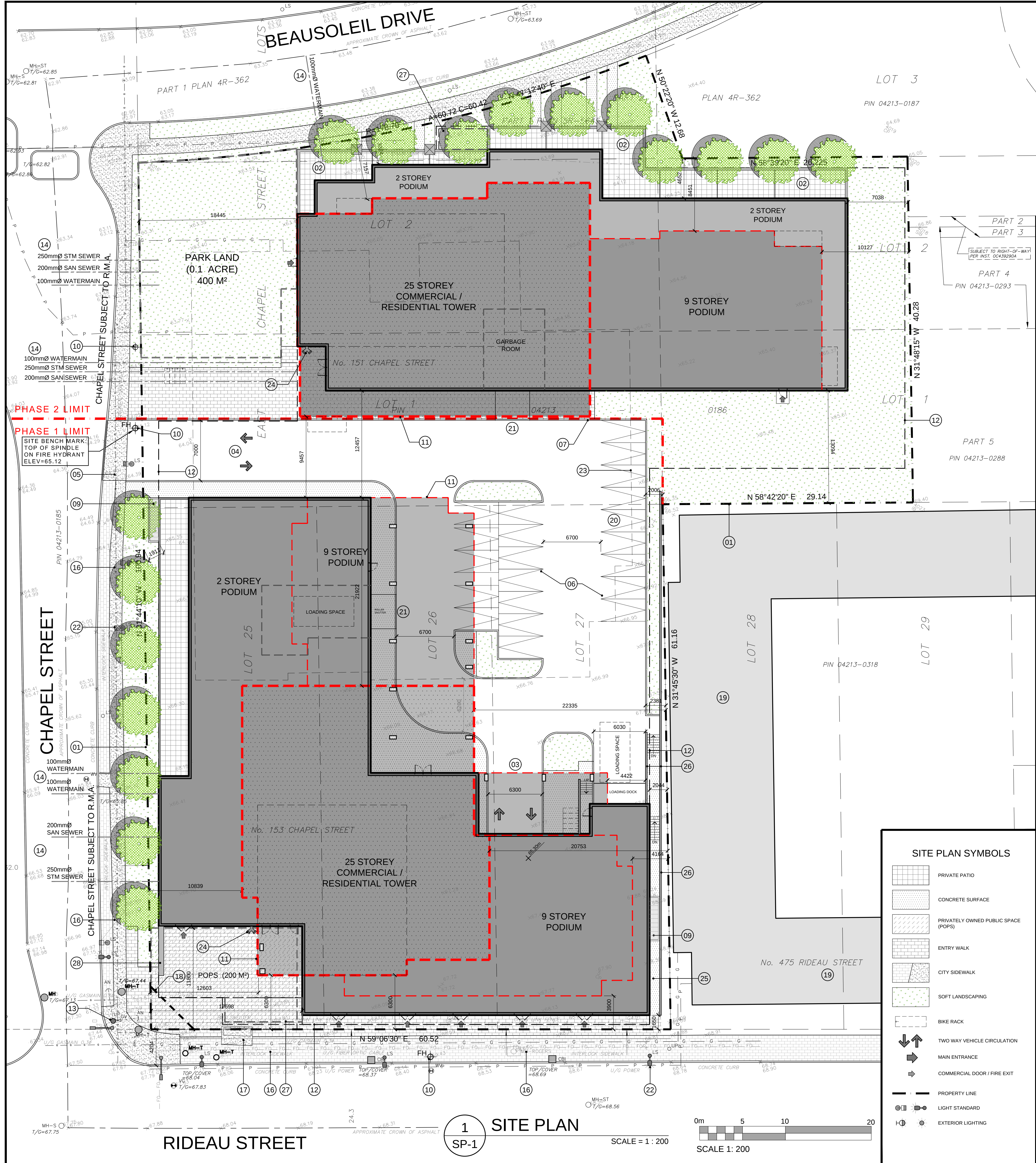




- DRAWING NOTES**
- PROPERTY LINE
 - RAISED PATIO AT GROUND LEVEL, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE
 - PARKING GARAGE ENTRY DRIVEWAY / RAMP WITH TRENCH DRAIN
 - 2 WAY DRIVEWAY TO EXTERIOR PARKING LOT / GARBAGE LOADING AREA
 - DEPRESSED CURB / SIDEWALK TO CITY STANDARDS
 - COMMERCIAL / VISITOR ASPHALT PARKING LOT
 - 150mm BARRIER CURB
 - BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK
 - AIR INTAKE / EXHAUST GRILL
 - EXISTING FIRE HYDRANT RELOCATED IF REQUIRED
 - OUTLINE OF BUILDING ABOVE
 - OUTLINE OF UNDERGROUND PARKING LEVELS
 - EXISTING UTILITY POLE
 - PROPOSED LOCATION OF UNDERGROUND UTILITIES
 - GAS REGULATOR / METER EQUIPMENT AREA
 - EXISTING SIDEWALK WITH STREET CURB
 - EXISTING BUS STOP
 - 5.0 x 5.0 M SITE TRIANGLE
 - EX. 2 STOREY BUILDING ON ADJACENT PROPERTY
 - STANDARD PARKING SPACE 2.6 x 5.2 M
 - DEPRESSED CURB AND WALK
 - EXISTING STREET LIGHT
 - EXISTING 2 STOREY INSTITUTIONAL BUILDING TO BE REMOVED
 - SIAMESE CONNECTION
 - WALKWAY WITH STEPS, HANDRAIL AS REQUIRED
 - CAST IN PLACE CONCRETE RETAINING WALL
 - CISTERN LOCATION IN PARKING LEVELS
 - RAISED RETAINING WALL AS SEAT HEIGHT

LEGAL DESCRIPTION

TOPOGRAPHIC PLAN of
LOTS 25, 26 AND 27
(NORTH RIDEAU STREET)
LOTS 1, 2 AND PART OF LOT 3
(EAST CHAPEL STREET)
PART OF LOTS 1, 2 AND 3
(WEST AUGUSTA STREET)
REGISTERED PLAN 43586
CITY OF OTTAWA

PROJECT DEVELOPER

Trinity Development Group Inc.
Bloor Islington Place, East Tower
77 Bloor Street West, Suite 1601
Toronto, Ontario, M5S 1M2
Tel.: (416) 255-8800
E-Mail: apremj@trinity-group.com

URBAN PLANNER

FoTenn Consultants Inc.
223 McLeod Street
Ottawa, ON Canada, K2P 0Z8
Tel.: (613) 730-5709
Fax: (613) 730-1136
E-Mail: black@fotenn.com

SURVEYOR

Stantec
1331 Clyde Avenue, Suite 400
Ottawa ON K2C 3G4
Phone: (613) 724-4096
Fax: (613) 724-
E-Mail: BWebster@stantec.com

LANDSCAPE ARCHITECT

Gino J. Aiello Landscape Architect
50 Carmelot Drive,
Nepean Ontario K2G 5X8
Tel: (613) 852-1343
Fax: (613) 692-4672
Email: gino@giailo.com

CIVIL ENGINEER

David Schaeffer Engineering Ltd.
120 Iber Road, Unit 203
Stittsville, ON K2S 1E9
Tel: (613) 836-0856
Fax: (613) 836-7183
Email: smerrick@dsel.ca

PROJECT STATISTICS - PHASE 1

BUILDING HEIGHT	94.0 M
AVERAGE MEAN GRADE (GEO. ELEV.)	66.70
GROSS BUILDING - AREAS (CITY OF OTTAWA'S DEFINITION)	
P2 PARKING LEVEL	N/A
P1 PARKING LEVEL	N/A
LOWER - GROUND FLOOR (COURTYARD)	N/A
UPPER - GROUND FLOOR (STREET)	1,465.4 sq. m. (15,774) sq. ft.
MEZZANINE LEVEL	797.1 sq. m. (8,580) sq. ft.
2nd FLOOR	1,040.8 sq. m. (11,202) sq. ft.
3rd to 9th FLOOR	7 x 1,297.5 sq. m. 7 x (15,043) sq. ft.
10th FLOOR	604.0 sq. m. (6,502) sq. ft.
11th to 25th FLOOR	15 x 751.4 sq. m. 15 x (8,089) sq. ft.
MECHANICAL FLOOR	N/A
TOTAL AREA	24,961.1 sq. m. (268,679) sq. ft.
UNIT STATISTICS	
STUDIO UNIT	30
1 BEDROOM UNIT	100
1 BEDROOM + DEN UNIT	46
2 BEDROOM UNIT	102
2 BEDROOM + DEN UNIT	37
TOTAL	315
COMMERCIAL RETAIL	855.0 sq. m. (9,203) sq. ft.

AMENITY AREA

2nd FLOOR AMENITY ROOM - COMMUNAL	346.5 sq. m.
2nd FLOOR EXTERIOR DECK - COMMUNAL	414.6 sq. m.
10th FLOOR EXTERIOR DECK - COMMUNAL	495.7 sq. m.
DECKS - PRIVATE	266.0 sq. m.
BALCONIES - PRIVATE	649.7 sq. m.
TOTAL	2,172.5 sq. m.
TOTAL COMMUNAL	1,256.8 sq. m.
REQUIRED (315 UNITS X 6 m²) = 1,890 sq. m.	
REQUIRED COMMUNAL @ 50% = 945 sq. m.	

CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.5 PER UNIT (315 UNITS) (AFTER 12 UNITS)	152
VISITOR	- 0.1 PER DWELLING UNIT (AFTER 12 UNITS)	30
COMMERCIAL RETAIL (SEE LANDSCAPE ARCHITECT'S STUDY)	- NOT REQUIRED FOR UNITS UNDER 500m² G.F.A.	0
TOTAL		182
PROVIDED		
RESIDENCE	- 0.57 PER UNIT	240
VISITOR	- 0.1 PER DWELLING UNIT (AFTER 12 UNITS)	30
COMMERCIAL RETAIL	- 2.5 PER 100m² OF G.F.A. AFTER 150m²	9
TOTAL		279

BICYCLE PARKING

REQUIRED

RESIDENCE	- 0.5 PER UNIT (315 UNITS)	158
COMMERCIAL RETAIL	- 1.0 PER 250m² OF G.F.A.	3
TOTAL		161
PROVIDED		
EXTERIOR		6
UNDERGROUND PARKING LEVEL		160
TOTAL		166

PROJECT STATISTICS - PHASE 2

BUILDING HEIGHT	94.0 M
AVERAGE MEAN GRADE (GEO. ELEV.)	64.50
GROSS BUILDING - AREAS (CITY OF OTTAWA'S DEFINITION)	
PARKING LEVELS	N/A
GROUND FLOOR	606.1 sq. m. (6,524) sq. ft.
2nd FLOOR	1,080.9 sq. m. (11,639) sq. ft.
3rd to 9th FLOOR	7 x 1,076.3 sq. m. 7 x (11,588) sq. ft.
10th FLOOR	594.0 sq. m. (6,400) sq. ft.
11th to 25th FLOOR	15 x 707.0 sq. m. 15 x (7,610) sq. ft.
MECHANICAL FLOOR	N/A
TOTAL AREA	20,820.6 sq. m. (225,800) sq. ft.
UNIT STATISTICS	
STUDIO UNIT	
1 BEDROOM UNIT	
1 BEDROOM + DEN UNIT	
2 BEDROOM UNIT	
2 BEDROOM + DEN UNIT	
TOTAL	318

AMENITY AREA

AT GARDE EXTERIOR - COMMUNAL	300.0 sq. m.
1st FLOOR AMENITY ROOM - COMMUNAL	356.0 sq. m.
10th FLOOR AMENITY ROOM - COMMUNAL	95.0 sq. m.
10th FLOOR EXTERIOR DECK - COMMUNAL	540.0 sq. m.
DECKS - PRIVATE	494.0 sq. m.
BALCONIES - PRIVATE	652.0 sq. m.
TOTAL	2,437.0 sq. m.
TOTAL COMMUNAL	1,291.0 sq. m.
REQUIRED (318 UNITS X 6 m²) = 1,908 sq. m.	
REQUIRED COMMUNAL @ 50% = 954 sq. m.	

CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.5 PER UNIT (318 UNITS) (AFTER 12 UNITS)	159
VISITOR	- 0.1 PER DWELLING UNIT (AFTER 12 UNITS)	30
TOTAL		189
PROVIDED		
RESIDENCE	- 0.57 PER UNIT	168
VISITOR	- 0.1 PER DWELLING UNIT (AFTER 12 UNITS)	30
TOTAL		198

BICYCLE PARKING

REQUIRED

RESIDENCE	- 0.5 PER UNIT (318 UNITS)	159
TOTAL		159
PROVIDED		
EXTERIOR		4
UNDERGROUND PARKING LEVEL		160
TOTAL		164

LOT COVERAGE

PAVED SURFACE =	1,363.2 sq. m.	18.01%
PH 1 BUILDING FOOTPRINT =	2,001.9 sq. m.	26.45%
PH 2 BUILDING FOOTPRINT =	1,557.7 sq. m.	20.58%
LANDSCAPE OPEN SPACE =	2,046.2 sq. m.	27.04%
PARK LAND SPACE =	400.0 sq. m.	5.28%
POPS =	200.0 sq. m.	2.64%
TOTAL =	7,568.9 sq. m.	100.0%

PROJECT INFORMATION

ZONING	TM(2339) F(6.0) S354
SITE AREA	7,568.9 sq. m. (81,473) sq. ft.
SITE AREA - PHASE 1	4,301.8 sq. m. (46,304) sq. ft.
SITE AREA - PHASE 2	3,267.1 sq. m. (35,167) sq. ft.
BUILDING HEIGHT	AS PER SCHEDULE S354
DENSITY = 6.0	45,413.4 sq. m. (488,820) sq. ft.
AMENITY SPACE (6.0m² PER UNIT) 633	2,709 sq. m. (40,560) sq. ft.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

COPYRIGHT RESERVED.

NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- DETAIL NUMBER
- TITLE
- SCALE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

ISSUED FOR REVISED SPC Apr. 11, 19

ISSUED FOR CLIENT REVIEW Apr. 04, 19

No.	DESCRIPTION	DATE
1	ISSUED FOR REVISED SPC	Apr. 11, 19
2	ISSUED FOR CLIENT REVIEW	Apr. 04, 19

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:
ONTARIO ASSOCIATION OF ARCHITECTS	↑
RODERICK LAHEY ARCHITECT INC.	
SEAL DATE: STAMP DATE	
CLIENT:	
TRINITY	
DESIGN. DEVELOP. BUILD.	

ARCHITECT:

rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

151 CHAPEL STREET
RIDEAU @ CHAPEL
OTTAWA ONTARIO

SHEET TITLE:

SITE PLAN

DRAWN:	CHECKED:
RV	J.S.
SCALE:	SHEET No.
1:200	SP-1
PROJECT No.	
1833	