

ARCHITECT:
OPEN PLAN ARCHITECTS INC. -
2305 HILLARY AVE.,
OTTAWA, ON, K2K 7J2
613-883-5090

MECHANICAL &
ELECTRICAL ENGINEER :
EVEREST ENGINEERING -
6861 Fallowfield Road,
Stittsville, ON, K2S 1B8
613-831-5454

SURVEYOR:
STANTEC -
400 - 1331 Clyde Avenue,
Ottawa, ON, K2C 3G4
613-724-3134

PLANNING CONSULTANT:
STANTEC
400 - 1331 Clyde Avenue,
Ottawa, ON, K2C 3G4
613-738-0708

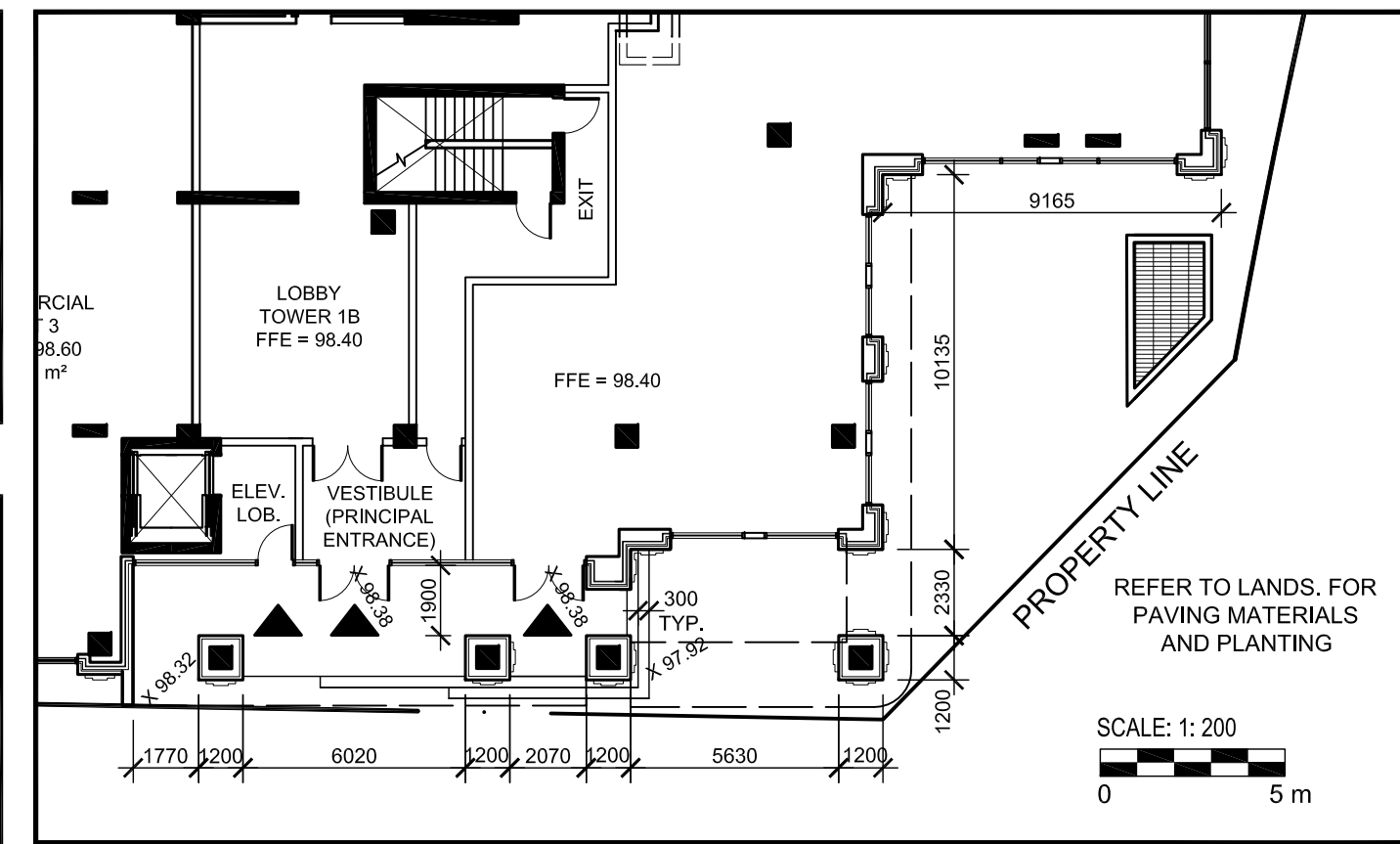
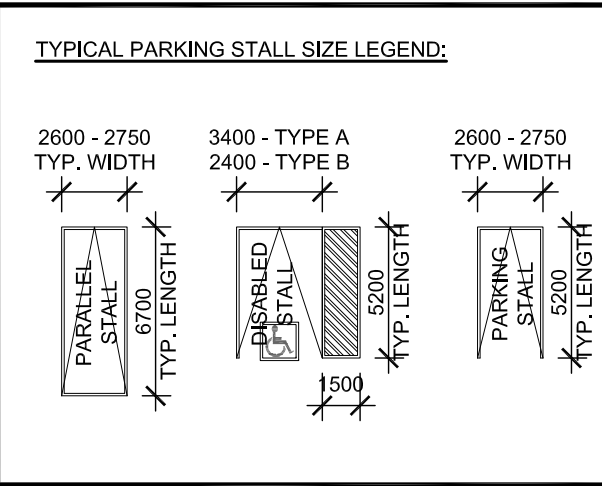
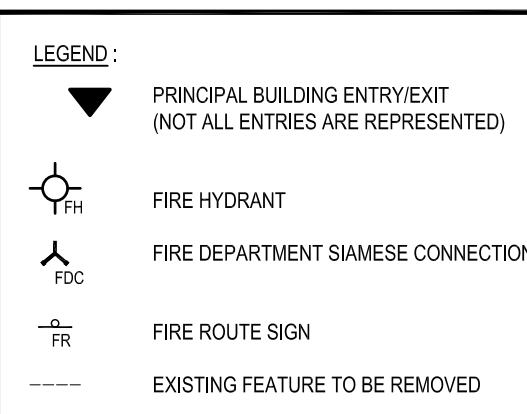
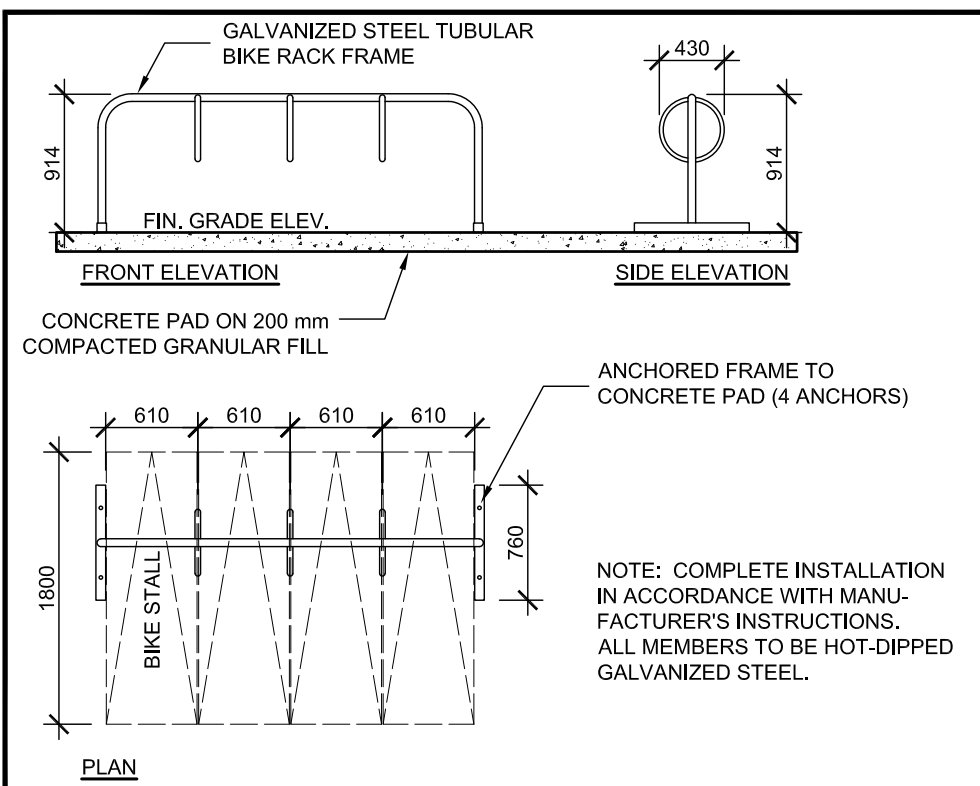
CIVIL ENGINEER:
STANTEC -
400 - 1331 Clyde Avenue,
Ottawa, ON, K2C 3G4
613-738-0708

TRANSPORTATION:
PARSONS -
1223 Michael St., Suite 100,
Ottawa, ON, K1J 7T2
613-738-4160

STRUCTURAL ENGINEER:
GOODEVE STRUCTURAL INC. -
18 - 77 Auriga Dr.,
Ottawa, ON, K2E 7Z7
613-226-4558

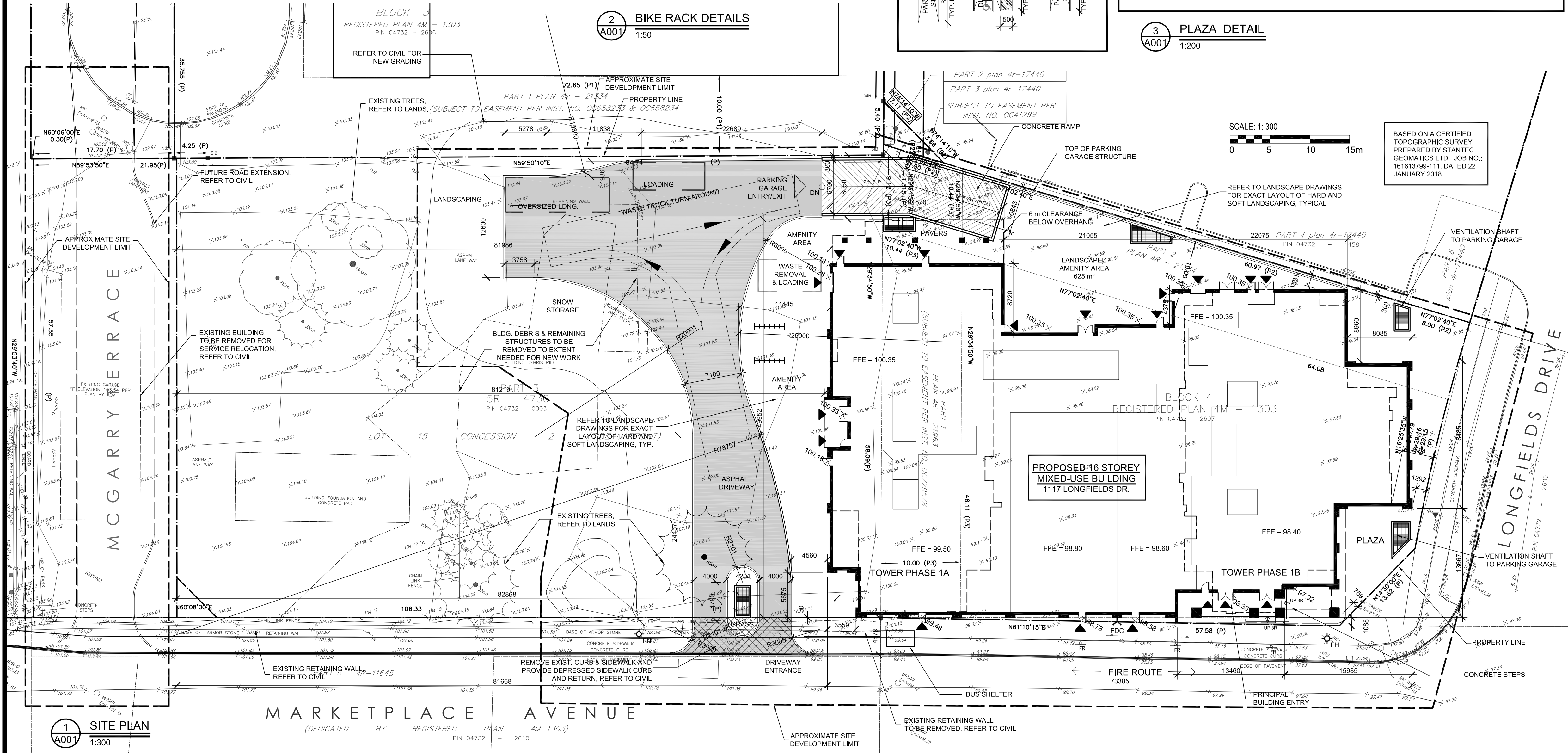
LANDSCAPE ARCHITECT:
JAMES B. LENNOX -
200A - 1419 Carling Avenue,
Ottawa, ON, K1Z 7L6
613-722-5168

WIND ANALYSIS:
RWDI -
600 Southgate Drive,
Guelph, ON, N1G 4P6
519-823-1311



CLIENT / OWNER :

1897365 ONTARIO INC.
205-928 Laporte St.,
Rockland, ON, K2K 1M7
613-446-9972



STATISTICS:
LEGAL DESCRIPTION:
PART OF LOT 15, CONCESSION 2 (RIDEAU FRONT), Geographic Township of Nepean and BLOCK 4, REGISTERED PLAN 4M-1303, CITY OF OTTAWA

ZONING:
MC [2141]

SITE AREA:
9,540.31 m² / 0.954 ha / 2.357 Acres

GROSS FLOOR AREA:		
GFA PERMITTED		
TOTAL MAX. GFA PERMITTED EXCEPTED [2141]	28,270 m ²	
GFA PROPOSED		
COMMERCIAL GFA:	1,545 m ²	
RESIDENTIAL GFA:	23,404 m ²	
TOTAL PROPOSED GFA:	24,673 m ²	

LAND USES:		
PROPOSED LAND USES		
DWELLING UNITS		
RETAIL / COMMERCIAL		
RESTAURANT		
OFFICE		
PARKING GARAGE (ACCESSORY)		
PROPOSED DWELLING UNIT TYPES		
APARTMENT DWELLING MID-HIGH RISE		
PROPOSED NO. RESIDENTIAL UNITS		
TOWER 1A (INCLUDING PODIUM):	271	
TOWER 1B:	78	
TOTAL:	349	

REQUIRED YARDS AND FSI:		
YARDS	REQUIRED	PROVIDED:
FRONT:	0.00	01.29
CORNER SIDE:	0.00	00.00
INTERIOR SIDE:	0.00	00.30
REAR:	0.00	81.22
MIN. LOT AREA:	0.00	N/A
MIN. LOT WIDTH:	0.00	N/A
MAXIMUM FSI:	N/A	N/A

BUILDING HEIGHTS:		
BUILDING HEIGHTS	REQUIRED	PROVIDED:
EXCEPTION [2141]		METERS (STOREYS)
MAX. HT. OF PODIUM:	57.0 m (16)	28.0 m (08)
MAX. HT. TOWER 1A:	57.0 m (16)	57.0 m (16)
MAX. HT. TOWER 1B:	57.0 m (16)	52.5 m (16)
MIN. BUILDING HEIGHT: COMPRISING ONLY 50% OF BUILDING ENVELOPE	20.0 m	ACHIEVED

REQUIRED PARKING CALCULATION:	
VEHICLE PARKING	
RESIDENTIAL: 0.5 / D.U. X 349 D.U.	= 175
SEC. 101 (8)(9), TABLE 101, ROW R12, COL. II	
RETAIL: 3.4 / 100 m ² GFA X 1,025 m ²	= 35
SEC. 101, TABLE 101, ROW N79, COL. IV	
RESTAURANT: 10 / 100 m ² GFA X 521 m ²	= 53
SEC. 101, TABLE 101, ROW N76, COL. IV	
VISITORS: 0.2 / D.U. X 349 D.U.	= 70
SEC. 102 (1), TABLE 102, COL. III	
TOTAL REQUIRED VEHICLE PARKING:	= 333
DISABLED PARKING REQUIRED	
FOR 351-400 VEHICLES, TOTAL REQUIRED:	= 010
TYPE A:	= 005
TYPE B:	= 005
ACCESSIBILITY DESIGN STANDARDS, SEC. 3.1.2	
BIKE PARKING	
RESIDENTIAL: 0.5 / D.U. X 322 D.U.	= 175
SEC. 111, TABLE 111A (b)	
RETAIL / REST.: 1 / 250 m ² GFA X 1,546 m ²	= 006
SEC. 111, TABLE 111A (a)	
TOTAL REQUIRED BIKE PARKING:	= 181

PROPOSED PARKING STATISTICS:	
VEHICLE PARKING	
LEVEL P1	= 072
LEVEL P2	= 102
LEVEL P3	= 102
LEVEL P4	= 104
TOTAL PROVIDED VEHICLE PARKING:	= 380
DISABLED PARKING PROVIDED	
TOTAL DISABLED PARKING PROVIDED	= 017
TYPE A TOTAL:	= 012
TYPE B TOTAL:	= 005
LEVEL P1	= 005
TYPE A / B	= 002 / 003
LEVEL P2 - P4	= 004
TYPE A / B	= 001 / 003
BIKE PARKING PROVIDED	
SURFACE (HORIZ.)	= 030
LEVEL P1 (HORIZ. / VERT.)	= 053 (43/10)
LEVEL P2 (HORIZ. / VERT.)	= 058 (42/16)
LEVEL P3 (HORIZ. / VERT.)	= 058 (42/16)
TOTAL BIKE STALLS PROVIDED:	= 199

MAXIMUM PERMITTED PARKING	
1.75 / D.U. X 349 D.U.	= 611
SEC. 103, TABLE 103 (a), COL. IV	
AMENITY AREA CALCULATION	
AMENITY AREA REQUIRED:	
6 m ² / D.U. X 349 D.U.	= 2,084 m ²
SEC. 137, TABLE 137, (f)	
COMMUNAL: MIN. 50% X 2,084 m ²	= 1,047 m ²
SEC. 137, TABLE 137, (f)	
MINIMUM AT GRADE: EXCEPTED [2141]	= 625 m ²
AMENITY AREA PROVIDED:	
TOTAL INTERIOR COMMUNAL	= 877 m ²
COMMUNAL 1ST LEVEL	= 350 m ²
COMMUNAL, P1 LEVEL	= 427 m ²
COMMUNAL 1A LEVEL	= 100 m ²
COMMUNAL EXTERIOR AT GRADE	= 625 m ²
PRIVATE (BALCONIES)	= 675 m ²
TOTAL AMENITY PROVIDED:	= 2,177 m ²

rev. / issue	description	date
02	ISSUED FOR SITE PLAN CONTROL REVISION	25 JAN. '19
01	ISSUED FOR CLIENT REVIEW	21 DEC. '18

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

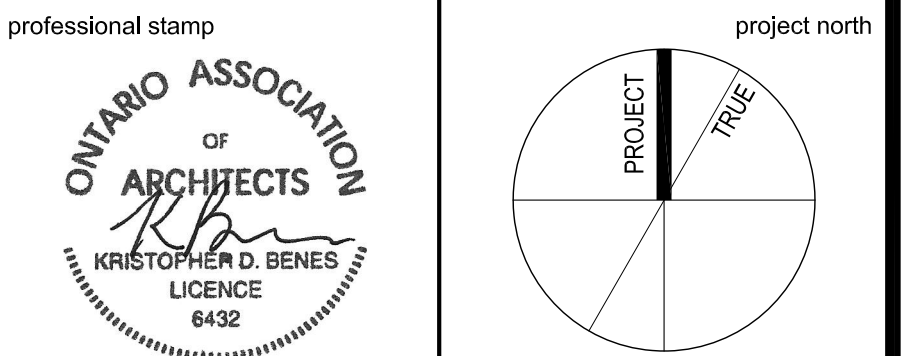
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND PROMPTLY REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONSULTANT BEFORE WORK COMMENCES.

ALL WORK IS TO FOLLOW THE OBC 2012 AND ANY OTHER APPLICABLE CODES AND REGULATIONS.

DO NOT SCALE DRAWINGS.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS A BUILDING PERMIT IN RESPECT OF THIS PROJECT HAS BEEN GRANTED BY AUTHORITIES AND THEY ARE ISSUED FOR CONSTRUCTION.

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Kristopher D. Benes, OAA, MRAIC, LEED AP

OPA open plan architects inc.

architecture | interiors | concepts

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613.883.5090 | info@openplan.ca

project

1034 MCGARRY TERRACE &
1117 LONGFIELDS DRIVE,
MIXED USE BUILDING,
OTTAWA

drawing	
SITE PLAN	
drawn	K.D.B.
date	JUNE 2018
approved	K.D.B.
project no.	1212
scale	AS SHOWN
drawing no.	

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