

A CULTURAL HERITAGE IMPACT STATEMENT

667 Bank Street, Ottawa, Ontario



Submitted To: VINCENT P. COLIZZA ARCHITECT INC.

Prepared By: COMMONWEALTH HISTORIC RESOURCE MANAGEMENT

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Image Cover Page: 667 Bank Street as viewed from the bridge looking South-East.

Credit: Vincent P. Colizza Architect Inc. 2017

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1.0 INTRODUCTION

1.1 Introduction

This Cultural Heritage Impact Statement (CHIS) is a requirement of the City of Ottawa. The purpose of the CHIS is to identify the cultural heritage resources and values that may be impacted by the construction of a five-storey, mixed-use building at 667 Bank Street. The proposed development is a new build located in the south-west corner of the Clemow Estate East Heritage Conservation District (HCD), which is designated under Part V of the Ontario Heritage Act (OHA) (Bylaw 2011-346).

The development site fronts onto Bank Street, and is designated a Traditional Main Street TM H (15) within the Official Plan and is subject to Zoning By-law Section 197-198.

The CHIS evaluates the impact of the proposed development in a manner that is consistent with the City of Ottawa Official Plan Section 4.6.1. The CHIS follows the content outline recommended by the City of Ottawa for Cultural Heritage Impact Statements.

The following documents were used to prepare this report:

- Parts IV and V of the Ontario Heritage Act;
- Guidelines for Cultural Heritage Impact Statements, City of Ottawa;
- The Clemow Estate East Heritage Conservation District Plan, 2011, City of Ottawa;
- City of Ottawa By-law 2011-346 designating the Clemow Estate East Heritage Conservation District under Part V of the OHA;
- City of Ottawa Minutes Pre-Application Consultation Meeting July 27, 2015 at 110 Laurier Avenue West.
- Site plans and elevations, and renderings Vincent P. Colizza Architects Inc., January 20, February 2016, May 2016, March 2017 and May 2017;
- Standards and Guidelines for the Conservation of Historic Places in Canada Second Edition, 2010;
- City of Ottawa Zoning By-law Traditional Main Street Zone (Sec. 197-198).
- Application for New Construction at 667 Bank Street in the Clemow Estate East Heritage Conservation District; and
- Letter dated June 6, 2016 submitted to the City by Carolyn Mackenzie on behalf of the GCA and a draft response submitted to the City.
- A letter addressed to Leslie Collins N/D from the Glebe Community Association.
- Comments following a presentation to the OUDRP September 2016.

NOTE: This CHIS has been revised from the original submission, and updated according to the revised design documents provided by the client.

1.2 Present Owner and Contact Information

Milito Investments Inc.
c/o Carlo Milito
765 Melfa Cr. Ottawa, Ont. K2C 0P4.

1.3 Site Location, Current Conditions, and Introduction to the Development Site

The property is located within the Clemow Estate East HCD at the northeast corner of Bank Street and Clemow Avenue. The Clemow Estate East HCD is organized around Central Park and Patterson Creek an inlet of the Rideau Canal. The residential area was developed by Henrietta A. Clemow and her cousin William Powell in the early 20th century as an upper-middle class suburb.

The development site currently serves as a parking lot for La Strada Restaurant located to the south of Clemow Avenue. The lot was formerly the site of the Grove Hotel (1873-1907) one of three 19th century hotels on Bank Street in the Glebe. A gas station occupied the site between 1926 through to 1991. Both previous developments on the lot – hotel and gas station - were set back on the site and oriented to Bank Street. The entrance to the existing parking lot is off Clemow Avenue.



Figure 1: Aerial view of the site and the boundaries of the HCD both of which are highlighted in orange. Credit: Google Earth



Figure 2: Aerial view of site location (orange) along Bank Street. Note larger mixed-use buildings to the north and south, with a transitional area around the development site and Central Park. Credit: GeoOttawa

The proposed development site is a small commercially zoned property within the Clemow Estate HCD and designated under Part 5 of the Ontario Heritage Act. It is part of a triangular wedge bounded by Bank Street on the west, and two single-detached residential properties to the east on Clemow Avenue. The Exploration Garden Playground borders the site to the north as an extension to Central Park. A single storey commercial building – the Farmteam Cookhouse and Bar to the south on the opposite side of Clemow Avenue and the former LCBO across the street - are within the immediate vicinity of the development site. The adjacent Bank Street sites were developed in the latter half of the 20th century with parking fronting on Bank Street. The former LCBO building and parking lot on the west side of Bank Street, has recently been purchased. According to newspaper reports, it is intended as a Boston Pizza.

1.4 Neighbourhood Character

The Clemow Estate East HCD consists of large single-detached residential homes set back along quiet streets with mature trees and rear yards fronting onto Central Park. The bridge and Central Park are principal organizing elements of the HCD and this section of Bank Street. The development proposal is contained within an original lot within the HCD. The property is located in a section of Bank Street where there are gaps in the continuity of the building streetscape. Mixed-use buildings of similar scale to the proposed development (three to four-storey buildings) are located to the north and south along Bank Street. These properties, although outside of the heritage district, are part of the visual character of the neighbourhood.

In summary, the vacant development site is set among single detached residential properties within the HCD, and one to four-storey mixed-use commercial properties fronting on Bank Street.

1.5 Relevant Information from Council Approved Documents

Official Plan

The City of Ottawa includes provisions for Cultural Heritage Resources in Section 4.6 of the Official Plan. Section 4.6.1 addresses the requirements for a CHIS when development has the potential to affect heritage resources contained within the boundaries of the Clemow Estate East HCD that was designated under Part V of the OHA in 2011B of the OP.

The property is Traditional Mainstreet as per schedule B of the OP supporting heights up to six-storeys on Traditional Mainstreet sites, while policy 9 establishes two-storey minimum.

Clemow Estate East Heritage Conservation District

The Clemow Estate East HCD was designated under Part V of the OHA by the City of Ottawa in 2011 (By-law 2011-346). The HCD Study includes a Statement of Cultural Heritage Value for the area, and Design and Infill Guidelines, which are applicable in the assessment of this development proposal and include:

2. Guidelines for cultural landscapes

3. Guidelines for new infill development within the heritage district.

7.1 General guidelines for contributing buildings.

1.6 Digital Images of Cultural Heritage Attributes

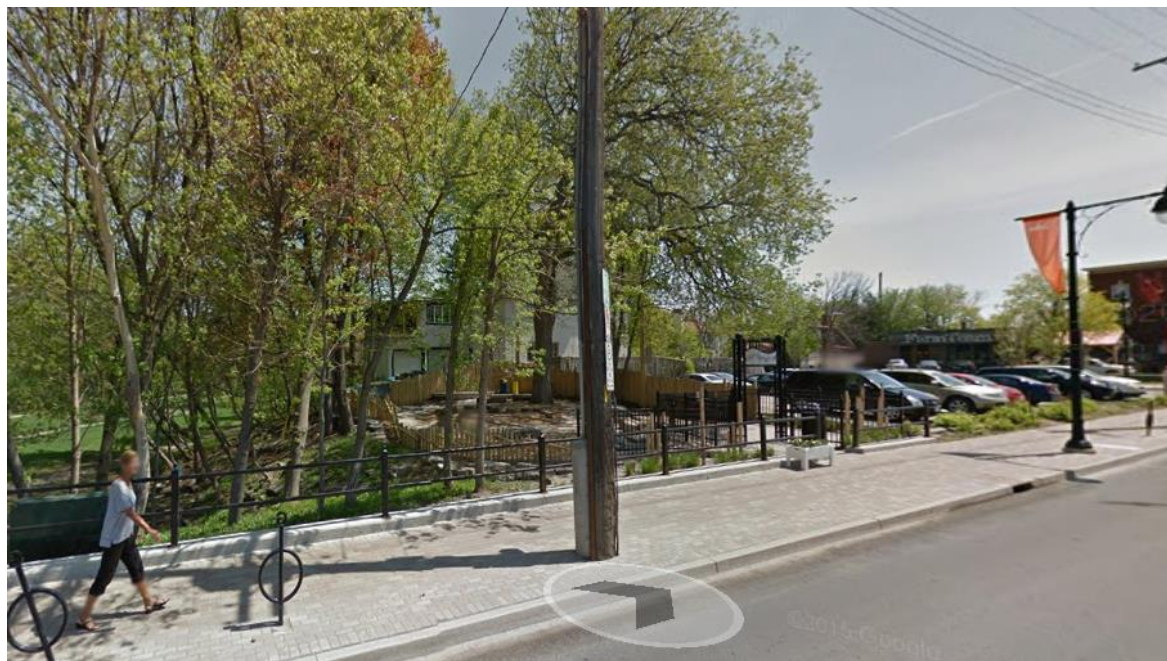


Figure 3: View looking southeast to the development site. Of note is the access stair to Central Park in front of the signboard at the edge of the development site. Note the street furniture (bicycle racks, lampposts, and fence) and the interlock sidewalk. Credit: Google Earth.



Figure 4: Context view of the development site at 667 Bank Street looking east. The building in the background is designated a category two heritage resource. The children's playground is to the left of the image with the parking lot extending to Clemow Avenue to the right. Credit: Google Earth.



Figure 5: Context view of the development site looking northeast from the intersection of Bank Street and Clemow Avenue. Of note is the adjacent residence to the east (center back) and Central Park to the north (left back). Credit: Google Earth.



Figure 6: Development site looking north from Clemow Avenue. Note the street furniture and the small square with interlock paving. Credit: Google Earth.

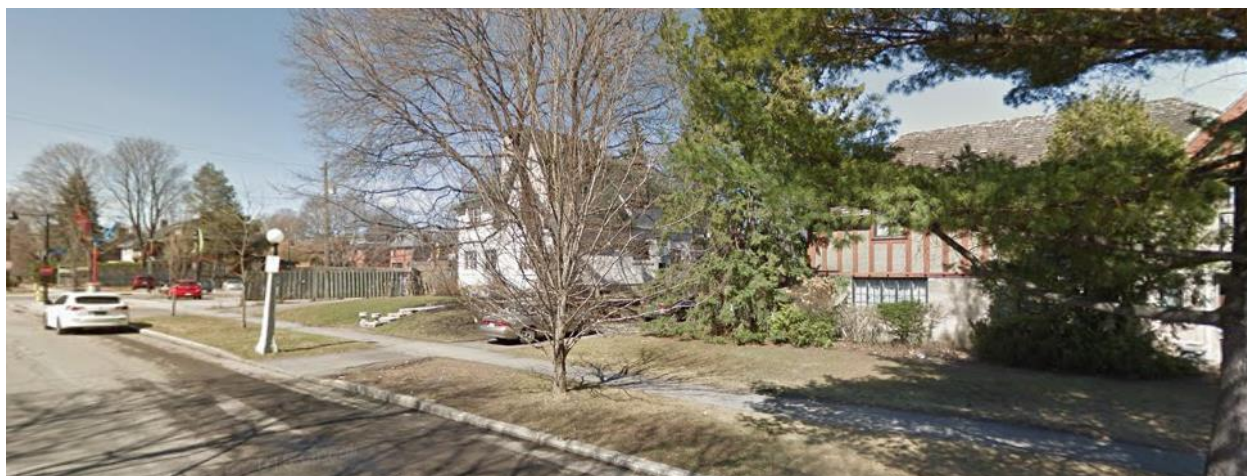


Figure 7: Context view of development site looking west from Clemow Avenue. The two neighbouring properties, 27 (middle) and 29 (right) Clemow Avenue, were evaluated as Category 2 and Category 1 properties respectively. Credit: Google Earth.



Figure 8: Context of the development site – Bank Street looking north with the development site on the right. Credit: Google Earth.



Figure 9: Context of the development site – Bank Street facing south with the development site on the left LCBO to the right. Credit: Google Earth.



Figure 10: View of an early 20th century brick apartment building (left) fronting onto Bank Street and Central Park. The building was designed by the architect, Werner Ernst Noffke. Prominent design attributes include the elegant two-storey entrance door and the heavy cornice detail, the banding and tan brick detailing with a masonry ground floor overlooking the park. The building across the street is a recently constructed 15 m height in a four-storey development. The two buildings frame and establish a gateway opening up onto Central Park. The planned 667 Bank development will create a similar expression on the other side of the Bridge. Credit: Google Earth.



Figure 11: 621-625 Bank Street at the corner of Patterson Avenue looking north. The four-storey building is a comparable mixed-use building with the double height fourth floor taking the building to the 15 m allowable height. The stepped east elevation next to the existing residential creates a comfortable transition to the next-door neighbor. Credit: Commonwealth.



Figure 12: Looking east from Bank Street the view takes in the rear portion of the neighbouring house backing onto the Central Park with the mature elm in the foreground. Credit: Commonwealth.

2.0 HERITAGE RESOURCE DESCRIPTION AND HISTORY

2.1 Glebe Neighbourhood History

The development site and the Clemow Estate East HCD are located in the Glebe. The Glebe was one of the earliest developed neighbourhoods outside of Ottawa's urban boundary with the arrival of the streetcar. In 1826, George Patterson, a Chief of the Canal Commissariat, acquired lot G, now the northernmost portion of the Glebe. Patterson's Creek was named after him, and it is speculated that he may have been the Glebe's first settler. Excluding the Patterson's, there were no other settlers in the Glebe until the 1840s. By 1870, lot G was had been purchased by William Powell. It was not until after the economic depression in the 1870s that the population of the Glebe began to rise, and by 1888, there were only 43 dwellings in this still rural area.

Bank Street, as the main commercial street in the area, was pushed past the City limits and into rural areas, including the Glebe, in 1865 (Figure 14). The street crossed Patterson's Creek in 1866 when a wooden bridge was constructed. After Ottawa was named the capital of Canada, and the Glebe area was annexed by the City in 1889, civil servants began to settle the surrounding area. Landowners in the Glebe subdivided their land, but would not see significant demand until the economic boom of the 1890s and the development of the Ottawa Electric Railway (streetcar) along Bank Street completed in 1891 (Figure 16).

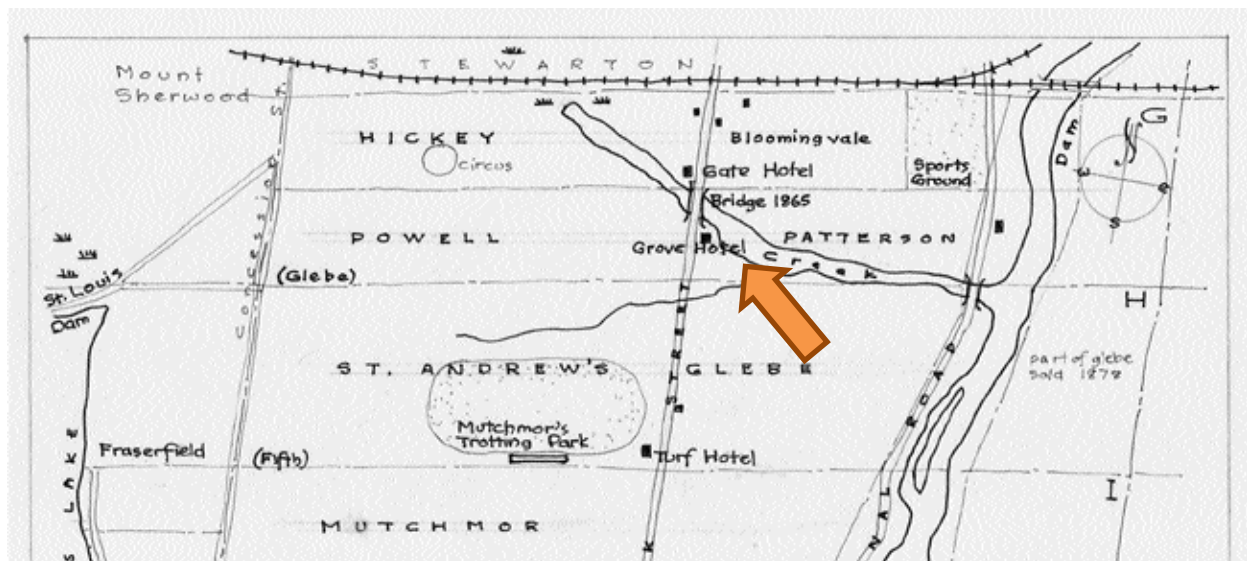


Figure 13: Subdivision and landowners in the Glebe circa 1870. Of note is the Grove Hotel on the development site (arrowed) and the Gate Hotel kitty-corner and to the north of Central Park on Bank. Credit: John Leaning, 1999.

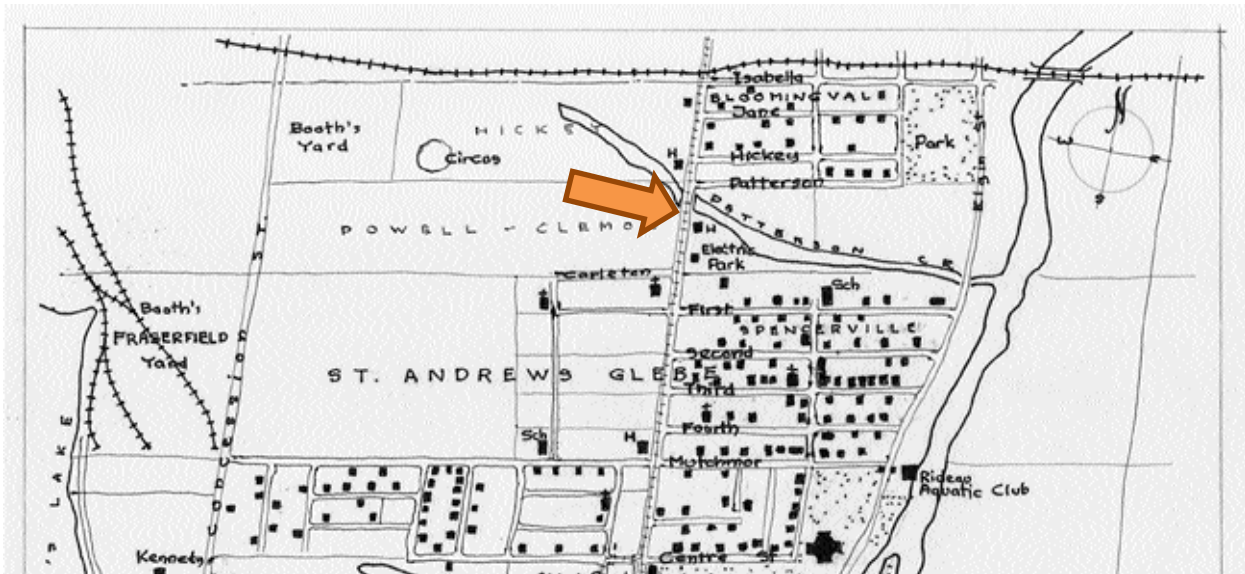


Figure 14: Subdivision of the Glebe circa 1898. Of note is the hotel and Electric Park located south of the development site (arrowed). Credit: John Leaning, 1999.

In 1906, the Ottawa Improvement Commission (now the NCC) drained portions of Patterson Creek to form Central Park. The area was then sub-divided by Clemow and Powell into development blocks, which were further sub-divided into residential lots to form "Clemora Park." By 1912, the area of Clemow Estate East was developed with residential buildings.

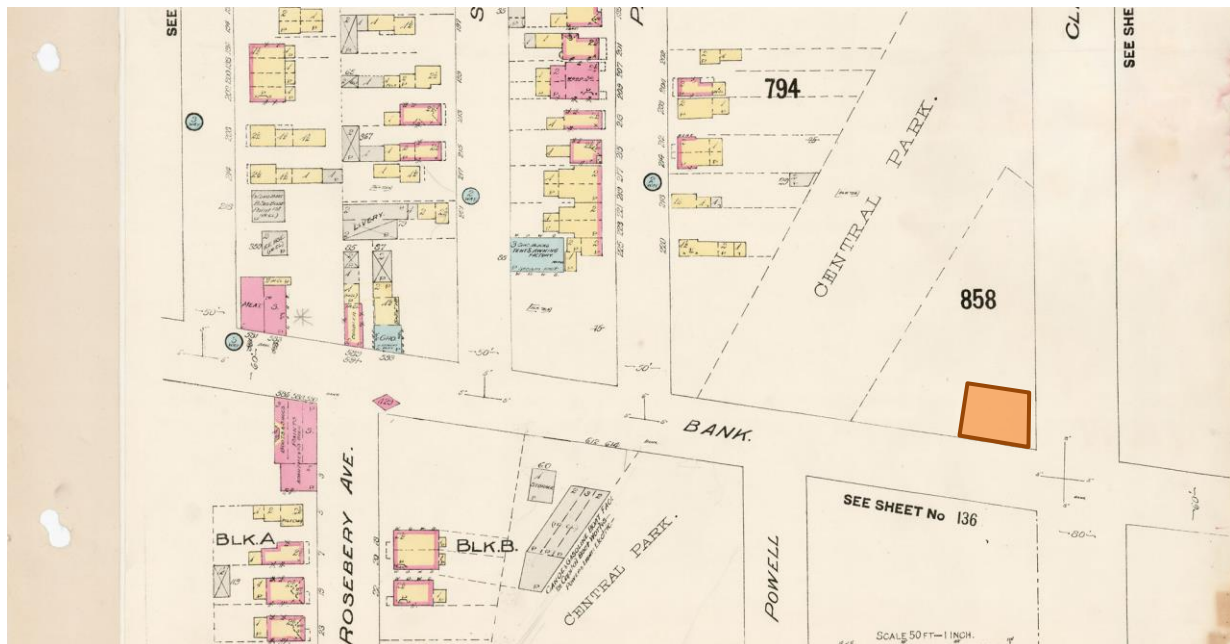


Figure 15: Insurance Plan of the City of Ottawa, Ontario, Volume II, December 1902, revised June 1912, Sheet 145. The development site is on the corner of Bank Street and Clemow Avenue, within Block 858 (orange). The Grove Hotel was demolished by 1912 leaving the property vacant. Note the Canoe Works and Boat Building facility on the opposite side of Central Park and Bank Street Credit: Libraries and Archives Canada.



Figure 16: Distribution of architectural styles within the Clemow Estate East HCD. Credit: City of Ottawa.

Werner Ernst Noffke, one of Ottawa's most prolific 20th century architects, was commissioned by William F. Powell to begin the development of "Clemora Park" on land surrounding Central Park and Patterson Creek. Between 1913 and 1927, Noffke designed at least 10 homes within the Clemow Estate East HCD, many in Spanish Colonial Revival style. His design of the apartment kitty corner to the development site on the other side of Central Park provides an excellent reference for the development of a multistory apartment. Although this building is not part of the HCD it is visually part of Central Park and also Bank Street.

2.2 Development Site History

In 1873, the Grove Hotel, the third hotel along Bank Street in the Glebe, was built by Powell at the site of 667 Bank Street. The stone house served as a hotel until 1891, then as a clubhouse for the Ottawa Snowshoe Club. The hotel was located next to Electric Park, a recreational area created by the Ottawa Electric Railway as a resort for streetcar day-trippers. The Park was located between Bank Street, Patterson's Creek and Glebe Avenue and included a band shell, refreshment cart and access to Patterson's Creek. The building was in use until 1907 when it was demolished. All three original hotels in the Glebe along Bank Street have since been demolished.

The property remained vacant until 1926 when a gas station was built on the site, which remained in place until 1991.



Figure 17: The Grove Hotel from Bank Street, Patterson Creek to the north (left) and Electric Park to the south (left)
Credit: Topley Studio / Library and Archives Canada / PA-027252.



Figure 18: Grove Hotel looking southeast from Bank Street. Of note is the streetcar railway system on Bank Street (removed in the late 1950s). Credit: Topley Studio / Library and Archives Canada / PA-027260.



Figure 19: Patterson's Creek from Bank Street, looking east circa 1890-1900. Grove Hotel and the development site are to the right. Located at the edge of the Clemow Estate East HCD, 667 Bank Street acts as a transition both to the HCD along Clemow Avenue and to Central Park, the former creek bed of Patterson's Creek.

Credit: Topley Studio / Library and Archives Canada / PA-027254.



Figure 20: Aerial view of the development site in 1958 when a gas station was located on the lot. Note that the gas station was built to the east lot line. Off Bank Street, a stone stairway has been in place since the park's development by the Ottawa Improvement Commission.

Credit: GeoOttawa.

In summary, the historical uses on the development site, (include hotel, gas station and presently a parking lot) establish a land pattern oriented to Bank Street. The Ambassador Court, built on the site of the Gate Hotel provides design reference. The site context with its proximity to Central Park and its location on the corner of Bank Street and Clemow Avenue adds value to the property and dictates the need for a building design that capitalizes on its visibility.



Figures 21 and 22: On the north side of the park along Bank Street is the Ambassador Court, an early 20th century brick and masonry apartment building (left) fronting onto Bank Street and Central Park. The architect, Werner Ernst Noffke, designed the building. Noffke incorporated many of his prominent design attributes that include the elegant two-storey entrance door and the heavy cornice detail, the banding and tan brick detailing with a masonry ground floor creating a fourth floor overlooking the park.

3.0 STATEMENT OF CULTURAL HERITAGE VALUE

3.1 Introduction

The following Statement of Cultural Heritage Value identifies the primary heritage values and attributes of the Clemow Estate East HCD. The development site, 667 Bank Street was included in the Heritage District as it is an original part of the land subdivision and street pattern. Bank Street has always been considered a commercial street with cross streets linking it to residential neighbourhoods to the east and west. This hierarchy is basic to Ottawa's urban form. The Statement of Significance outlines the cultural heritage attributes and values of the development site at 667 Bank Street. The following text is taken from the Clemow Estate East HCD Plan:

Statement of Cultural Heritage Value

The cultural heritage value of Clemow Estate East lies in its development as an early upper-middle-class suburb in Ottawa centred on a park, and featuring a number of architect-designed houses.

The core of Clemow Estate East is Central Park, an early 20th century park designed as a space for passive recreation and representative of trends in park design and in the beautification of the national

capital by the Ottawa Improvement Commission. Central Park was one of the first district parks created in Ottawa and is significant for its association with early Canadian landscape architect, Frederick Todd's 1903 plan for Ottawa's parks and driveways.

Clemow Estate East is a good example of an early 20th century upper-middle-class suburb in Ottawa with an eclectic mix of houses in a variety of architectural styles. The arrival of the streetcar on Bank Street in 1891 allowed the growing upper-middle class to move out of the core of the city and into an area of impressive houses and a population within the same social class.

The Clemow Estate East district has houses in a very eclectic mix of architectural styles, many of which were designed by architect W.E. Noffke. A number of large impressive houses overlooking the park are landmarks within the neighbourhood and characterize its early 20th century suburban character. The association with one of Ottawa's leading architects is important and this neighbourhood, with 10 confirmed Noffke houses, likely represents the largest concentration of Noffke designed buildings anywhere in Ottawa. Noffke's influence on the design of this area remains very clear to this day.

Clemow Estate East also has heritage value for its association with significant people and events in the history of Ottawa. The area was originally the estate of former Senator Francis Clemow and his brother-in-law William. F. Powell, a Conservative MPP for a number of years. The development of Clemow Estate East is credited to the heirs of the estate; William Powell, who is credited for reforming the Ottawa Police system as chief of police in the late 19th Century and Henrietta A. Clemow, the daughter of Francis Clemow. Henrietta Clemow and her cousin William Powell formed Clemora Realty to develop their respective estates in the Glebe. Henrietta is significant as an unusual example in Ottawa of a single woman in her 40s who was involved in real estate speculation in the early 20th century.

Description of Heritage Attributes

The attributes of Clemow Estate East that embody its value as a good example of an early 20th century upper-middle-class suburb include:

- Houses designed by architect Werner E. Noffke at 1, 11, 12, 18, 20, 26 and 27 Clemow Avenue; 12 Allan Place, 515 and 517 O'Connor Street; and the Powell House at 85 Glebe Avenue
- The historic street pattern and lot divisions surrounding Central Park
- The eclectic mix of architectural styles, including Edwardian Classicism, Spanish Colonial Revival, Tudor Revival and Arts and Crafts
- Cluster of Edwardian Classicist houses on the south side of Glebe Avenue

Those attributes of Central Park that make it the focal point of Clemow Estate East:

- Central Park as the organizing feature around which the development is laid out.
- Arrangement of houses facing and backing onto Central Park and the interface between the private and public landscapes.
- Central Park as a ribbon of green that slices through the neighbourhood and the arrangement of lots that address the park and the street.

Those attributes of Clemow Estate that embody its association with the early work of the Ottawa Improvement Commission (OIC):

- *Aggregate light standards along Clemow Avenue*
- *Central Park, including its:*
 - *Layout of walkways and paths*
 - *Relationship with Patterson Creek and the O'Connor Street Bridge.*
 - *Its use as a space for passive recreation*
 - *Rock steps at the southwest corner of the district.*
 - *Steps to O'Connor Street at the southeast corner of the district.*
 - *Steps to Bank Street at the north west corner of the district.*
 - *Banks, fence and rock wall of Patterson Creek.*
- *Layout and traditional function of Clemow Avenue as a ceremonial route connecting to the Queen Elizabeth Driveway via Monkland Avenue.*

4.0 DESCRIPTION OF PROPOSED DEVELOPMENT

4.1 Description of the Proposed Development

The property is being developed as a five-storey mixed-use building with ground-floor commercial and four-storeys of residential above. This is a transition site for the neighbourhood calling for a freestanding building with all four elevations visible and prominent. The basement will provide tenant storage, mechanical electrical and an amenity area. A one storey ancillary building located on the east side of the building separates the apartment from the neighbouring residence. Details of the proposed design follow.

Plan Concept

The proposed mixed-use building will consist of up to three ground-floor retail units with twelve residential units on the second to fifth floors (three units on each floor). Each commercial unit will have its own entrance fronting onto Bank Street, with one entrance opening onto the corner at a 45-degree angle. In order to keep the overall height of the building lower fourteen-foot ceilings are proposed for the commercial units, instead of the desired twenty foot. The anticipated commercial tenants are independently owned and locally run stores, consistent with others located on Bank Street.

A one storey attached accessory building is set back 5.2 m from Clemow Avenue and at its narrowest point .9 m from the property line. Accessed from double doors, the building will provide bicycle parking and garbage/recycling storage. A retaining wall with a 1.4 m high fence will extend along the rear yard with plant material along the driveway portion. Along the north boundary, an existing retaining wall

separates the site from a children's play area. There is a bamboo screen running along the north property line that will be retained.

All floors are planned with a single-loaded corridor with suites with primary views west onto Bank Street and north onto the park. A portion of the third fourth and fifth floors have been set back 3.2 meters to maintain clearance from an existing American Elm located in the park. The primary residential entrance will be located on the south side of the building, fronting onto Clemow Avenue. The resident lobby will lead to a single elevator and two exit stairwells. A large opening with masonry pilasters and feature lighting identify the entrance. Both the resident entry and the adjacent stairwell are treated with glazed windows similar to the windows of the commercial units. A continuous canopy projects from the building over both doorways to distinguish the residential entrance.

The balconies of the units will all open onto Bank Street; the one-bedroom corner units will have balconies facing southwest, fronting the corner of Bank Street and Clemow Avenue.



Figure 23: A one storey attached accessory building is set back 5.2 m from Clemow Avenue and at its narrowest point .9 m from the property line. Accessed from double doors, the building will provide bicycle parking and garbage/recycling storage. The roof will be treated as a green roof with plantings.



Figure 24: Bird's eye view of the development. Credit: Vincent P. Colizza Architect Inc. 2017

Elevation and Massing

The height of the proposed five-storey building is 16.65 m, which is 1.65 m taller than the maximum height limit. The building is set back from Bank Street to conform with clearances to existing hydro lines. The building massing terraces from five-storeys to two storeys to the north. A one-storey ancillary building along the rear yard (east boundary) provides a transition to the next-door neighbour. The stepped and recessed articulation of the north facade integrates well overlooking Central Park.

The commercial ground floor is visually separated from the upper floors by a projecting cornice. A similar cornice separates the fourth and fifth storeys. Along Bank Street and Clemow Avenue, glazed openings are positioned between masonry pilasters in a rhythm similar to neighbouring commercial buildings. Overlooking the park, windows help animate the facade as does the recessed portion of the facade.

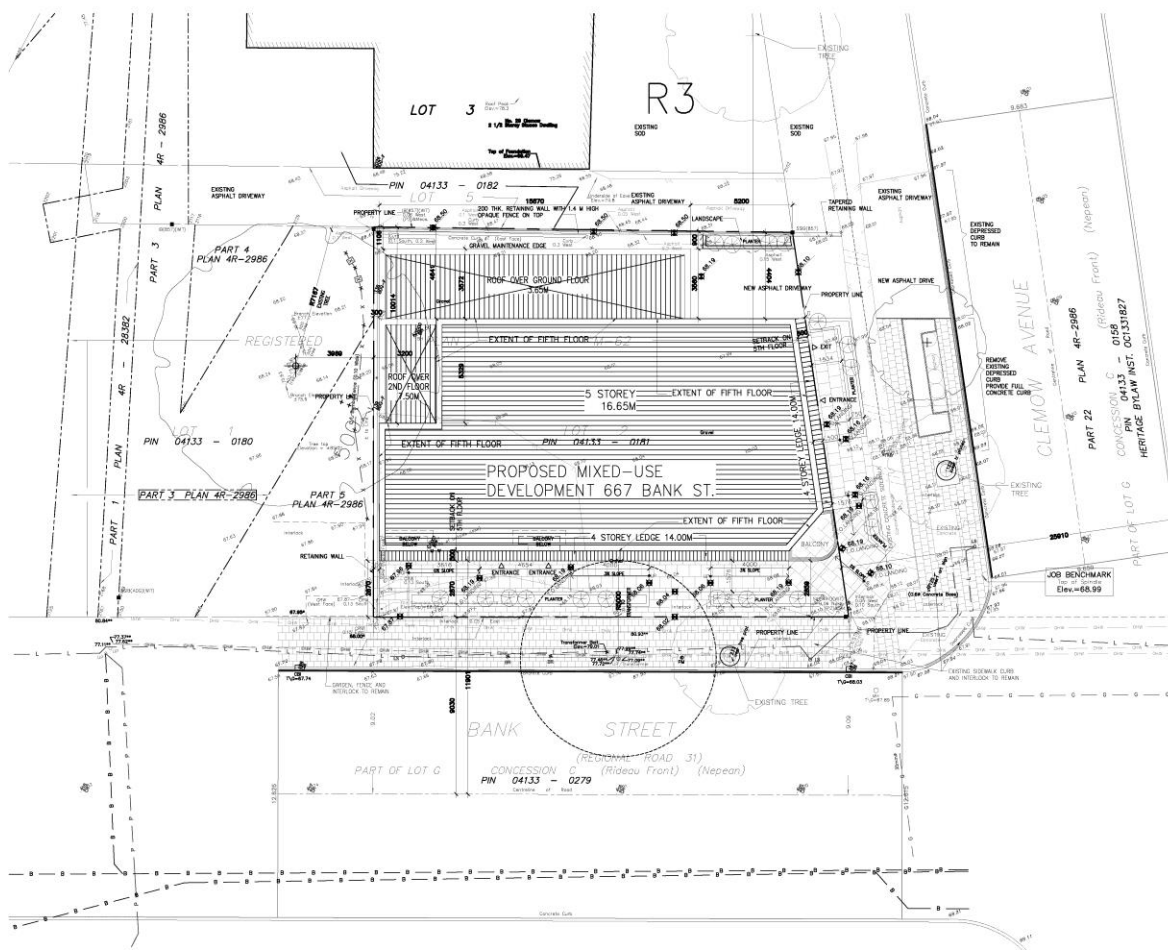


Figure 25: Site plan of the proposed development. Credit: Vincent P. Colizza Architect Inc. 2017

At the fifth floor, a .5 m setback extends along the building fronting Clemow Avenue and along Bank Street. The building faces the intersection of Bank Street and Clemow Avenue at a 45-degree angle. The chamfered corner will contain a commercial entrance on the ground floor and open balconies on the

typical floor, providing a focus to the corner of the building as it relates to the street. The chamfered corner of the building fits the style of similar corner buildings along Bank Street to the north and south.

The ground floor will be clad in Arriscraft Renaissance Stone, with two courses of Arriscraft Adair marble (slightly darker than the Renaissance Stone) at the base of the ground floor. A tiered pre-cast concrete cornice separates the ground floor from the floors above which are clad in brick. Windows are framed with pre-cast concrete sills and lintels similar to the window openings in the neighbourhood. The fifth-storey is set back irregularly from Bank Street and is to be clad either in a dark Arriscraft Renaissance stone or zinc tiles in a 45 degree pattern to distinguish the top of the building and further reduce the scale. Each balcony within the body will have a pre-finished metal railing with glazed inserts. The radiused balconies on the corner facing the intersection of Bank Street and Clemow Avenue have railings and cornices that compliment the curved profile. The suites adjacent to the park have balconies, which are open to the park and the street within a brick pillar that extends vertically up the corner of the building. The building materials acknowledge the character of the Edwardian Style building in the Clemow Estate East HCD and the commercial and residential buildings fronting onto Bank Street.



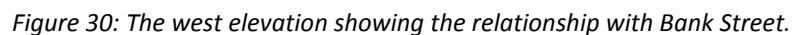
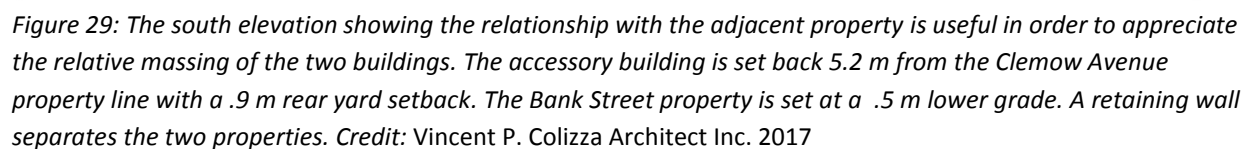
Figure 26: A rendering of the north elevation of the proposed development with one storey accessory building and a setback of the north elevation at the third, fourth, and fifth floors to accommodate the branching of the mature elm. The other two homes are shown to indicate the scale of buildings overlooking Central Park. Credit: Vincent P. Colizza Architect Inc. 2017

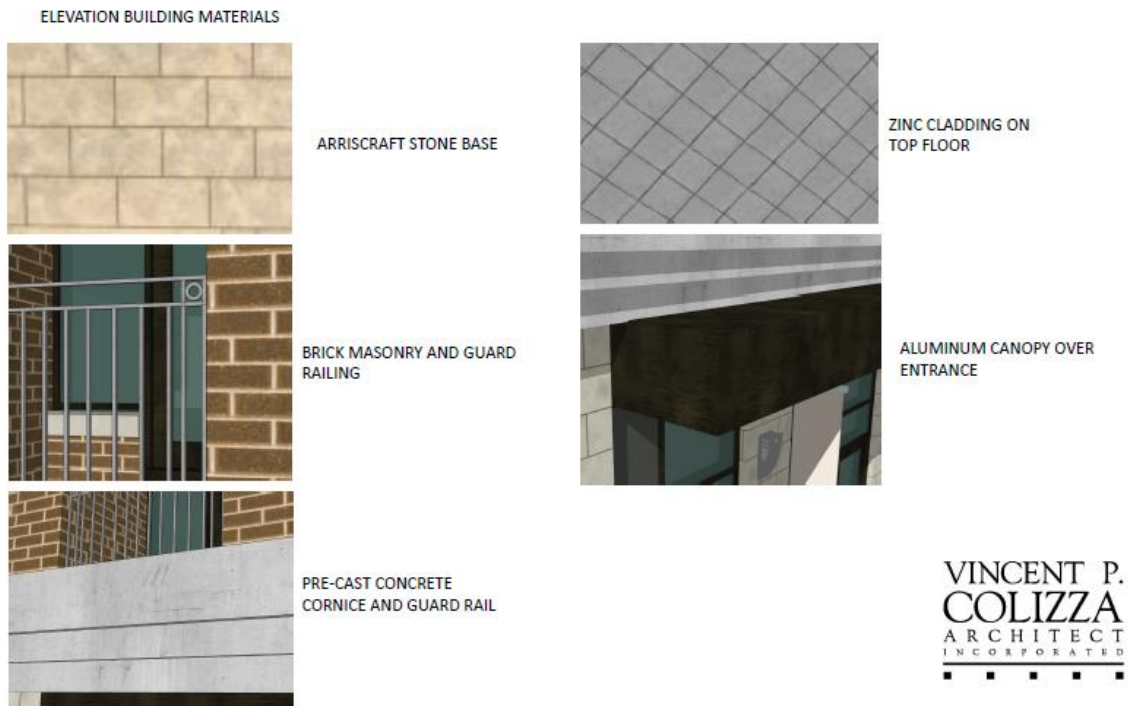


Figure 27: View looking west along Clemow Avenue. Credit: Vincent P. Colizza Architect Inc. 2017



Figure 28: East elevation of the proposed development. There is a .9m setback from the property line between the one storey garage and the neighbouring property to the east. Credit: Vincent P. Colizza Architect Inc. 2017





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Figure 31: Building Materials



Figure 32: Street view looking north-east from the opposite side of Bank Street showing its relationship to the adjacent property on Clemow. Credit: Vincent P. Colizza Architect Inc. 2017



Figure 33: Aerial perspective view of the development at the head of Clemow Avenue. Credit: Vincent P. Colizza Architect Inc. 2017

5.0 IMPACT OF PROPOSED DEVELOPMENT

5.1 Impact of the Development Proposal

This section addresses the impacts of the development on the cultural heritage values of the Clemow Estate East HCD. The attributes of the heritage character of the area are outlined in the Statement of Cultural Heritage Value (Section 3.0). Streetscape and infill guidelines for the district are contained in *Sections 7.1 and 7.2 of the District Plan Study (Section 1.6)*. While the development is located within the Clemow Estate East HCD, development on the site has historically always addressed Bank Street visually and functionally thus the design takes into consideration guidelines contained in the Official Plan for Traditional Mainstreets.

The building design addresses two distinct roles:

1. A mixed-use development in a predominately residential heritage conservation district as defined under Part 5 of the OHA; and
2. A Traditional Mainstreet site as per Schedule B of the OP.

1. A mixed – use development in a predominately residential heritage conservation district as defined under Part 5 of the OHA.

In terms of a development in the HCD, this is an anomaly in that it is the only mixed-use commercial building site in the district. The HCD guidelines do not specifically address a commercial multi-unit building in this heritage conservation district where residential uses predominate. The Ambassador Court, the Noffke designed apartment block is technically not in the HCD but is an important model in establishing design guidelines. A number of attributes that stand out have been incorporated into the new development. Some of the most significant are the relationship of the building to Bank Street and to the Park, massing and scaling of building, the use of texture and high quality materials, strong cornice lines, distinct and overstated entrances, varying floor to ceiling heights between lower and upper floors, the scale of openings in relation to the façade and maximizing the sense of a building set in a Park.

2. *A Traditional Mainstreet Site as per Schedule B of the OP.*

Schedule B of the OP provides opportunities for intensification through more compact forms of development that enclose and define the street edge, provide direct pedestrian access to the sidewalk, and offer mixed use. The policy also indicates that the OP supports heights up to six-storeys on Traditional Mainstreet Sites, while policy 9 establishes two-storey minimum.

The proposal meets the general intent of the Traditional Mainstreet policies, since the development will intensify an underutilized site that is currently not consistent with policy objectives. The former auto-related use does not address main street frontage and is not encouraged. Bank Street commercial attributes that are incorporated into the design include: the ground level floor to ceiling height, the distinct commercial nature of the ground floor with extensive glazing, a cornice detail and the use of different material for the first floor, the rhythm and symmetry of window to façade for upper floors, and the use of a fourth floor cornice. Traditionally along Bank Street, corner buildings are more prominent. Accentuating the corner with a distinct corner entrance set at 45 degrees defines the corner.

Discussion: *The development has two distinct design aesthetics;*

- *incorporating traditional main street guidelines applicable to the Bank street frontage with a design wrapping around the corner and extending the frontage along part of Clemow Avenue and then steps back with a one storey ancillary building 5.2m from the Clemow Avenue property line.*
- *The design acknowledges the HCD in terms of materials and the stepped massing along the neighbouring property and along the north facade where part of the building is recessed 3.2m at the second floor up in deference to the mature elm growing next to the property.*

5.2 **Streetscape and Infill Guidelines**

The following guidelines are excerpted from the Clemow Estate East Heritage Conservation District Study (Sections 7.1 and 7.2) and appear in *italic*. The following is a discussion of how the proposed development compares with the guidelines.

7.1.1 *Conservation and Maintenance*

Public Spaces & Streetscaping

- *The Clemow Avenue right-of-way is relatively wide at 26m in contrast to the more typical 18m road width in the neighbourhood.*

The increased road width is a character-defining feature of Clemow Avenue within the existing 'heritage district' and to the west of Bank Street. If in the future the heritage district is extended to the west of Bank Street, the same widened view-shed will be available from the other corners of the intersection.

The Urban Design merits of filling in the gap between properties along Bank Street should support the notion of providing a continuous broad opening to Clemow Avenue. Placing the ancillary building well back from the south property line will preserve the views to the HCD from the other three corners of the intersection of Bank Street and Clemow Avenue.



Figure 34: From a position on the property line looking kitty corner to the development site, a view of the property / building to the east of the development site is available. The width of Clemow Avenue and the placement of the building at the south property line do not affect the wide sidewalk and landscaped open space.

- *Historic light standards should be maintained and conserved throughout the district but with particular reference to those areas facing onto Central Park.*

Discussion: Aggregate and globe light standards are in place to the east of the property along Clemow Avenue and more modern light standards typical of the Bank Street corridor are located at the intersection of the two streets. The introduction of the aggregate standards at the intersection of Clemow and Bank should be considered, as it is a pedestrian gateway to the district.

- *New development should be sympathetic to the nature of open space in the district with appropriate setbacks and landscaping.*

Discussion: Clemow Avenue typically has larger setbacks due to its residential nature. The development will be seeking a variance to reduce the required setback from 3m to 0m for part of the south frontage. Along the eastern (rear) portion of Clemow Avenue, the setback is 5.9 m. The front yard setback along Bank Street results from the compulsory distance to the hydro transformer in the right of way. This has resulted in a wider sidewalk in front of 667 Bank Street and compliments the entrance to the park and access to the bridge.

Clemow Avenue narrows at its entrance to Bank Street and thereby provides opportunities to develop the sidewalk areas on both sides of the street. Landscape features will be integrated into the open areas surrounding the building. Landscaping is a character-defining feature of the residential properties in the HCD. The inclusion of a 0.9m strip along the east side of the development running the length of the lot line provides some opportunity to buffer the base of the wall with a hedge and vines to break up the massing and provide some visual interest. From the second floor level, the facade is set back 4.46 m from the east property line.

- *Mature street trees and sidewalks are essential to the character of the district and should be protected.*

Discussion: The site plan does not include any additional street trees and preserves the two trees that are on the right of way. The mature American Elm bordering the development site to the north overhangs the property. It has been determined by an arborist that the tree can be pruned 3.2 m off the property line. As such, floors three, four, and five have been set back 3.2 m from the north property line following the profile of the tree. An arborist's report has been provided to determine the critical root zone and how to trim the tree properly. Existing street furniture and any additional (bike racks, tree grates, public art, and lamp standards) should remain consistent with those in place on Bank Street.

7.2 Guidelines for Infill in the Heritage Conservation District

These guidelines were developed to assist property owners, architects, planners, developers and community groups in developing and assessing new infill projects within the Heritage Conservation District. These guidelines provide direction for sensitive and contextual infill that will contribute to rather than detract from the heritage attributes of the Heritage Conservation District.

Discussion: The building should address not only Bank Street with the other three frontages respecting the character of the residential and park like character within the district. The design acknowledges the HCD and Central Park, as well as Bank Street.

7.2.1 New Buildings

- *New buildings should contribute to and not detract from the heritage character of the District.*

Discussion: The proposed development will be the first mixed-used building within the Clemow Estate East HCD. It will buffer noise from traffic on Bank Street. The design respects both the HCD as well as acknowledges the historical development and building types along Bank Street to the north and south of Central Park, which is the principal organizing feature of the HCD.

Although located within the Clemow Estate East HCD, the building also has a clear relationship with Bank Street, both visually and functionally, as was the case historically for most Bank Street buildings. The setback is a function of the hydro transformer and is important in providing a foreground. The design elements incorporated into the building have taken inspiration from the heritage characteristics of the HCD, the Ambassador Court and Bank Street district. These include:

The Edwardian style detailing, including the use of materials - brick, stone, and pre-cast concrete - cornice bands above the ground floor and at the fourth floor level, and a chamfered corner entrance addressing both streets with small balconies above; and

The building is robustly modeled with a materials palette in keeping with the neighbourhood - coursed limestone finish applied to the ground floor with brick finishes above, strong cornice lines, large expanses of glass, and a symmetrical rhythm of fenestrations, all of which are hallmarks of the Edwardian Style.

- *New buildings should be designed to be compatible with the District's contributing buildings in terms of scale, massing, height, setback, entry level, materials, and fenestration patterns.*

Discussion: The development recognizes that this is not just a Bank Street infill and that all four facades are visible and important. An effort has been made to be compatible with the District's contributing buildings as well as its role as part of Bank Street.

The Entrances : the commercial doors on Bank Street, the commercial entrance on the corner, and the residential door on Clemow Avenue – are set at ground level and acknowledge the character of both areas as a transitional building between a main street commercial corridor and a residential area.

The Setbacks: The residential buildings on Clemow Avenue are typically deeper and include a landscape buffer. The Clemow Avenue setback is provided for the east portion of the property.

Materials: The materials used to clad the development include Arriscraft Renaissance Stone and Arriscraft Adair marble, brick and pre-cast concrete. The use of brick and its colour as the main cladding material compliment both the style of the buildings in Clemow Estate East HCD and those along Bank Street. The difference in cladding material and colour of the fifth-storey is intended to mitigate the scale of the building.

Fenestration: The proposed fenestration pattern of the development, particularly along Bank Street and Clemow Avenue, is visually appealing. The pillars that separate the ground floor commercial windows continue through to the fifth-storey. The nine bays on the west face and the four bays on the south all contain windows of similar size and pattern that are compatible with the character of the HCD and Bank Street. The windows on the east face of the building are clustered to the north, which allows maximum privacy for the neighbouring residents. Windows have been positioned within the north face of the building to ensure it maintains a relationship with Central Park. An easement or fire shutters will need to be provided to protect the windows overlooking the park as this side of the building is built 0.3m from the property line.

Scale and Massing: The building scale and massing have been a challenge. The Bank Street area zoning TM H (15) allows for a building of 15m in height. At five storeys, the height of the development (16.5m) exceeds the height limit. The architect is requesting a variance; his rationale is that up until the renewal of Lansdowne Park, there was little redevelopment along Bank Street. Recently proposed new

development within the TM H (15) includes a proposal for an eight-storey building at 890 Bank (Mister Muffler); at 900 Bank Street (Beer Store) a six-storey development is in the planning stages. Another development at 852 Bank Street, also in the planning stages is a four-storey corner mixed-use development with a 14m height. The LCBO property across the street has recently sold to Boston Pizza and has a 15 m zoning height. The building at 621-625 Bank Street to north of the development site on the north side of Patterson Avenue, would appear to be built to the allowed 15m height with the upper floor a double height.

- *The roof profile and the location of the eave lines or the roof parapet should be designed so that the apparent height and form of the roof are compatible with that of the immediate neighbours and the streetscape as a whole.*

Discussion: The proposed building is taller than the surrounding buildings and will be the tallest building within the HCD and this section of Bank Street. A one storey ancillary building set back from the street



Figure 35: Elevation from the Park.

acts to provide a transition to the east. The stepped treatment of the north façade pays homage to the park and respects the existing tree. The two existing buildings along Clemow Avenue, although not as tall, are not overwhelmed. The use of the cornice between the fourth and fifth stories and change in materials reduces the scale of the building.

- *Integral garages and below grade, entrances are not permitted.*

Discussion: The proposed building includes an accessory building attached to the main building.

- *The ground floor elevations of new construction should be designed so that its height above grade is compatible with that of the streetscape.*

Discussion: The height of the ground floor is 4.73m. The elevation of the ground floor is compatible with older commercial along Bank Street but considerably less than the commercial ground floor heights for new developments such as at Lansdowne.

5.3 Development Impacts

Positive impacts of the proposed development on the cultural heritage values of the Clemow Estate East and Bank Street include:

- The removal of a parking lot in the HCD and the introduction of a mixed-use building with commercial tenants on the ground floor and residential units on the floors above will contribute to the residential character of the HCD to the east and support Bank Street;
- The building interprets design characteristics from the apartment block, the Ambassador Court and from contributing buildings in the district. A rich palette of materials, including coursed limestone

ground floor finishes with brick finishes above and design details, including strong cornice lines, large expanses of glazing, and a symmetrical fenestration pattern.

- The introduction of the 45-degree chamfered corner references the intersection of Bank Street and Clemow Avenue, which is synonymous with the style and character of retail buildings along Bank Street, located at intersections. The focused entrance also emulates Edwardian design principles.
- The development references Central Park, and recognizes the exiting elm with the third, fourth and fifth floors setback to provide clearance following the tree's profile;
- The development has no impact on the historic street pattern or lot divisions within the district and is contained within the limits of an original lot division;
- The proposed development will bookend the south side of Central Park in a manner that is similar to the Edwardian apartment building and the newer four-storey apartment that together bookend the north side of the bridge.
- The proposed development is in keeping with the Todd Plan and the City Beautiful Movement in that the park will provide the same benefits envisioned by Todd for the residents of the HCD;
- The proposed development is an example of development in a transitional zone between a commercial main street use and a HCD consisting of single-family detached homes.
- The development has a landscape treatment adjacent to Clemow Avenue with planters to define the public space and the entrance to the residential units;
- The setback of the building along Bank Street due to the transformer creates a generous sidewalk in front of the building.
- The setback of the one storey ancillary building provides an opportunity to introduce a fence and/or plant material as separation.

Adverse impacts of the proposed development include:

- Marginal increase in traffic;
- The inclusion of mixed-use commercial activity in the HCD.

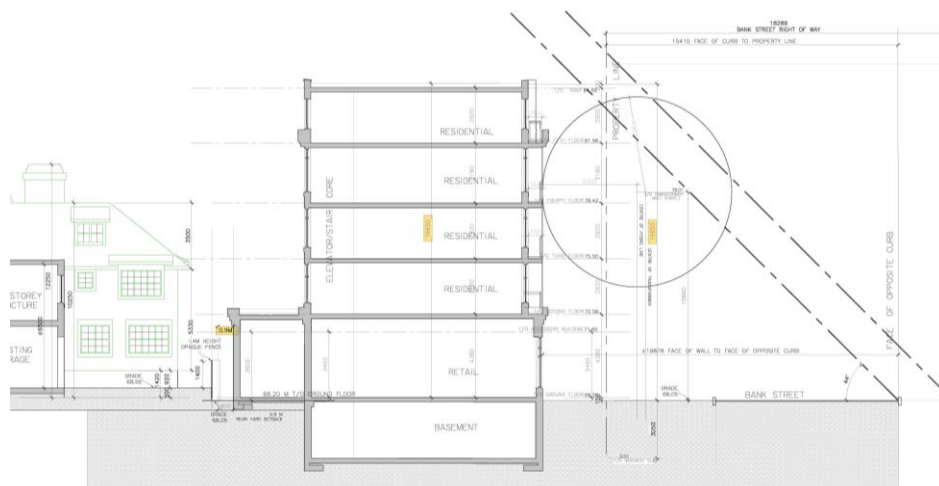


Figure 36:

- The .5 m set back at the fifth-storey does not establish the forty-five degree sight line as required in the zoning bylaw. (The mitigating factor is the required setback with the hydro transformer dictated that the building could not be built to the Bank St property line as the illustration shows.)

- The introduction of a five-storey building in an area that was typically three and four-storeys in height.
- The height of the building 16.5m exceeds the TM H15 limit.
- The placement of the building along Clemow Avenue meets the 3m setback requirement for only a portion of the frontage.
- If in the future there is a plan to extend the HCD this development will set a precedent for other vacant lots in the newly formed district plan.

6.0 ALTERNATIVES AND MITIGATION STRATEGIES

The development is compatible with the Clemow Estate East HCD and the character of Bank Street. It was determined that the proposed building will have a visual relationship with Bank Street due to its location and prominence at the corner of Bank Street and Clemow Avenue; therefore, the design of the development provides a transitional building that references both the HCD and Bank Street while still recognizing the heritage values of the HCD.

6.1 Alternatives

The following items need further design development to assess their potential impact on the heritage character of the Clemow Estate East HCD:

- The north façade should include a roof terrace and balconies overlooking the park. The roof of the one storey ancillary building should be treated as a green roof.
- Continue the brick at the fifth floor rather than the metal.

6.2 Mitigation measures

The following are some of the mitigation measures incorporated as part of the design:

- The .5 m setback of the fifth-storey helps alleviate the scale of the building. The change in fifth-floor materials and the cornice at the fourth floor reduce the visual impact.
- The north elevation of the building fronting the park is designed so that the property has prominent relationship with the adjacent park. An easement may be required for the windows on the ground floor of the building; and
- The overall style and materials of the building are consistent with, and compliment the character of the HCD and to Bank Street commercial.

Suggested mitigation measures include:

- In the initial submission, the building was over 2.5m higher than the zoning allowed. The revised plan reduces the height but it continues to exceed the area zoning TM H (15) by 1.65m. Consideration should be given to the possibility of lowering of the overall height.
- The residential entrance on Clemow Avenue needs further refinement, and added prominence to support the residential character of the neighbourhood.

- The first floor roof on the east side and the second storey roof overlooking the Park should be treated as an accessible terrace.
- Incorporate an interpretive plaque outlining the history of the development site (Grove Hotel, Electric Park) and of the area (Clemow Estate East HCD, the Glebe neighbourhood). The panel should be placed along Clemow as part of a recognizable relationship to the HCD at the junction of Bank Street and Clemow Avenue.

6.3 Conclusions

The development proposal is appropriate for its location along Bank Street and as part of the HCD and bordering on the Clemow Estate East HCD. The design of the development uses the vocabulary of traditional Bank Street and blends it with the design vocabulary of the HCD. The development will have an overall positive effect on the area and is an improvement from its current use as a parking lot. The mixed-use commercial and residential building will help connect the Bank streetscape to the north and south. The location of the development also provides an opportunity to establish a buffer to the Clemow Estate East HCD from Bank Street. Ultimately, the property and the proposed development is a feature building with a prominent relationship to Bank Street and to the Clemow Estate East HCD.

7.0 BIBLIOGRAPHY / PEOPLE CONTACTED.

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- Parts IV and V of the Ontario Heritage Act;
- Guidelines for the Preparation of Cultural Heritage Impact Statements (City of Ottawa)
- The Clemow Estate East Heritage Conservation District Plan, 2011, City of Ottawa
- City of Ottawa By-law 2011-346 designating the Clemow Estate East Heritage Conservation District under Part V of the OHA;
- The Story of the Glebe from 1800 to 2000, John Leaning, Ottawa, ON, Canada, 1999
- Site plans and elevations, Vincent P. Colizza, October 29, 2015;
- Pre-Application Consultation Meeting Minutes, July 27, 2015, City of Ottawa Planning Department.
- OURDP Comments following a September 2016 review.

List of People Contributing and Commenting

Vincent Colizza, Architect, Vincent P. Colizza Architect Inc.

Lesley Collins, Heritage Planner, Planning and Growth Management Department, City of Ottawa.
Carolyn Mackenzie on behalf of the GCA, City of Ottawa.

8.0 AUTHORS QUALIFICATIONS

Commonwealth Resource Management is an integrated consulting and management firm that offers a full range of professional services related to conservation, planning, research, design, and interpretation for historical and cultural resources. A key focus of the practice is planning and development for heritage resources. The firm was incorporated in 1984.

John J. Stewart, B.L.A., O.A.L.A., C.S.L.A., CAHP, a principal of Commonwealth is a specialist in the planning and design of cultural landscapes, building conservation, and commercial area revitalization. A graduate of the University of Guelph, he received additional training at Cornell University (USA) and Oxford University (UK) and holds a diploma in the Conservation of Monuments from Parks Canada, where he worked as Head, Restoration Services Landscape Section. Before Commonwealth's formation, Stewart served for four years as the first director of Heritage Canada's Main Street Program.

Stewart is a founding member of the Canadian Association of Heritage Professionals. He has served as the Canadian representative of the Historic Landscapes and Gardens Committee of ICOMOS and the International Federation of Landscape Architects. Stewart is a panel member with the Ottawa Urban design Review Panel and a board member of Algonquin College Heritage Carpentry Program.

Commonwealth has completed a number of Cultural Heritage Impact Statements for the private and public sectors including the following:

185 Fifth Avenue Mutchmor Public School Addition, Ottawa, Ontario.
2489 Bayview Avenue CFC Canadian Film Institute, Toronto, Ontario.
1015 Bank Street Lansdowne Park, Ottawa, Ontario.
Algoma District Wind Farm Proposal, Lake Superior Shoreline, Ontario.
1040 Somerset Street West Ottawa, Ontario.
Laurier Friel Redevelopment Sandy Hill, Ottawa, Ontario.
Cumberland /Murray Streets Lowertown West, Ottawa, Ontario.
1120 Mill Street Manotick, Ottawa, Ontario.
Ontario Place, Waterfront Park and Trail Toronto, Ontario.
Fort William Historical Park Thunder Bay, Ontario.
Allen/Capitol Theatre 223 Princess Street Kingston, Ontario.
101-109 Princess Street and 206-208 Wellington Street Kingston, Ontario.

Greystone Village, Oblate Lands Redevelopment, 175 Main Street Ottawa, Ontario.

Bradley/Craig Barn 590 Hazeldean Road, Ottawa, Ontario.

LeBreton Flats, IllumiNATION LeBreton Redevelopment Ottawa, Ontario.

234 O'Connor Street, Ottawa, Ontario.

250-252 Lisgar Avenue Ottawa, Ontario.

7 Bayview Road Innovation Centre, formally the City Works Building #4, Ottawa, Ontario.

445 Green Avenue Rockcliffe Park, Ottawa

Appendix A: Architectural Plans, Elevations, Perspectives, Site Plan



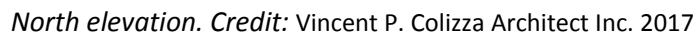
West elevation. Credit: Vincent P. Colizza Architect Inc. 2017



South elevation. Credit: Vincent P. Colizza Architect Inc. 2017

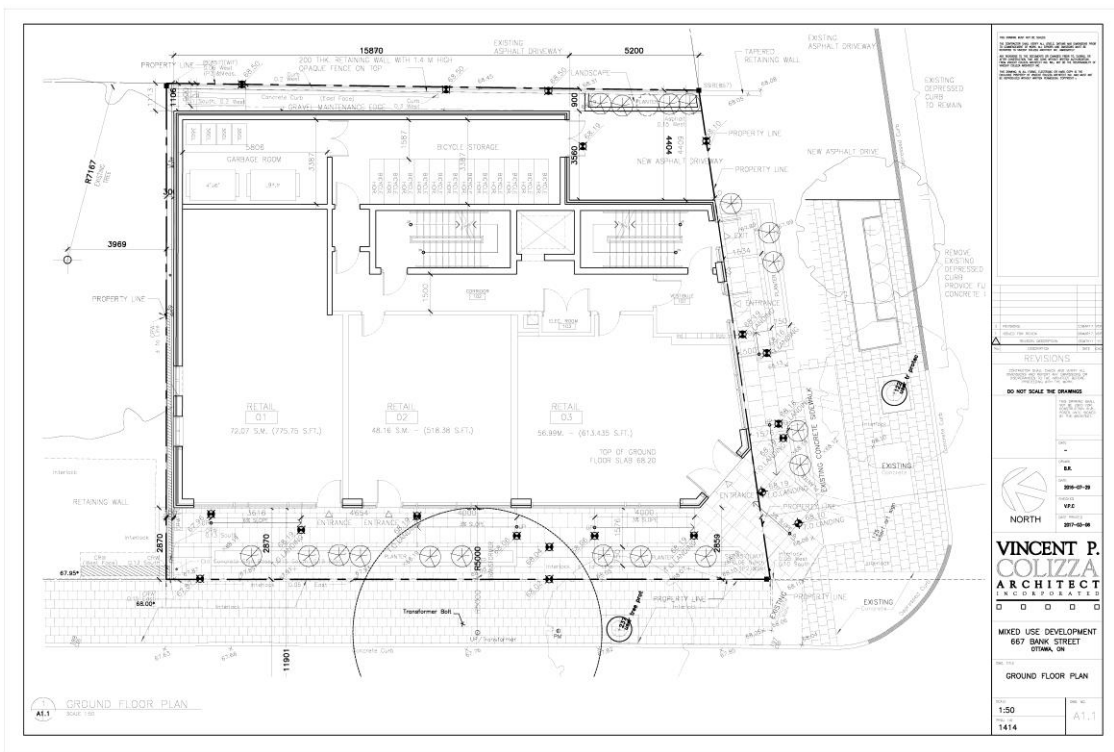


East elevation. Credit: Vincent P. Colizza Architect Inc. 2017

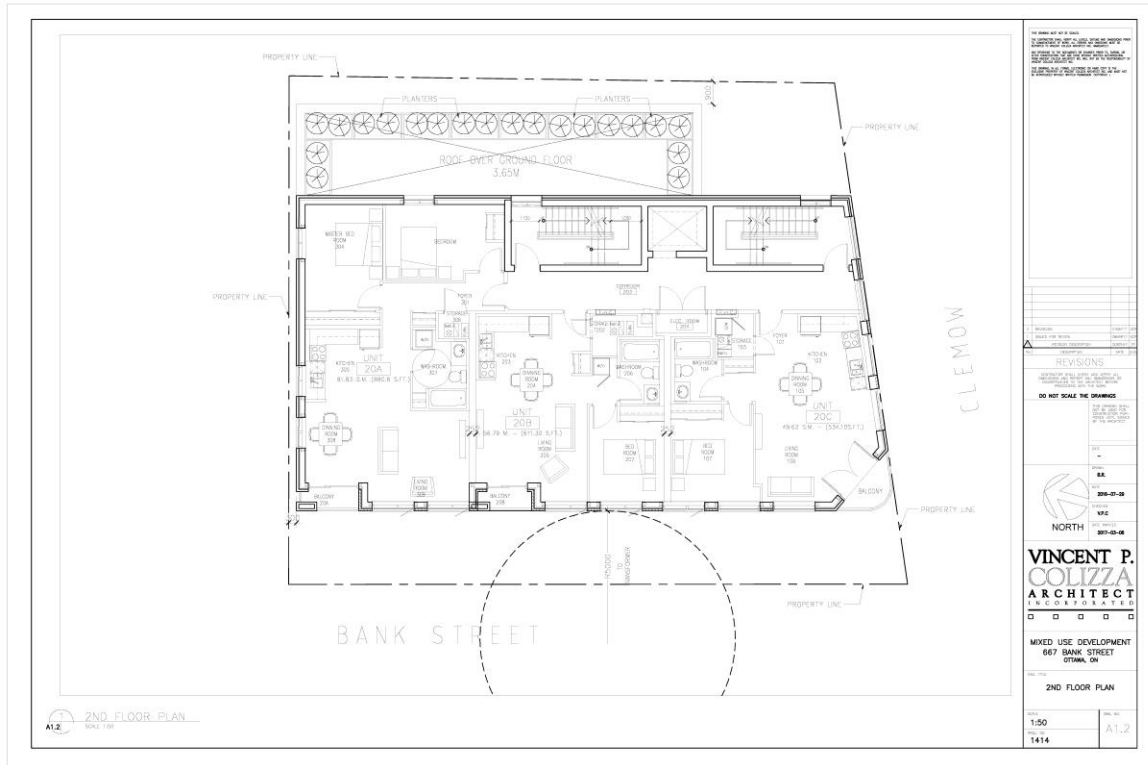




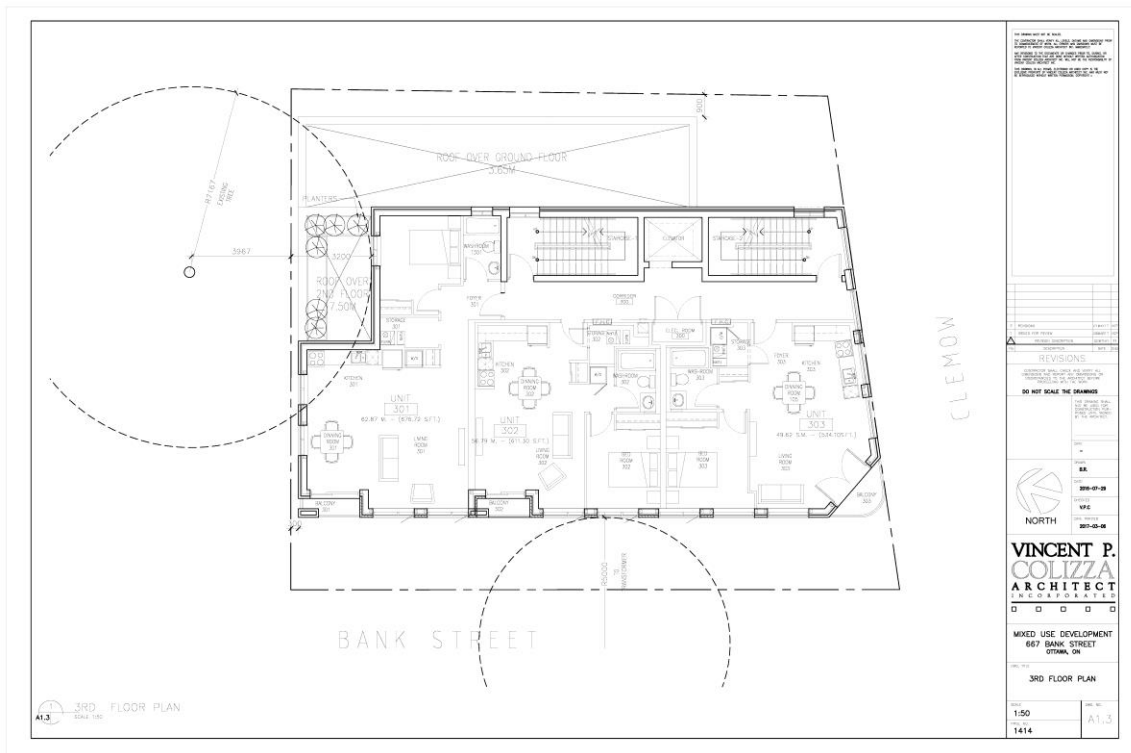
View of the building from the bridge on Bank Street partially blocked by the mature American Elm just north of the development Site. Credit: Vincent P. Colizza Architect Inc. 2017



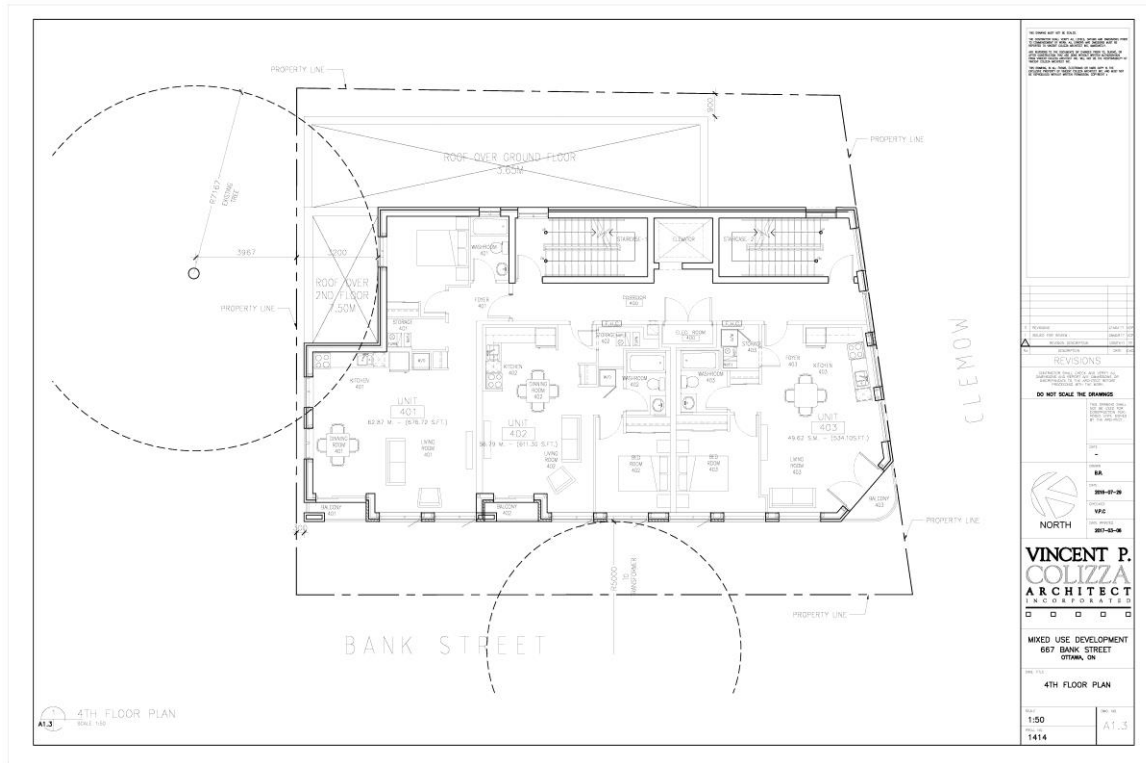
Ground Floor Plan. Credit: Vincent P. Colizza Architect Inc. 2017



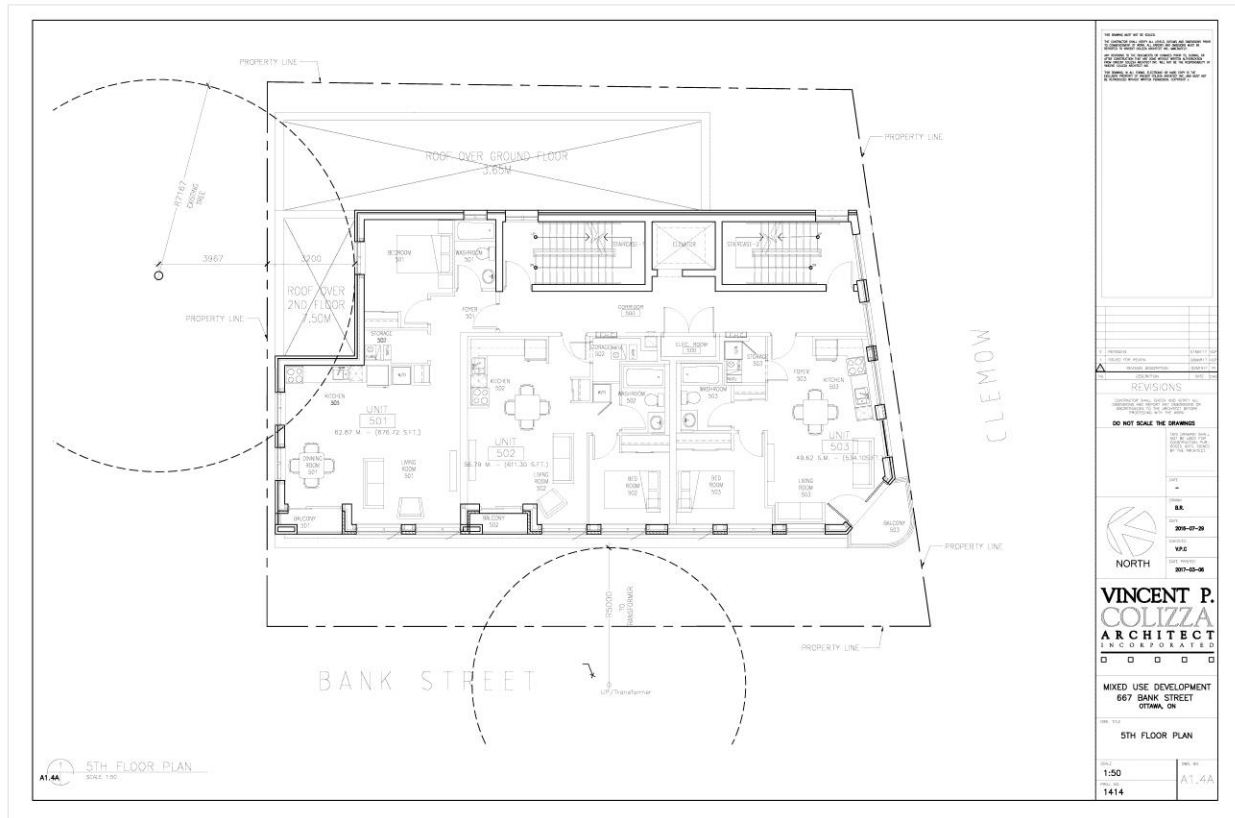
Second Floor Plan. Credit: Vincent P. Colizza Architect Inc. 2017



Third Floor Plan. Credit: Vincent P. Colizza Architect Inc. 2017



Fourth Floor Plan. Credit: Vincent P. Colizza Architect Inc. 2017



Fifth Floor Plan. Credit: Vincent P. Colizza Architect Inc. 2017