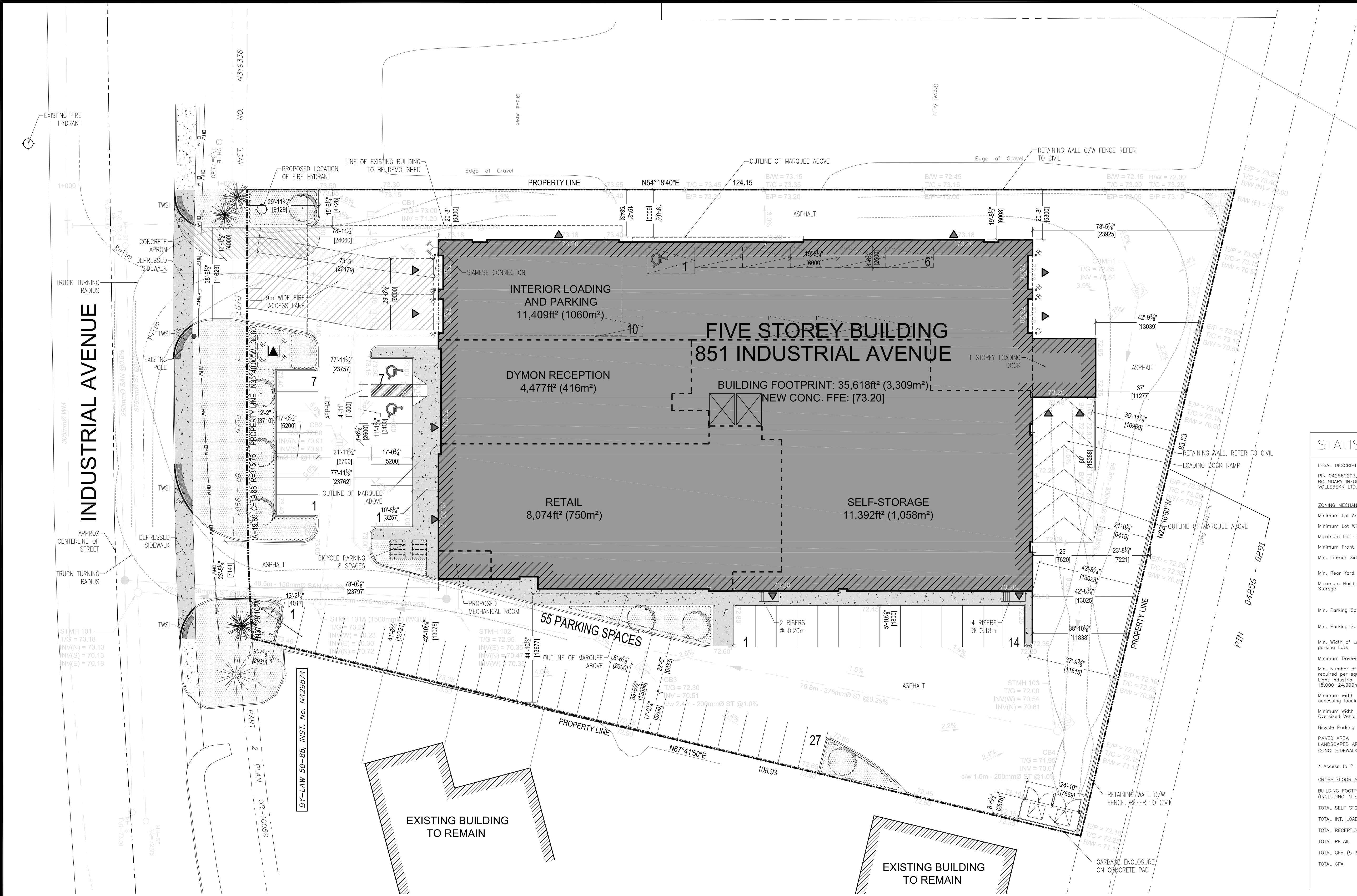




LEGEND	
	PROPOSED BUILDING LOCATION
	EXISTING NEIGHBORING BUILDINGS
	LANDSCAPED AREA
	CONCRETE/ SIDEWALK
	EXISTING CONCRETE/SIDEWALK
	BARRIER FREE PARKING CLEARANCE
	CURB
	DEPRESSED CURB
	TWIS
	NEW TREE/ VEGETATION (REFER TO LANDSCAPE PLAN FOR TYPE, SIZE AND LOCATION)
	EXISTING TREE (VEGETATION IS FOR REFERENCE ONLY, REFER TO LANDSCAPE PLAN)
	INTERIOR PARKING
	CATCH BASIN
	SIAMESE CONNECTION
	ENTRANCE/ EXIT LOCATION
	TRANSFORMER
	FENCE & GATE
	MAN HOLE COVER
	WOOD POLE (HYDRO)
	FIRE HYDRANT
	NLS (NEW LIGHT STANDARD, REFER TO ELECTRICAL)
	BOLLARD

STATISTICS		
LEGAL DESCRIPTION OF PROPERTY: PIN 042560293, J G PT E PT LOT 14 AS PARTS 1 & 2, PLAN 588804 BOUNDARY INFORMATION FROM SURVEY BY: ANNIS, O'SULLIVAN, VOLLEBEKK LTD. ONTARIO		
ZONING MECHANISM	REQUIRED	PROPOSED
Minimum Lot Area	2,000m ²	7,991m ²
Minimum Lot Width	No minimum	56.4m
Maximum Lot Coverage	65%	41.4%
Minimum Front Yard	7.5m	23.7m
Min. Interior Side Yard Setback	7.5m	North 6.0m South 12.7m
Min. Rear Yard Setback	7.5m	East 10.9m
Maximum Building Height	18m Completely enclosed within a building	22.3m Completely enclosed within a building, Outdoor storage not provided
Min. Parking Space Rate 0.8 p/100m ²	TBC	5
Min. Parking Space Rate 3.4 p/100m ²	TBC	50
Min. Width of Landscape Area around parking Lots	No minimum	0
Minimum Driveway width	6.7m (double lane traffic lane)	6.7m
Min. Number of Vehicle Loading Spaces required per square meter of GFA, Light Industrial Use / Warehouse 15,000-24,999m ²	3	2
Minimum width of Driveway accessing loading Space	6m	6m
Minimum width of Aisle Accessing Oversized Vehicle Loading Space	11m	7.6m *
Bicycle Parking (1 per 2,000m ²)	9	8
PAVED AREA	3,972 m ² (49.7%)	
LANDSCAPED AREA	285 m ² (3.6%)	
CONC. SIDEWALKS, PADS, RET WALLS	423 m ² (5.3%)	
* Access to 2 loading docks		
GROSS FLOOR AREA (GFA)		
BUILDING FOOTPRINT (INCLUDING INTERIOR LOADING & RETAIL)	3,309m ² (35,618 ft ²)	20%
TOTAL SELF STORAGE	14,355m ² (154,518 ft ²)	87%
TOTAL INT. LOADING & PARKING	1,060m ² (11,409 ft ²)	6%
TOTAL RECEPTION	416m ² (4,477 ft ²)	2%
TOTAL RETAIL	750m ² (8,072 ft ²)	5%
TOTAL GFA (5-STOREY BLDG.)	16,498m ² (177,590 ft ²)	100%
TOTAL GFA	15,438m ² (167,181 ft ²)	WITHOUT INTERIOR LOADING & PARKING

1. Contractor must verify all job dimensions, all drawings, details, specifications and report any discrepancies to owners before proceeding with work.
2. All drawings and specifications are instruments of service and the property of the architects which must be returned at the completion of the work, and may not be reproduced without their written permission.

3	ISSUED FOR SITE PLAN CONTROL	2017 10 05
2	FOR COORDINATION	2017 09 28
1	FOR DISCUSSION	2017 08 21
ref description		date

revisions



ISSUED FOR
SITE PLAN CONTROL
2017-10-05

DESIGN ARCHITECT
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660R College St (Rear Lane) Toronto ON M6G 1B8
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email: info@tactdesign.ca

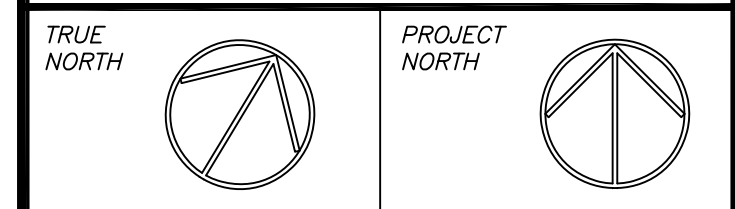
STRUCTURAL ENGINEER

MECHANICAL/ELECTRICAL

CIVIL ENGINEER
J. L. Richards & Associates Ltd.
864 Lady Ellen Place, Ottawa ON K1Z 5M2
tel: (613) 728-3571
www.jrichards.ca

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project & location
DYMON SELF-STORAGE
851 INDUSTRIAL AVENUE
OTTAWA, ONT.

CITY FILE NUMBER

title of drawing

SITE PLAN

scale 1:250	drawing A1-1
date JUL 2017	
drawn by KL / DL / AA	

1 SITE PLAN
A1-1 SCALE: 1:250



BOUNDARY INFORMATION FROM SURVEY BY: ANNIS, O'SULLIVAN, VOLLEBEKK LTD. ONTARIO
LAND SURVEYORS 25 MAY 2017