

January 9, 2023

**Sarah Ezzio, MCIP RPP**

Planner, Development Review (West Services)  
City of Ottawa

Via Email: [sarah.ezzio@ottawa.ca](mailto:sarah.ezzio@ottawa.ca)

**RE: 5618 Hazeldean Road – Stage 1  
Updated Subdivision Conditions and Zoning Amendment  
Clarification**

Dear Sarah Ezzio,

Please find attached a Memo that will assist the City in moving forward with zoning and registration of Stage 1 of this subdivision. Herein you will find;

- The required changes to the approved subdivision conditions stemming from Minto's changes to the plans for Stage1;
- The suggested Zoning By-law Amendment needed to facilitate the proposed plan;
- Comparison of the original zoning amendment request against the request now being sought.

Once you had a chance to review, we would be happy to provide any additional information.

Sincerely,



Lisa Dalla Rosa, MCIP RPP  
Associate  
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# AMENDED DRAFT CONDITIONS

## 5618 Hazeldean Road – Stage 1

City File: D07-16-16-0020

MINTO

JANUARY 4, 2023

In July 2021, Kizell Management Corporation received Draft Subdivision Approval for 5618 Hazeldean Road. Since that time Minto Communities has acquired the lands with plans to advance the development of Stage. The proposed Stage 1 subdivision plan and supporting documents have been provided to the City under separate cover. The table below indicates the changes to the approved draft conditions to align it with the plan being considered.

Condition #	As Approved	Required Change
<b>Pre-amble</b>	<p><i>Overall Draft Plan</i></p> <ul style="list-style-type: none"> <li>- 288 lots for detached dwellings</li> <li>- 18 blocks for townhouse development</li> <li>- 7 blocks for stacked townhouses /low-rise apartments</li> <li>- 1 mixed use block</li> <li>- 2 blocks for high density residential</li> <li>- 2 blocks for mixed use development</li> <li>- 1 institutional block</li> <li>- 3 pathway blocks</li> <li>- 4 park blocks</li> <li>- 1 open space block</li> <li>- 1 stormwater management block</li> <li>- 1 combined park &amp; ride and mixed- use block</li> <li>- 2 Hydro transmission corridors</li> <li>- 1 servicing block</li> <li>- 16 public streets including Robert Grant Avenue.</li> </ul>	<p><i>Stage 1</i></p> <ul style="list-style-type: none"> <li>- 111 lots for detached dwellings</li> <li>- 40 blocks for townhouse development</li> <li>- 2 pathway blocks</li> <li>- 1 stormwater management block</li> <li>- 5 new public streets</li> <li>- Robert Grant Avenue</li> <li>- Cranesbill Road</li> </ul>
<b>38 S2</b>	<p>The Owner shall construct an asphalt pathway in accordance with the applicable City Standard Drawing as well as 1.5-metre vinyl coated chain link fencing along the perimeter of the walkway blocks at the following locations:</p> <p>a) Blocks 330, 331 and 332</p>	<p>The Owner shall construct an asphalt pathway in accordance with the applicable City Standard Drawing as well as 1.5-metre vinyl coated chain link fencing along the perimeter of the walkway blocks at the following locations:</p> <p>a) Blocks 127 and 137</p>
<b>39 S3</b>	<p>The Owner agrees to design and construct 2-metre wide sidewalks at the following locations:</p> <p>a) Both sides of Street No. 1 b) Cranesbill Road (Street No. 2) c) Both sides of Street No. 3</p> <p>The Owner agrees to design and construct 1.8-metre wide sidewalks at the following locations:</p> <p>a) East side of Street No. 4 b) South side of Street No. 8 c) East side of Street No.9 d) North side of Street No.10 adjacent to park e) South side of Street No. 13 f) East side of Street No. 15 adjacent to park; and a) g) South side of Street No. 16</p>	<p>The Owner agrees to design and construct 2-metre wide sidewalks at the following location:</p> <p>a) Cranesbill Road</p> <p>The Owner agrees to design and construct 1.8-metre wide sidewalks at the following location:</p> <p>a) North side of Street No. 4</p>

Condition #	As Approved	Required Change
40 S4	The Owner agrees to design and construct, walkways and related works in accordance with the applicable City Standard Drawing through the length of the public lands in the Stormwater Management Block 322.	The Owner agrees to design and construct, walkways and related works in accordance with the applicable City Standard Drawing through the length of the public lands in the Stormwater Management Block 112.
41 S5	The Owner agrees to connect all new pathways, sidewalks, walkways to the existing pathways, sidewalks, walkways located at the following locations: a) Cranesbill Road b) Street No. 3	The Owner agrees to connect all new pathways, sidewalks, walkways to the existing pathways, sidewalks, walkways located at the following locations: a) Cranesbill Road
42 S6	Chain link fence between public and private lands 1) The Owner agrees to design and construct 1.5-metre high black vinyl-coated chain link fences in accordance with the Fence By-law at the following locations: i. Along the northerly lot line of Lots 213 to 231 inclusive adjacent to Stormwater Management Block 322; ii. Along the easterly lot line of Lot 213 adjacent to Stormwater Management Block 322; iii. Along the easterly and southerly lot lines of Block 296 adjacent to Stormwater Management Block 322; iv. Along the southerly lot line of Block 320 adjacent to Stormwater Management Block 322; v. Along the northerly lot line of Lots 94 to 110 inclusive adjacent to School Block 321.  All chain link fencing that separates public lands and residential lots and blocks shall have a maximum opening (the diamond shape area) of no greater than 37 mm in order to comply with the applicable part of the "Pool Enclosure By-Law".	Chain link fence between public and private lands a. The Owner agrees to design and construct 1.5-metre high black vinyl-coated chain link fences in accordance with the Fence By-law at the following locations: i. Along the northerly lot line of Lots 93 to 109 inclusive adjacent to Stormwater Management Block 112; ii. Along the easterly lot line of Lot 93 adjacent to Stormwater Management Block 112; iii. Along the westerly lot line of Lot 103 adjacent to Stormwater Management Block 112; iv. Along the easterly lot line of Lot 104 adjacent to Stormwater Management Block 112;  The Owner agrees that any vinyl-coated chain link fence required to be installed except for park fencing shall be located a minimum of 0.15 metres inside the property line of the private property.  All chain link fencing that separates public lands and residential lots and blocks shall have a maximum opening (the diamond shape area) of no greater than 37 mm in order to comply with the applicable part of the "Pool Enclosure By-Law".
43 S7	a. The Owner agrees to design and erect 1.5-metre 6-gauge black vinyl-coated chain link park fencing in accordance with the Fence By-law at the following locations: i. Park Block 323: Along the southerly lot line adjacent to Block 296; ii. Park Block 324: Along the easterly lot line adjacent to Lot 94 and Block 321; iii. Park Block 326: Along the easterly lot line, adjacent to Block 311;	Remove condition – no parks in this Stage

Condition #	As Approved	Required Change
	<p>The Owner shall install fencing of uniform appearance and quality, with a minimum height of 1.5m along the common boundary of all lots which abut Park Blocks. Fences shall be installed 0.15m on the park property side of the common property line, and the location of the fence shall be verified by an Ontario Land Surveyor. All fences must adhere to the City's fence By-law 2003-462.</p>	
<p>44 S7</p>	<p>1) The Owner agrees to design and erect 1.5-metre 6-guage black vinyl-coated chain link park fencing in accordance with the Fence By-law at the following locations:</p> <ul style="list-style-type: none"> <li>i. Along the southerly lot line of Block 289 adjacent to Hydro Transmission Corridor Block 328;</li> <li>ii. Along the northerly lot line of Blocks 309 adjacent to Hydro Transmission Corridor Block 328;</li> <li>iii. Along the northerly lot line of Blocks 301 and 308 adjacent to Hydro Transmission Corridor Block 329; and</li> <li>iv. Along the southerly lot line of Blocks 299, 300 and 315 adjacent to Hydro transmission Corridor Block 329.</li> </ul> <p>2) The Owner agrees that any vinyl-coated chain link fence required to be installed shall be located a minimum of 0.15 metres inside the property line of the private property.</p>	<p>a. The Owner agrees to design and erect 1.5-metre 6-guage black vinyl-coated chain link park fencing in accordance with the Fence By-law at the following locations:</p> <ul style="list-style-type: none"> <li>i. Along the northerly lot line of Blocks 113 - 121 adjacent to Hydro Transmission Corridor;</li> </ul> <p>The Owner agrees that any vinyl-coated chain link fence required to be installed shall be located a minimum of 0.15 metres inside the property line of the private property.</p>
<p>45 S8</p>	<p>a. The Owner agrees to design and erect 1.8-metre wood screen fencing in accordance with the Fence By-law in the following locations:</p> <ul style="list-style-type: none"> <li>i. Along the easterly lot lines of Blocks 319 and 320, adjacent to residential lots in Bradley Commons subdivision;</li> <li>ii. Along the westerly lot line of Blocks 289, 292 and 309 adjacent to the Iber Road Business Park.</li> </ul> <p>b. The Owner agrees that any wood privacy fence required to be installed shall be located a minimum of 0.15 metres inside the property line of the private property.</p>	<p>Remove condition – not a requirement in this Stage</p>
<p>54 - 74 P1 - P24</p>	<p>Conditions relating to parkland</p>	<p>Remove conditions – no parks in this Stage</p>
<p>75</p>	<p>The Owner agrees to design and construct, at no cost to the City, a 3-metre wide asphalt pathway in the Hydro One Transmission Corridor, Blocks 328</p>	<p>Remove condition – no hydro corridors in this Stage</p>

Condition #	As Approved	Required Change
	and 329, if requested by the General Manager, Planning, Infrastructure and Economic Development.	
86	The Owner acknowledges and agrees in the subdivision agreement to the retention of the Hazeldean Tributary riparian corridor which is a minimum of 40 metres wide and respects the 1:100 year flood plain; meander-belt allowance; and, a minimum 15 metre aquatic setback from water, identified as Open Space Block 327. Prior to final registration, zoning for the riparian corridor shall be in accordance with the environmental protection nature of these lands.	Remove condition – this Block is not affected by this Stage.
87	The Owner acknowledges and agrees to confirm that the size of the park-and-ride Block 316 is to the satisfaction of the General Manager, Planning and Growth Management prior to registration.	Remove condition – park-and-ride is not in this Stage.
88	The Owner acknowledges and agrees to inform purchaser of units within Blocks 317, 318 and 319 that the properties are abutting a future transit station and park-and-ride facility to be located at the corner of Hazeldean Road and Robert Grant Avenue.	Remove condition – park-and-ride is not in this Stage.
89	The Owner acknowledges and agrees to reserve Block 321 as an elementary school site for the Ottawa Carleton District School Board on the draft plan of subdivision. The final size, configuration and servicing for the school site shall be to the satisfaction of the Ottawa Carleton District School Board and the General Manager, Planning, Infrastructure and Economic Development Department.	Remove condition – there is no school in this Stage.
90	The Owner agrees to enter into a legal agreement with the Ottawa Carleton District School Board for the reservation of the designated school site known as Block 321 on the draft plan of subdivision for a period of up to seven years from the date of registration of the plan which contains the school site.	Remove condition – there is no school in this Stage.
97	<p>1) The Owner agree to maintain the stormwater management pond in accordance with the recommendations of the Stormwater Management Plans</p> <p>“Concept Servicing Report/Assessment of Adequacy of Public Services and Stormwater Site Management Kizell Lands, 5618 Hazeldean Road” prepared by Novatech dated August 28, 2020 and</p> <p>“Concept Servicing Report/Assessment of Adequacy of Public Services and Stormwater Site Management Addendums, Kizell Lands,</p>	<p>1) The Owner agree to maintain the stormwater management pond in accordance with the recommendations of the Stormwater Management Plans...</p> <p><b>Report and Plans references to be updated.</b></p> <p>until such time as the stormwater management pond has been given Final Acceptance and assumed by the City, all to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.</p>

Condition #	As Approved	Required Change
	<p>5618 Hazeldean Road" prepared by Novatech dated February 23, 2018, December 13, 2019, May 29, 2020 and August 28, 2020.</p> <p>until such time as the stormwater management pond has been given Final Acceptance and assumed by the City, all to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.</p>	
132 LT1	<p>The Owner shall convey, at no cost to the City, all lands required for public purposes, including but not limited to, reserves, road widening, daylighting triangles, walkway blocks, open space blocks, and lands required for parks (or cash-in-lieu thereof) and for stormwater management. In particular, the Owner agrees to convey the following lands:</p> <ul style="list-style-type: none"> <li>a. Walkway or Servicing Blocks - Blocks 330, 331, 332 and 334</li> <li>b. Park Blocks – Blocks 323, 324, 325 and 326</li> <li>c. Open space Block 327</li> <li>d. Storm Water Management Block – Block 322</li> </ul>	<p>The Owner shall convey, at no cost to the City, all lands required for public purposes, including but not limited to, reserves, road widening, daylighting triangles, walkway blocks, open space blocks, and lands required for parks (or cash-in-lieu thereof) and for stormwater management. In particular, the Owner agrees to convey the following lands:</p> <ul style="list-style-type: none"> <li>a. Storm Water Management Block – Block 112</li> <li>b. Walkway or Servicing Blocks - Blocks 127 and 137</li> </ul>

# DRAFT ZONING BY-LAW AMENDMENT

## 5618 Hazeldean Road – Stage 1

City File: D07-16-16-0020

MINTO

JANUARY 4, 2023

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The proposed change to the City of Ottawa Zoning By-law No. 2008-250 for Stage 1 of 5618 Hazeldean:

- 1) Rezone the lands shown in Document 1
- 2) Add a new exception XXX1 to Section 239 – Urban Exceptions with provisions similar in effect to the following:
  - a. In Column II, add the text “R3YY[XXX1]”
  - b. In Column V, add the text:

Zone requirements for detached dwellings:

- Minimum lot area: 195 sq.m.
- Minimum lot width: 8.5 m
- Minimum front yard setback: 3 m
- Minimum interior side yard setback: Total 1.8m, with one minimum no less than 0.6 m
- Minimum corner side yard setback: 2.5 m
- Minimum rear yard setback: 6 m
- Maximum building height: 12m
- The minimum setback between the vehicular entrance to a private garage or carport and an existing or planned sidewalk is 5.7 m
- The area of the driveway does not exceed 55 per cent of the yard in which it is located.

Zone requirements for townhouse dwellings:

- Minimum lot area: 120 sq.m.
- Minimum lot width: 5.7 m
- Minimum front yard setback: 3 m
- Minimum interior side yard setback: 1.2 m
- Minimum corner side yard: 2.5 m
- Minimum rear yard setback: 6 m
- Maximum building height: 12 m
- An air conditioner is permitted as a projection into the corner side yard.
- The minimum setback between the vehicular entrance to a private garage or carport and an existing or planned sidewalk is 5.7 m

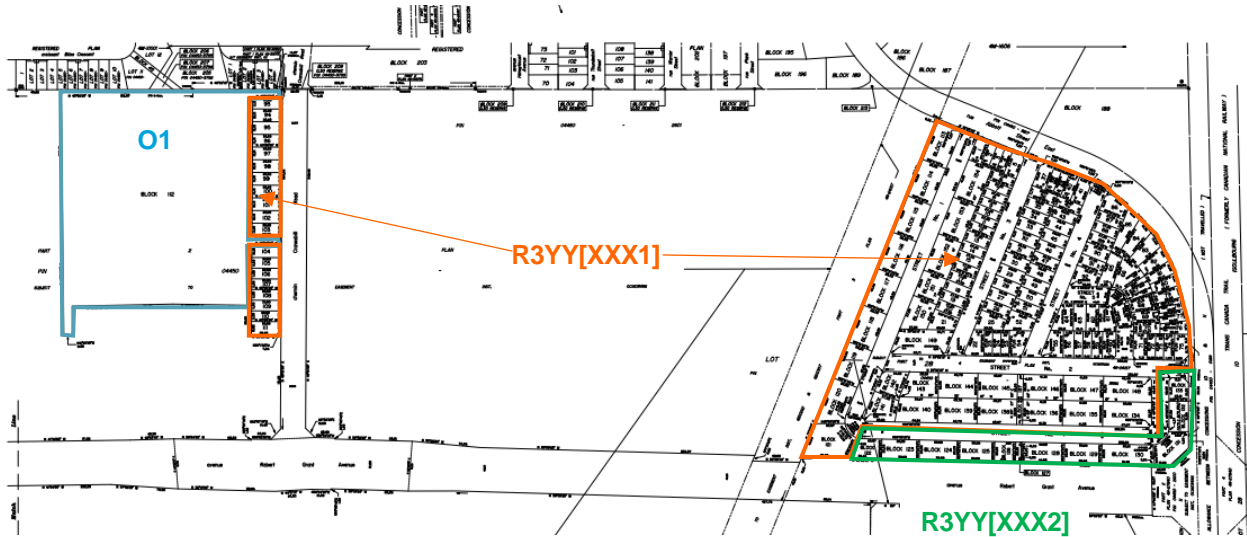
- 3) Add a new exception XXX2 to Section 239 – Urban Exceptions with provisions similar in effect to the following:
  - a. In Column II, add the text “R3YY[XXX2]”
  - b. In Column V, add the text:

Zone requirements for townhouse dwellings:

- Minimum lot area: 100 sq.m
- Minimum lot width: 5.7 m
- Lot Line Clarification: Robert Grant Avenue or Abbott Street East is the front lot line
- Minimum front yard setback: 3 m

- Minimum interior side yard setback: 1.2 m
- Minimum corner side yard: 2.5 m
- Minimum rear yard setback: 3 m
- Maximum building height: 12 m
- Where a lot contains a dwelling and a parking space is accessed from a driveway within the rear yard, a maximum of 86% of the area of the rear yard, or the required minimum width of one parking space, whichever is greater, maybe used for a driveway.
- An air conditioner is permitted as a projection into the corner side yard.

**DOCUMENT 1**  
5618 Hazeldean (Stage 1)



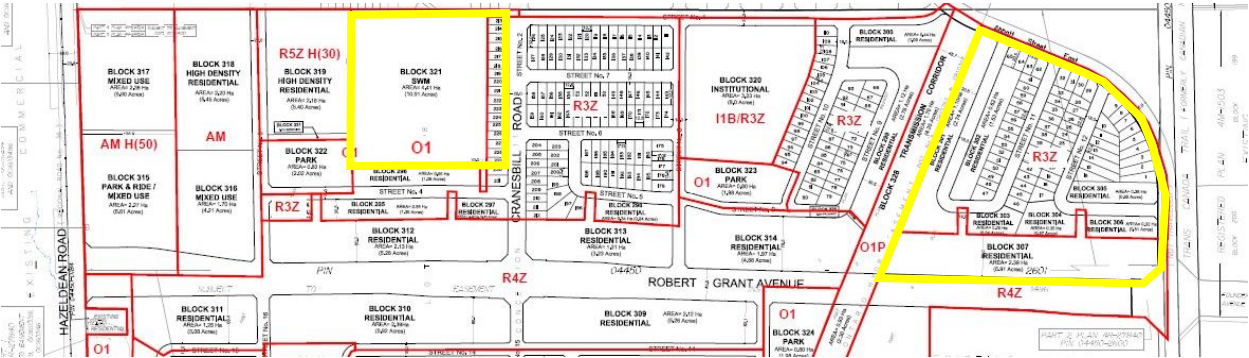


# BY-LAW AMENDMENT CHANGES

## 5618 Hazeldean Road – Stage 1

JANUARY 4, 2023

The original zoning amendment request by Kizell Management Corporation had requested that the Stage 1 lands be zoned 'Residential Forth Density Zone, Subzone Z' (R4Z), 'Residential Third Density Zone, Subzone Z' (R3Z) and Open Space Zone (O1).



The zoning now being proposed by Minto to accommodate their specific housing products within the revised Stage 1 layout would be better suited with an R3YY zone with exceptions. They have applied similar zoning in their other communities and found it fits better with the housing models chosen. The requested zoning for the Stormwater Pond remains consistent with the original amendment request, O1.

The differences between the setbacks and lot sizes of the original requested zoning and the R3YY being pursued by Minto are summarized below.

For <b>Single Detached</b>	R3Z	R3YY (XXX1)
Min. Lot Width (m)	9	8.55
Min. Lot Area (m <sup>2</sup> )	240	195
Min. Corner Yard (m)	3	2.5

For <b>Standard Townhouse</b>	R3Z	R3YY (XXX1)
Min. Lot Width (m)	6	5.7
Min. Lot Area (m <sup>2</sup> )	150	120
Min. Corner Yard (m)	3	2.5

For <b>Rear Garage Townhouse</b>	R4Z	R3YY (XXX2)
Min. Lot Width (m)	6	5.7
Min. Lot Area (m <sup>2</sup> )	150	100
Min. Corner Yard (m)	3	2.5
Min. Rear Yard (m)	6	3